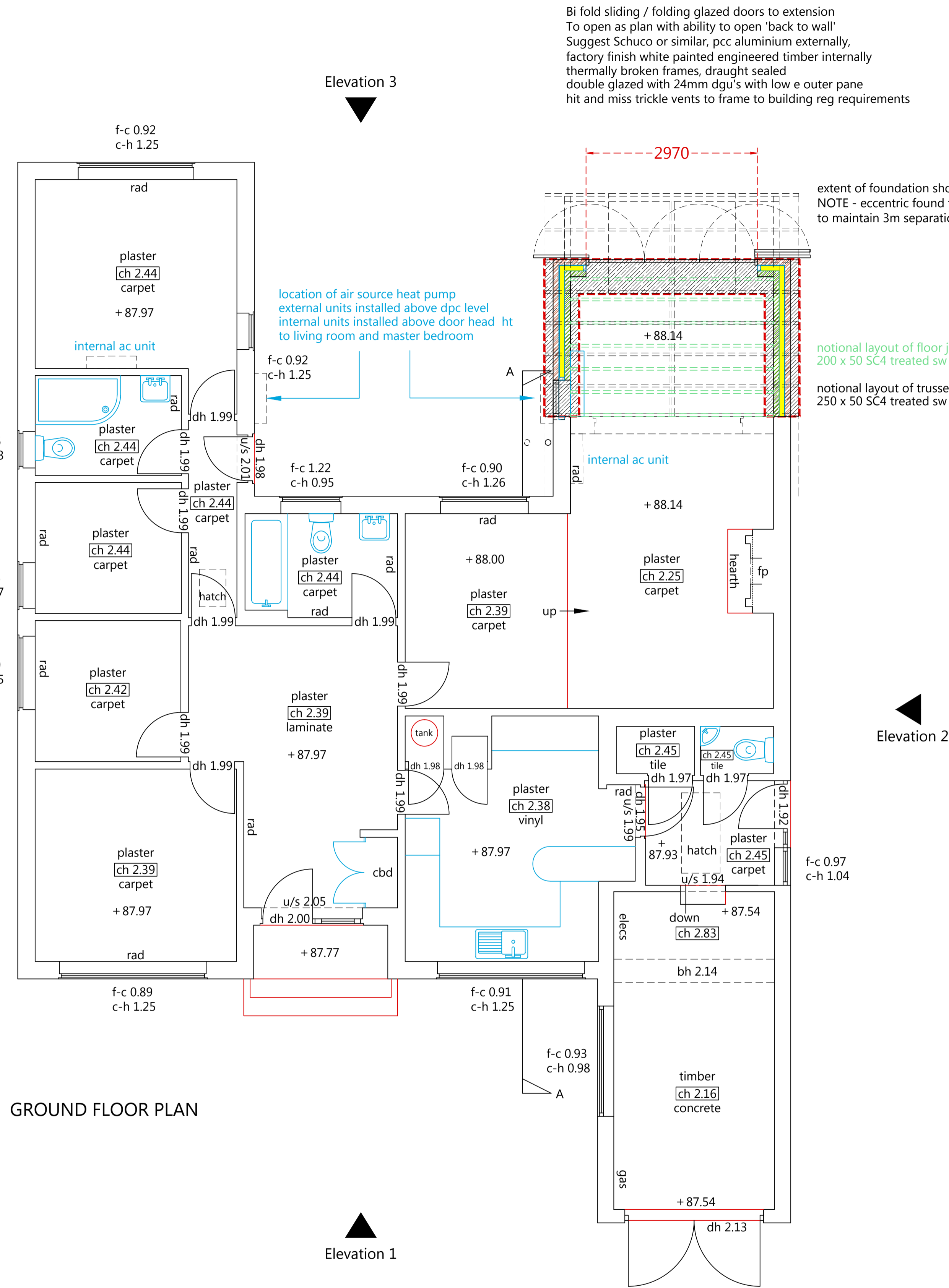


BUILDING REGULATIONS GENERAL NOTES

- Part A - Structure**
 - All structural design and specification information in accordance with the consulting Structural Engineer's details if applicable
 - All work on site should be in accordance with these plans, Elevations, Sections and Building Control Specification, meet current Building Regulation standards & be carried out in accordance with the manufacturers details.
- Part B - Fire Safety**
 - Mains smoke detectors to be located as indicated on the plans
 - Fire doors to be provided as indicated
- Part C - Site Preparation & Resistance to Contamination**
 - The ground floor, external walls & roof will all provide resistance to moisture
 - All external walls are to have a minimum 100mm cavity.
 - All cavity walls to have cavity trays and damp proof courses as appropriate. All cavity trays will drain via proprietary weep holes.
 - Ground Floor Slabs will have a 300mm damp proof membrane which will lap up the external walls and lap under the DPC.
 - All pitched roofs will be fitted with breather membranes.
- Part D - Toxic Substances**
 - If insulating material is inserted into the cavity of a cavity wall reasonable precautions shall be taken to prevent any toxic fumes from entering any part of the building occupied by people.
- Part E - Resistance to Passage of Sound**
 - All internal walls and floors are to have sound insulation installed as per the manufacturer's details.
- Part F - Means of Ventilation**
 - All windows and doors to the external envelope will be operable.
 - All windows will be fitted with night vent lockable ventilation.
 - Habitable Rooms to have 8000mm² equivalent area of background ventilation, Wet Rooms to have 4000mm².
 - The Kitchen will have an extractor fan located over the hob with an extract rate of 60/s
 - The Bathroom, Closets and Ensuite to have a extractor fans with an extract rate of 30/s
 - All internal doors are to promote air transfer and are to be hung so the bottom of the door is 10mm above the floor finish
- Part G - Sanitation, Hot Water Safety and Water Efficiency**
 - Reasonable provision must be made by the installation of fittings & fixed appliances that use water efficiently for the prevention of undue consumption of water.
 - A record of all fittings shall be maintained with the flow rates and efficiency highlighted
- Part H - Drainage and Waste Disposal**
 - All WCs, Baths, Showers, Wash Basins, Washing Machines, Dishwashers, etc will be connected to the mains sewage drainage system.
 - All drainage pipe work to be installed in accordance with the Building Regulations and the manufacturer's details.
- Part J - Combustion Appliances and Fuel Storage Systems**
 - All combustion appliances shall be installed so that there is an adequate supply of combustion air. All appliances will have adequate provision for the discharge of waste gas and products of combustion.
 - All appliances shall be installed by a certified installer to meet all current regulations.
- Part LL - Conservation of Fuel and Power**
 - The external envelope of the dwelling shall be insulated in accordance with the details in the Building Control Specification.
