

# UPDATED HERITAGE IMPACT ASSESSMENT FOR CATEGORY B LISTED WESTEND COTTAGE, 1 MAIN STREET, LOW VALLEYFIELD, KY12 8TF.

Planning and Listed Building Consent Applications are being submitted to Fife Council by Ms. Sally Featherstone for the alteration and extension of her Category B listed property, known as Westend Cottage. This Heritage Impact Assessment (HIA) has been prepared in support of the LBC application and should be read in conjunction with the drawings submitted with this application.

The HIA and Supporting Statement will follow the best practice guidelines issued by Historic Environment Scotland (HES) and will follow National and Local Planning Policy Guidelines, including Fife Council's LDP for extensions and Householder applications. This document is intended to be used by Fife Council alongside NPF4, Scottish Planning Policy (s.141 and s.142) FIFEplan, Making Fife's Places, Supplementary Guidance, 2018 and Fife Council Customer Guidelines for extensions and amenity space.

This assessment will demonstrate that the applicants have understood the historic asset and its significance. Moreover, it will show how this understanding has informed the decision-making process during the development of the proposals. The proposals will be discussed under the following headings, an integral part of which shall be the Heritage Impact Assessment.

- WESTEND COTTAGE
- HISTORICAL AND CONTEXTUAL ASSOCIATION
- SIGNIFICANCE (BASED ON EVIDENTIAL, HISTORICAL AND AESTHETIC VALUES)
- WORKS CONDUCTED TO WESTEND COTTAGE
- THE PROPOSAL
- PREAPPLICATION ADVICE
- CONCLUSION

The proposal is for two extensions to be added to the listed building which would replace the Victorian Kitchen (15 sqm) to the north and a contemporary bathroom to the west (7 sqm). The principal extension is proposed to be a storey and a half rear extension to the north that projects perpendicular to the existing cottage and the second extension is proposed to be a storey and a half west extension setback behind the southern boundary wall. The extensions are designed to be subservient in scale and mass to the existing cottage and have combined the local vernacular with the existing cottage's details to create a development that is sensitive in its design and detailing to the Listed building.

Westend Cottage was listed in 1971 with a designated listing of LB3347 through Historic Environment Scotland. The listing definition describes the building as a 'Two-storey house, stucco and crowstepped; altered fenestration. May date late 17<sup>th</sup> century'. It is believed that the cottage dates to the 1750's when the sea wall was

directly opposite the cottage along Main Street. Mapping has been discovered from 1814 that shows the cottage in its current location with a pier, or ramped access and staging area directly opposite the cottage running perpendicular with the road and the sea wall. The listing provides no reference to any architectural significance of note and emphasises that the fenestration has already been altered. The building was originally two separate buildings which have been joined together at some point, and the local understanding of the property was that it was a house and barn at one time. Photographs following show that there have been extensive works conducted to the building since its listing date without Listed Building Consent and that these works have resulted in the building deteriorating through water ingress and poor workmanship.



Image of 1 Main Street, circa 1972, Historic Environment Scotland Archives. The photograph shows even at this date that Main Street's elevated height has had a negative impact on the building. Also note the roof has 4 courses of slate at the eave line and the pantiles at the crowstepped gable verge are built to the recessed plane. The roof exposes the front façade has two bowed top corners to the wall and shows extensive water damage behind the render. This photograph also shows that the render has been changed at the same time as the roof in the 1980's as the render in the photograph is different from that on the existing cottage.





Figure 1: Westend Cottage, June 2023. Note the difference in pavement height and the resultant impact on the front door and front windows.



Figure 2: northwest corner of Westend Cottage showing kitchen extension to the north and bathroom extension to the west. The bathroom was constructed post listing without LBC.





*Figure 3: Part of south boundary wall showing original entrance to the property. The main south boundary wall is of the same depth and length as the existing cottage which could relate to its use as a former building at one time.*



*Figure 4: View of #6 Verre Park from behind south boundary wall. Development has shown no contextual or sensitive design to the visual amenity of the Listed Building and has set the principal for new development scale and mass along Main Street.*





Figure 5: View west along Main Street towards Culross Conservation Area which starts beyond the curve in the road. Note: Saorsa Inn at the end of the property, which is full two storey and has no contextual relationship with Westend Cottage.



Figure 6: View from northeast of property looking past the north facade of Westend Cottage towards the Veere Park Development circa 2000. Note the scale of the development in contrast to the existing cottage and the lack of consideration to the visual amenity of the listed building. This development dominates the view. Note the Culross Conservation Area is directly west of this development.





