

29 September 2023

Planning Department  
The Royal Borough of Kingston Upon Thames  
Guildhall 2  
High Street Kingston upon Thames  
KT1 1EU

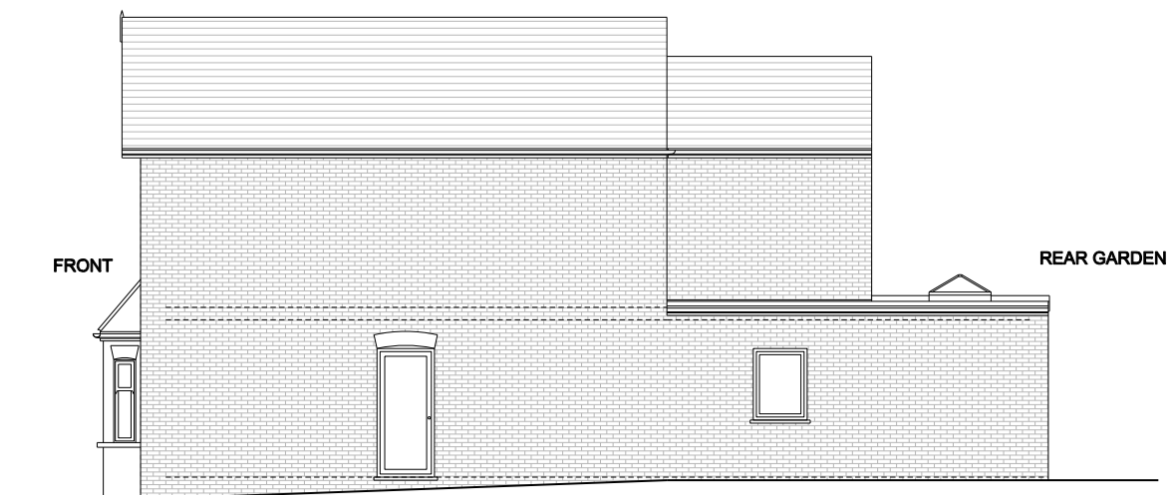
Dear Planning Team,

24 ELM ROAD HOUSEHOLDER PLANNING APPLICATION FOR ERECTION OF REAR PIGGYBACK ROOF EXTENSION INVOLVING RISE IN RIDGE BY 1.3M TO FACILITATE LOFT CONVERSION AND PART SINGLE-STOREY SIDE EXTENSION TO HOUSE A REPOSITIONED STAIRCASE WITH ASSOCIATED CHANGES TO FENESTRATION.