 - All internal surface joints will be sealed as required to pass the air tightness test.
- Part M - Access to and use of the Building**
 - Light switches and power sockets will be positioned in accordance with the requirements of the approved document.
- Part N - Glazing**
 - All glass shall be accessible for cleaning
 - All glass where required by the Building Regulations will need to be toughened safety glass
- Part P - Electrical Safety**
 - All Electrical installation work will be carried out by an NICEIC registered competent electrical engineer.
 - Light switches and sockets to be located between 450mm min. & 1200mm max. above the finished floor



Bi fold sliding / folding glazed doors to extension
 To open as plan with ability to open 'back to wall'
 Suggest Schuco or similar, pcc aluminium externally,
 factory finish white painted engineered timber internally
 thermally broken frames, draught sealed
 double glazed with 24mm dgu's with low e outer pane
 hit and miss trickle vents to frame to building reg requirements

extent of foundation shown hatched
 NOTE - eccentric found to gable wall elevation
 to maintain 3m separation from ST drain

notional layout of floor joists
 200 x 50 SC4 treated sw @400c's
 notional layout of trussed rafters
 250 x 50 SC4 treated sw @600c's

GROUND FLOOR PLAN

GROUND FLOOR PLAN

Symbol & Abbreviation Key.	
SANITARY (INDICATIVE ONLY)	
	WC
	BIDET
	URINAL
	WASH HAND BASIN
	SINK
	SLUICE
	SINK & DRAINER
	SHOWER TRAY
	BATH
ANNOTATION	
ah 1.99	ARCH HEIGHT
spr 1.78	SPRINGER HEIGHT
bh 2.43	BEAM HEIGHT TO UNDERSIDE
us 2.43	UNDERSIDE
ah 1.99	DOOR HEIGHT
f-c 1.55	FLOOR TO CILL HEIGHT
c-h 0.89	CILL TO HEAD HEIGHT
ch 2.83	CEILING HEIGHT
ch 1.99	HIGHEST / LOWEST POINT OF SLOPING CEILING
ch 2.88	SUSPENDED CEILING HEIGHT
OTHER ABBREVIATIONS	
a/c	AIR CONDITIONING UNIT
bl	BOLLER
bk	COOKER
cbd	CUPBOARD
elec	ELECTRICS
fb	FLOOR BOARDS (SYMBOL INDICATES BOARD DIRECTION)
fp	FIREPLACE
pr	PIPE RISER
rad	RADIATOR
rl	ROOF LIGHT
rsd	ROLLER SHUTTER DOOR
tk	TANK

Extension 2720 long with 1m overhanging verge to roof to provide solar shading

ROOF CONSTRUCTION
 roofing tiles at 36 degrees pitch to match existing
 25 x 38 treated sw riling battens
 Tyvek vapour permeable underlayment
 common trussed rafters span 3510, overhang 500 (see section) @ 600 c's span
 50 x 150 ceiling joists @ 600c's span (bottom boom of trusses)
 trussed rafters to be fixed using proprietary truss shoes
 trussed rafters to be designed, installed and braced to BS 5268-3: 2006
 Note cantilevering purlin bracket support to projecting gable on line of wall plate
 See structural submission for above, also ridge beam etc

Alternative roof structure to match existing - cut rafter roof spanning from wall plate to ridge beam (see structural submission)
 50 x 150 rafters @ 600c's span
 50 x 150 ceiling joists @ 600c's with 150 x 50 hanger and 200 x 50 binder hung from ridge
 Note - existing lintel above patio door to be removed and beam inserted above ceiling level with 100 x 100 prop to ridge beam
 gable steel restraint straps from gable to extend 1800 and be tied to min 3 rafters
 Located at centre of rafters