Figure 7: View looking north from the listed building showing the extent of the site's change in levels. Low Causeway Road is beyond the north boundary wall with the pavement being set down by 1.6 – 1.8m. The proposed north extension is to be located in this spot.



Figure 8: View into the property from the west showing the boundary wall and Low Causeway Road to the northeast. The boundary wall to the north prevents overlook into the site. The Veere Park development is to the right and as Westend Cottage is gable facing to the road, it blends into the existing landscape.





Figure 9: View south from Low Causeway Road. Note the boundary wall height provides good screening into the property. Google Maps shows a different view which is achieved by a camera set at 2.5m high which gives a false perspective of visual amenity and overlook into the property.

## WESTEND COTTAGE

Westend Cottage sits at the southeast corner on a large triangular site that is predominantly east/west orientated. The existing site is 0.11 Hectares or 0.27 Acres and is located at the confluence and intersection of Low Causeway and Main Street. The site slopes from the northeast corner to the south and southwest corner with Main Street being predominantly flat. The change in elevation of the site is approximately 3m from northeast to southwest. Low Causeway slopes up behind the house on the north side and joins with the B9037 creating this natural slope.

The house sits directly on Main Street with the property forming a triangular shape with the extent of the site being to the north and west of the listed building. The site slopes up approximately 3m from Main Street to Low Causeway terminating at a 1.8m high stone wall that flanks Low Causeway. Low Causeway connects Low Valleyfield and Culross with High Valleyfield. A 2.8-3m wall defines the eastern boundary which is located 12m to the east of the listed building along the neighbouring property line.

This wall provides the perfect screen into and out of the site and prevents overlooking and overshadowing from both properties. The south boundary line also has a large stone wall which sits 2.4m high and flanks each side of the cottage travelling 8.6m to the east and 11m to the west. There is an opening in the east wall directly adjacent to the house that housed a gate. This wall provides a perfect screen to the garden and any development to the rear of the property. The wall continues to the west

eventually meeting the northern property wall at the junction between Main Street and Low Causeway. The north boundary wall varies in height between 1.6 and 1.8m and obstructs views into the rear of the property from the north. This ostensibly creates a walled and wedged shaped site that has lots of privacy from all three sides even with the drop in levels to the south. The only real views into the site are from the west heading out of Culross and towards Low Valleyfield where the gable of Westend Cottage sits perpendicular to the view, almost disappearing into the background.



*Figure 10: Panoramic view of gardens at Westend Cottage*

In recent history, there have been no trees located on the site, although the map from 1814 shows trees along the east, south and northern boundary line forming the perimeter to the property. Adding trees to the site along the boundary wall was considered as this would see a return of the site to a condition similar to that in the early 19<sup>th</sup> century, however it could be perceived that the addition of trees would be considered as having a negative impact on the listed building. As the site is open to the west without any obstruction, it is alleged that any extension in this location would bring attention to the property and as the proposed development is a rear and side extension, the only clear view of any development would be from this direction. This makes the visual impact of the extension on the listed building in its true context of the building's relationship to be impossible.





Figure 11: Google Map aerial view of 1 Main Street

Westend Cottage is a small 2 storey building with room for 1<sup>st</sup> floor windows on the south façade. However, the roof and building scale changes on the north to a storey and a half with no first-floor windows. The building comprised a kitchen, living room, dining room and small 20<sup>th</sup> century bathroom on the ground floor and two bedrooms on the first floor accessed via a central staircase directly from the front door.

The main walls of the building are of local sandstone, probably sourced from the Freestone Quarry located to the north of the property which is now overgrown. The sandstone walls are extremely soft and were exposed to the elements for some time before being rendered at some point. This is clear from the weathering exposed by removing the cement render (see below)



Crowstepped gables and stone chimney with four skew puts are the redeeming features and place the building in the late 18<sup>th</sup>/early 19<sup>th</sup> century. The cottage is built of local sandstone, more than likely from the Freestone Quarry located to the north of the property. The cottage was harled sometime in the 1960's and again in the 1980's with, in places, up to 40mm thick cement with the original pantiles being used as infill on the exterior walls (Figure 16). The windows on the front façade are detailed with smooth cement 'framing'. The windows are not original, dating to the 1980's when the current cement render was applied. They have no operating boxes for the sash and case weights and are sealed shut. The roof is not original, with 1980's clay pantiles (Figure 1 for comparison). Two later additions have been added. A kitchen on the north of the building with a new access door from the north façade which was built in the Victorian era and a bathroom to the west in the 1980's which is contemporary in that it is a box with a flat asphalt roof with modern fittings and construction.