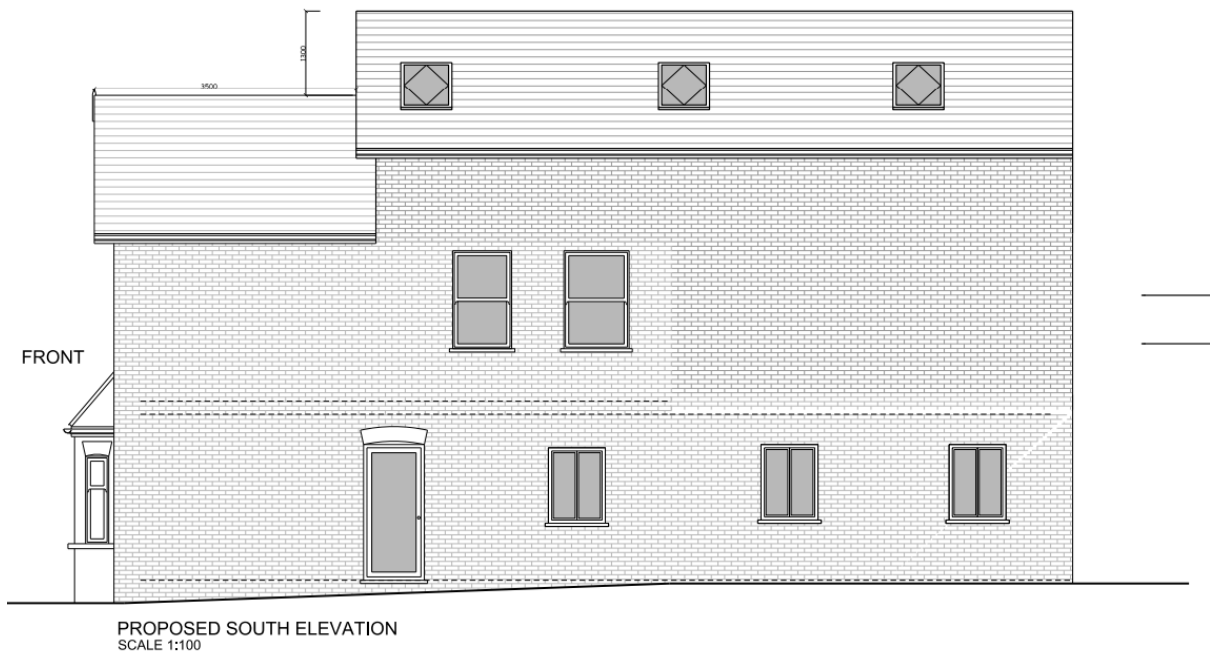
We are instructed by our client, Mr Dahi Hassan, to submit the enclosed planning application for the erection of a rear 'Piggyback' roof extension involving rise in ridge by 1.3m to facilitate a loft conversion and erection of part single-storey side extension with associated changes to fenestration.

#### THE NEIGHBOURHOOD

At 26 Elm Road, planning permission was granted in June 2022 (22/01843/HOU) for the erection of a rear 'Piggyback' roof extension involving rise in ridge by 1.3m to facilitate a loft conversion and erection of first-floor side/rear extension with associated changes to fenestration., as shown in the extract below:



EXISTING SOUTH ELEVATION



At 90 Elm Road, planning permission was granted in March 2018 (17/13175/HOU) for the erection of single-storey side extension to replace the existing garage and piggyback roof extension to facilitate loft conversion, as shown in the extract below:



## PLANNING APPLICATION HISTORY

The most recent application for 24 Elm Road is pre-application 23/01111/PRE-Erection of single-storey side and piggyback roof extension, raising roof height and installation of 8 nos side roof lights to facilitate loft conversion. The officers supported the proposed development and were invited to submit this planning application. Major comments are as follows,

It is considered that the proposed extension would be a subordinate addition and of an architectural style sympathetic to the host property. It is recommended that the external finishes be matching or similar to the existing host property. It is considered from the information submitted that the proposed development by virtue of its size, siting and design in relation to the neighbouring properties would not cause undue material harm to the residential amenities of the neighbouring occupiers. However, the applicant should give regard to residential amenity design in their proposals and provide an analysis in particular on the impact of the proposed development on neighbouring daylight/sunlight in regards to BRE guidance and the 25 and 45-degree tests. The pre-application drawings are below:



Figure 1 Front Elevation

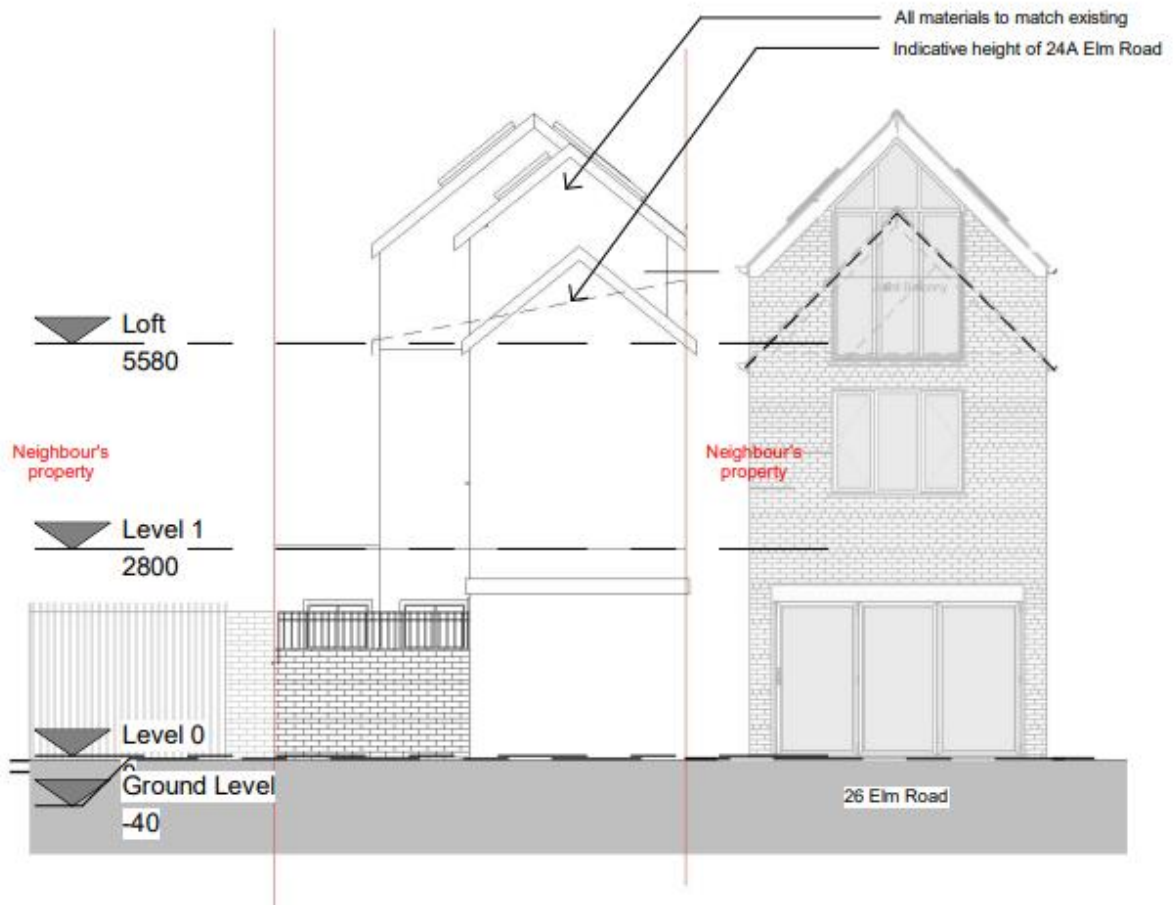


Figure 2 Rear Elevation

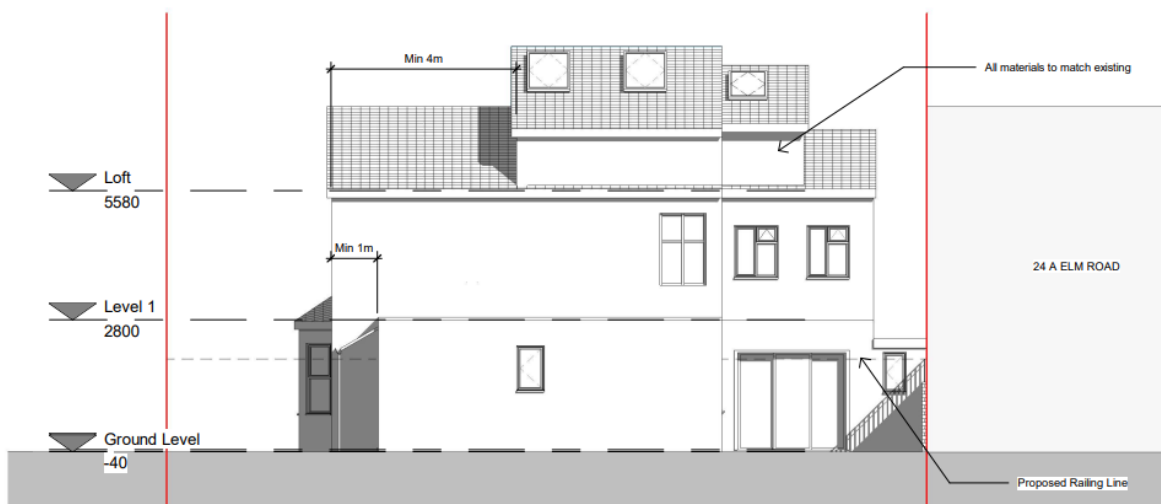
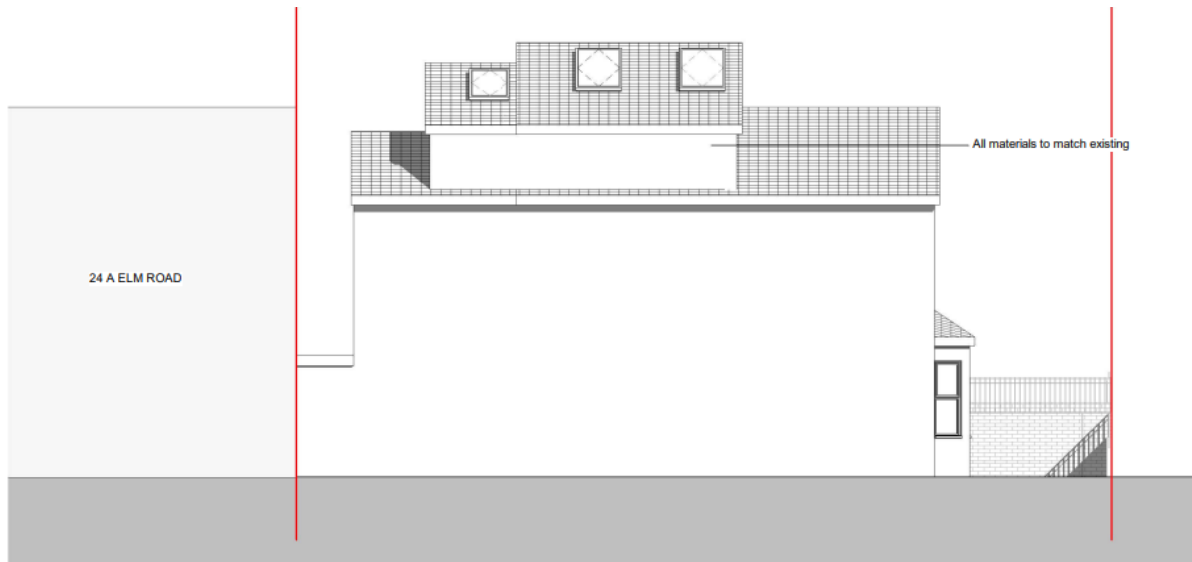


Figure 3 Side Elevation 1



*Figure 4 Side Elevation 2*

#### ADDRESSING THE IMPACT ON DAYLIGHT SUNLIGHT

Kindly refer to the submitted drawings for 45 and 25-degree tests. As shown in the drawings, it can be argued that the proposed windows on the ground and first floor at 26 do not benefit from sunlight due to the existing structure of 24 Elm Road. The proposed skylights will not be impacted by the extension at 24 Elm Road. Therefore the proposed loft extension will not make the existing situation any worse.

The neighbour at 24A and 22 Elm Road does not have any windows facing 24 Elm Road, so do not affect the daylight/sunlight, considering the approximate West-East orientation of the houses.

#### Conclusion

The proposal seeks to enhance the quality of life for a severely autistic son by repositioning the existing steep stairs that do not comply with the building regulations. The neighbourhood has similar extensions and it is considered that there will be no detrimental impact on the amenities of neighbouring occupiers.