

According to the analysis of the impact of proposed developments on neighbouring daylight/sunlight in regards to BRE guidance and 25/45 degree tests, the following observations were made,

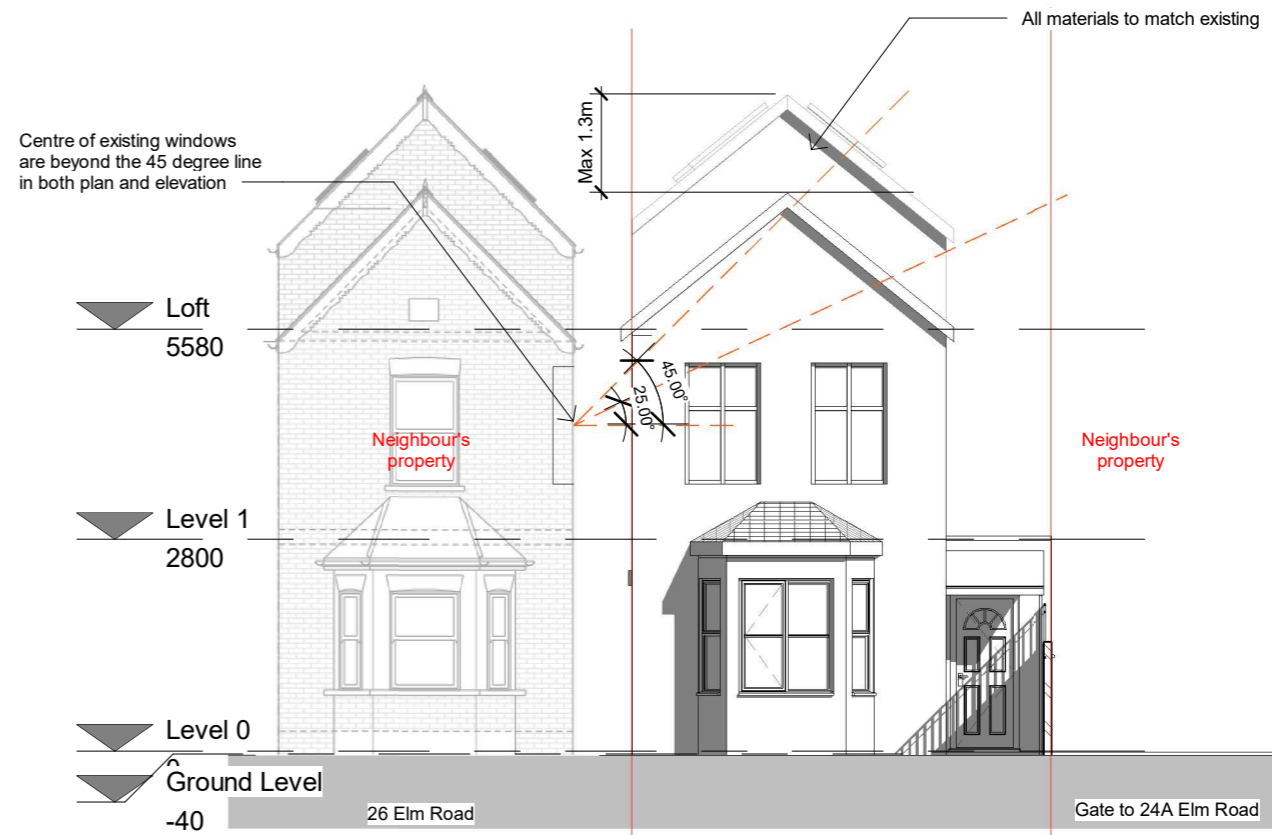
The existing windows on first floor at 26 do not benefit from sunlight due to the existing structure of 24 Elm Road, and the proposed development does not impact the current daylight/sunlight amenity in habitable rooms. The proposed skylights will not be impacted from the extension in 24 Elm Road. Therefore the proposed loft extension will not have a major impact on the amenity.

The neighbour at 24A does not have any windows facing to 24 Elm Road, so do not affect the daylight/sunlight amenity, considering the orientation of the houses. The proposal do not have any windows facing 24A and ensures the amenity of privacy is not affected.

Neighbour at 22 Elm Road do not have any windows facing towards 24 Elm Road, and do not affect daylight/sunlight or privacy amenity.



1 Front elevation - Existing
1 : 100



2 Front elevation - Proposed
1 : 100