The existing street level has risen approximately 300-400mm reducing the size of the front door considerably and forcing the addition of two steps to the interior. The gable wall shows extensive water damage where poor workmanship, and the addition of cement render has negatively impacted the wall and led to water ingress. The roof is substantially different with the removal of the original pan tiles, the replacement of roof infrastructure with contemporary roof trusses and the removal of the lower slate roof courses. Building fabric was removed to allow this roof to function.



The change in level of the road and pavement has also led to a change in the building's representative height within the street and therefore it has been compromised in its visual interpretation in the street scene and its historical context (see Figure 1 for a visual comparison)



Figure 12: South elevation showing change in pavement height

The interior was completely renovated throughout the building's history showing elements of Victorian change. Twentieth century renovations have gutted and removed what was remaining from the building's 18<sup>th</sup> century beginnings. Further changes to the interior are a cement floor, a new door opening to the west to access the contemporary bathroom, a new door opening to the north to access the kitchen, the partial removal of the wall head and partial east gable to allow for the installation of the new roof trusses, and new wood single glazed windows that are inoperable.

As noted, stone was removed from the gable walls to make way for a 1980's roof truss composition which provided no flashing into the gable wall, using a cement chamfer instead. This has led to water ingress into the building. The windows are not original with only 3 of the 7 windows being in their original locations and even these have been altered. The wood windows have had their sash and case boxes removed which has resulted in non-operational windows that have been cut to size to fit the rough opening. There is no opportunity therefore to renovate these windows as the renovations themselves would alter the form and style beyond the windows current representation in order to fit the current rough opening's remaining and by making them operational. Notwithstanding the age of the building, the only original elements left are the four walls and their local deteriorating sandstone construction.

Water ingress and poor renovations have compromised its interior and exterior. Roof changes, window changes, interior changes, room layout changes, exterior harled with cement and tiles infill, window rough openings have been altered, original doors have been filled in, pavement and road height have impacted access and viability of front door, poor extensions to the west and north have impacted the building's integrity.

## HISTORICAL AND CONTEXTUAL ASSOCIATION

It is believed that Westend Cottage was constructed sometime in the mid to late 18<sup>th</sup> century, however the first real indicative map of the property dates to 1814. There is no note of who the cottage was constructed for, but it is clear that this is two cottages combined into one based on recent findings. The map shows quite clearly a rectangular building with lots of trees surrounding the property limits and it is clear that the property shape and size have remained relatively untouched.