Min 300mm crown roll roof insulation between and over truss ceiling joists
 Roof to give U value of 0.15 W/sqm deg C
 Ceilings from 15mm plasterboard and skim to align with existing
 Wall plate to roof to be held down with galvanized m. s straps
 5 x 30 x 750mm at max 2m c/s (2no straps in this instance)
 The ridge tiles are to be installed using a proprietary dry fix system providing roof ventilation in accordance with manufacturer's recommendations
 Install proprietary continuous eaves vent tray system to meet NHBC requirements
 Fascias and soffits to match existing - painted finish
 Guttering to be extended to match existing
 rain water from extension to be taken to water but for garden irrigation
 surplus to be taken to soakaway in rear garden area min 5m away from building or boundary

WALL CONSTRUCTION
 100mm facing brickwork to match existing, 100mm cavity with 90mm Cellotex Thermodeso 21 insulation, retaining 10mm low emissivity cavity as per cellotex detail
 100mm blockwork inner leaf (medium density)
 plastered internally, skim finish to align with existing finished wall surface
 ss ties at 600c's horizontally, 450 vertically
 External wall to give U value of 0.18 W/sq m deg C
 Wall insulation taken down to ground level to lap slab edge insulation (to minimize thermal bridging)
 Wallplates 75 x 100 sw trapped down to inner leaf at 2m c's with galv metal straps
 Keystone insulated lintels over windows etc
 5/K-110 for wide cavity, blockwork inner leaf

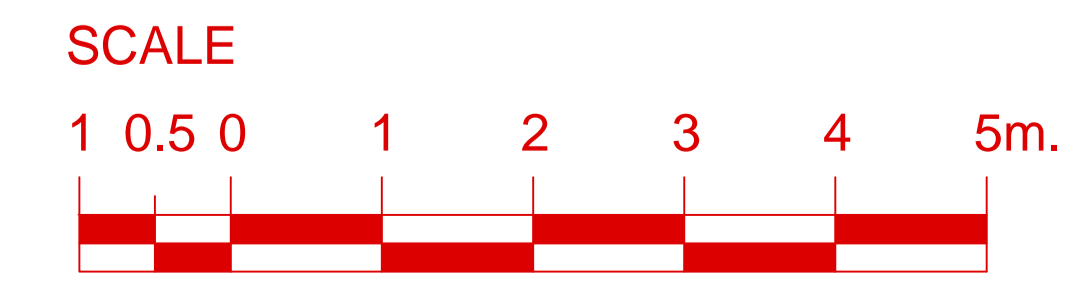
Provide proprietary cavity closers around all window and door openings as per the Building Control Specification
 New windows fixed securely into the structural opening with M10 x 150mm long proprietary frame fixers
 New windows/ glazed doors to achieve a maximum U value of 1.4 W/sq m K to Part L of the building regs
 Note - new windows from Upvc to match extg with trickle vents to building reg requirements
 Note - new bi folding doors by Schuco or similar approved - see plan for suggested spec with trickle vents to building reg requirements
 Door and window reveals to be lined with insulated weathboard panels to minimize thermal bridging and discoloration arising from condensation

Trench fill foundation as the specification.
 Formation level to be a minimum 1000 mm below ground level actual depth to be agreed on site with Building Control Officer
 Note - eccentric foundation to end elevation to avoid transgressing line 3m from ST drain
 New d.p.c. minimum 150 mm above finished ground level
 All new internal wall plasterwork is to be prepared and where necessary primed (see Dulux's recommendations). It is then to be painted with one mist coat and then two full coats of Dulux Trade Vinyl Matt Emulsion paint.

FLOOR CONSTRUCTION - suspended timber floor to match existing
 22 t+g floor decking, 200 x 50 treated sw floor joists @ 400c's joists hung on proprietary joist hangers
 150mm cellotex XR 4000 between joists retained by chicken wire / battens attached to base of joists
 New floor construction to give U value of 0.18 W/sqm deg C
 void beneath floor to be ventilated using brick vents to match existing construction
 excavated site area to have all organic matter and weeds removed and be treated with weedkiller
 void beneath floor to be min 300 deep and finished with weak mix oversite concrete

ROBUST DETAILS
 Contactor to ensure robust, airtight details are used throughout
 Skirtings to match existing to be sealed to wall / floor with airtight sealant
 window openings to be sealed using proprietary airtight sealing tape
 wall insulation to project below floor insulation to ensure integrity of insulated envelope
 wall insulation to be contiguous with roof insulation and sealed to same using blocking between rafters and airtight sealing tape

Electrical Alterations - amendments to existing installation
 To be undertaken by competent person and receive Part P certification



MAB Architecture

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Description:	
PROPOSED EXTENSION	
19 PARK HILL	
KENILWORTH	
CV8 2JG	
PROPOSED PLAN	
1:100@A3	
Scale: 1:50@A1	Date: 08/23
Drawing No. 2044/12 A	

Drawn: MAB