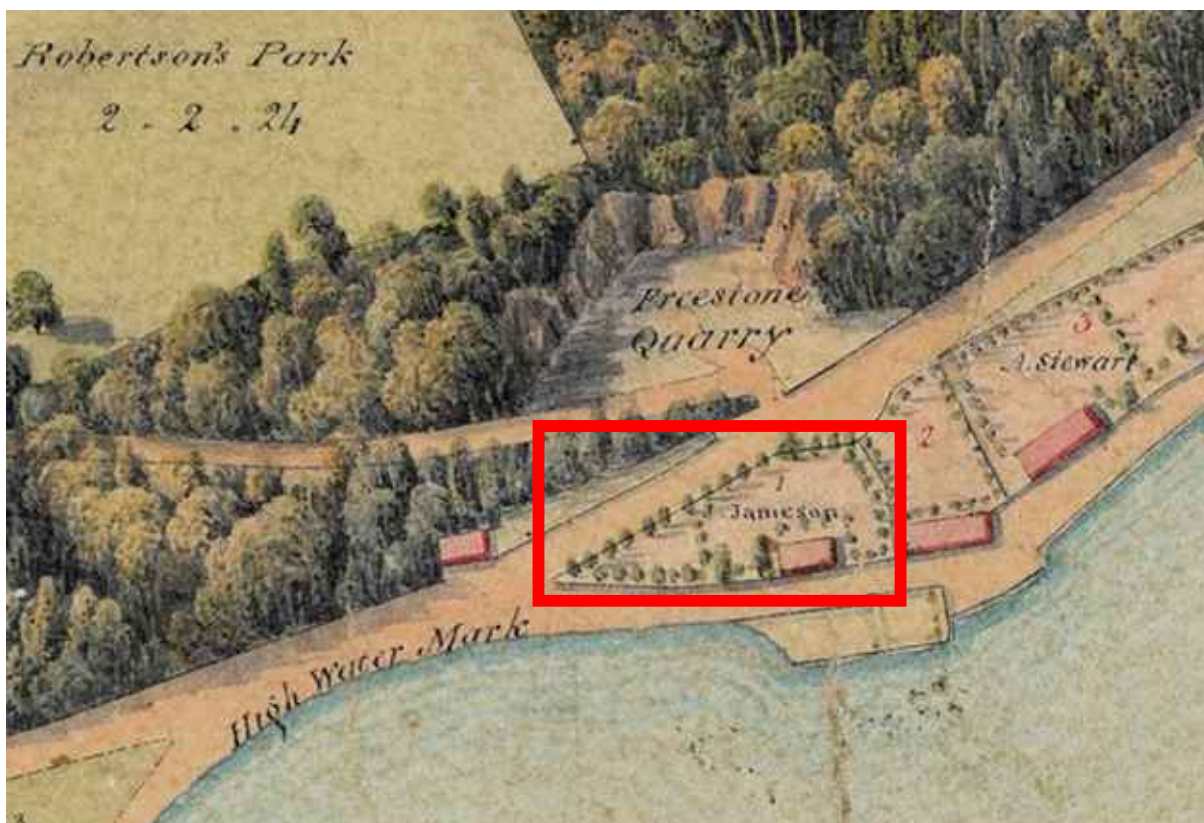


Figure 13: Valleyfield Estate map, c.1814 from Canmore database, HES

The listed building is identified under LB3347 with Historic Environment Scotland and under the listing definition it is described as a 'Two-storey house, stucco and crowstepped; altered fenestration. May date late 17<sup>th</sup> century'. It is believed that the cottage dates to the 1750's when the sea wall was directly opposite the cottage along Main Street. Mapping has been discovered from 1814 that shows the cottage in its current location with a pier, or ramped access and staging area directly opposite the cottage running perpendicular with the road and the sea wall. The listing provides no reference to any architectural significance of note and emphasises that the fenestration has already been altered.

The closest Conservation Area is the Culross CA boundary which is 150m to the west. Views from the cottage into the conservation area are only along Low Causeway and



show a minimal perspective of the surrounding area. The views out of the conservation area are interrupted by a contemporary housing development called Veere Park which consists of 8 large 2 storey houses with number 2 Veere Park being nearly 450 sqm in size and directly facing Low Causeway.

This development extends along the south side of Low Causeway between Westend Cottage and Culross, dominates the street scene and has a huge impact on the visual amenity of the area. Part of this development extends along the south side of Main Street taking up an adjacency to Westend Cottage of 50m of the cottages 67m frontage. The closest property, number 6 Veere Park, pays no regard to its impact on the visual amenity of the cottage's listed status nor do any of the Veere Park development take note of their proximity to the Culross Conservation Area. It is surprising then that such a large development that commands such a high visual impact with contemporary built forms commanding the street scene, has direct adjacency and a direct impact on a Category B listed building would not be considered as having an impact on either the Culross Conservation Area or Westend Cottage (see additional photographic documentation submitted).

## SIGNIFICANCE

It is clear from the lack of historical context or historical record that this building has been included on the statutory listing based on its age only. The contextual and evidential importance of the building could have yielded evidence about past human activity, however changes in the building's lifetime have erased any such evidence. The scale and form of the building are indicative of working-class families in the late 18<sup>th</sup> and early 19<sup>th</sup> centuries. It is believed that this property was the residence of either the quarry master or pier master as the Low Valley coastal strip quarry activities date back to the medieval period and the map above clearly identifies the 'Freestone Quarry' to the north of the property, probably the source for the sandstone used to construct the cottage.

## WORKS CONDUCTED TO WESTEND COTTAGE

Listed Building Consent (23/00911/LBC) was granted on July 6<sup>th</sup>, 2023, to investigate the existing condition of the building and to understand the changes made post listing in 1971. This work has since been completed and further information from the cottage has been revealed along with some negative impacts of work conducted outside approved Listed Building Consent which will be covered below.

23/00911/LBC proposed extensive interior renovation works which received positive feedback from HES and Fife Council. 23/00911/LBC was approved for the following:

- The interior tongue and groove ceiling to be removed.
- The carpets to be removed, and any twentieth century flooring also removed
- Twentieth century interior stud walls to be removed
- The twentieth century tongue and groove wood panelling and lathe and plaster on the interior of the exterior walls from the late Victorian period to be removed to return the walls back to their original plaster and stone finish

- The twentieth century exterior harling to be removed to allow the building to breath and dry out.
- All fireplace surrounds and plaster to be removed to expose the original fireplaces if they are still there
- Testing of the existing floor and ceiling joists for structural integrity and historical reference to be removed if compromised.
- Demolition of the 20<sup>th</sup> century west bathroom
- Demolition of the north Victorian kitchen extension with contemporary uPVC windows and no heritage assets remaining

While the work was ongoing, pictures were taken to document the progress and it became clear from research and the removal of the interior that the majority of work was conducted in the early twentieth century and the roof was changed completely in the 1980's based on the manufacture date of the tiles (1983), the photograph of the house from 1971 when it was listed (see previous), and the obvious changes to the roof pitch, materials and ridge height and the type of roof trusses used in the roof construction. See following interior shots:



*1<sup>st</sup> Floor west bedroom. Stripping back to original wall construction. Note holes in the wall on the south side and at floor level from the exposed ground floor flue.*





*Doorway to kitchen showing timber lintel. This was not an original opening from the original cottage construction but was added in the Victorian period.*



*Huge hole in the first-floor south wall at the top of the wall head to the east of the front door. This area caused the roof to collapse during further renovation works. This was one of a number of voids discovered while work was ongoing.*





*Quoined returns at the front door that show the building was once two distinct buildings. The quoins run down to grade*



*Sistered floor joists using 1" material. The floor joists were full of dry rot and had no load bearing capacity left. They had been sistered by timbers inadequate for their structural use and the resultant impact was a failure in structural integrity.*



The eastern building had a lower wall height, the roof was also lower and of an equal pitch each side, which is shown by the equal height of the skew puts on the eastern gable. The western building had a higher wall with an asymmetrical roof pitch which is clearly identified by the skew puts at the western gable being higher than those of the eastern gable and the southern skew put being higher than the northern one. The skew puts are in their original location as they are each individually carved from one piece of stone and the crow stepped gable begins with the skew put stone location.

The change in roof form is also indicated clearly on the north and south rooflines at the gable and the intersection of the crowsteps. It is clear that the roof has been lowered on the north side and the pitch altered and raised on the south side.



*Change in roof line and pitch shown on north side at the east gable with cement flaring at the crowstep gable to make up the difference in the new roof line. This photo clearly shows the negative impact of the roof change in the 1980's without LBC and allowed water ingress into the roof space.*





*Change in roof line and pitch shown on south side at the west gable. The change of roof from the 1980's and poor workmanship at the crowstepped gable is clear.*





*Change in roof line and pitch shown on south side at the east gable where the lower crowstepped stones have been covered in cement to smooth out the pitch*

Upon removing the exterior cement render, which was in places 30-40mm thick, vernacular rubble sandstone construction was revealed with a large number of areas of the wall filled with the original pantiles, brick ends and cement. There were three original openings revealed that had been filled in and changed over the course of the building's history, that are delineated by quoined detailing and stone cills and lintels. There are also a number of new openings that have been created over time that have no stone detailing which also show a change over time of the property. On the ground floor, the two original doors were revealed, one to the east close to the east gable and one to the west mid-way between the existing entrance and the west gable.

It was also revealed that the building had once stood open to the weather with no render protecting the stone. This has led to extensive water damage that was intensified by the installation of the cement render noted above. The quoins however show signs of good quality craftsmanship in areas with a smooth face giving some prominence to the building. Unfortunately, the cement render has damaged the face of most of these quoins and the poor maintenance and exceedingly poor workmanship in applying the cement render has seriously damaged the original sandstone walls.

It was originally planned to reveal the now exposed quoins as a way of referencing the buildings history showing how the south façade had changed over time. However, the stone is in very poor condition and any works to reconstruct the face of the stone would have the potential to cause further damage.





*Lower render being removed from south elevation showing the original entrance on the east side and the original entrance shown on the west side of the south elevation*





*Original window filled in with sandstone to the west of the front door. Brick and cement infill to fill in gaps in the wall for the cement render applied in the 1960's.*





*Original window on the west side of the south elevation filled in with sandstone. Brick and cement infill to fill in gaps in the wall for the cement render applied in the 1960's. the window opening adjacent to the original opening were added at a later date and the windows installed in the 1980's.*





*Original windows filled in with sandstone, either side of the front door. Quoins above the entry showing the infilled pend that once separated the two buildings. Brick and cement infill to fill in gaps in the wall for the cement render applied in the 1960's.*





*Original windows filled in with sandstone, either side of the front door. Quoins above the entry showing the infilled pend that once separated the two buildings. Brick and cement infill to fill in gaps in the wall for the cement render applied in the 1960's. The low skewput on the east side shows the change in the level of the wall for the new roof. There is also extensive damage to the sandstone from water and moisture impact.*





Figure 14:Quoined returns at the front door that show the building was once two distinct buildings. The quoins run down to grade





*Figure 15: East gable showing original wall construction and skew puts at the same height indicating a typical symmetrical roof and building form. This gable also shows the impact of high moisture content within the walls.*





*Figure 16: Original window filled in with sandstone to the west of the front door. Brick and cement infill to fill in gaps in the wall for the cement render applied in the 1960's*



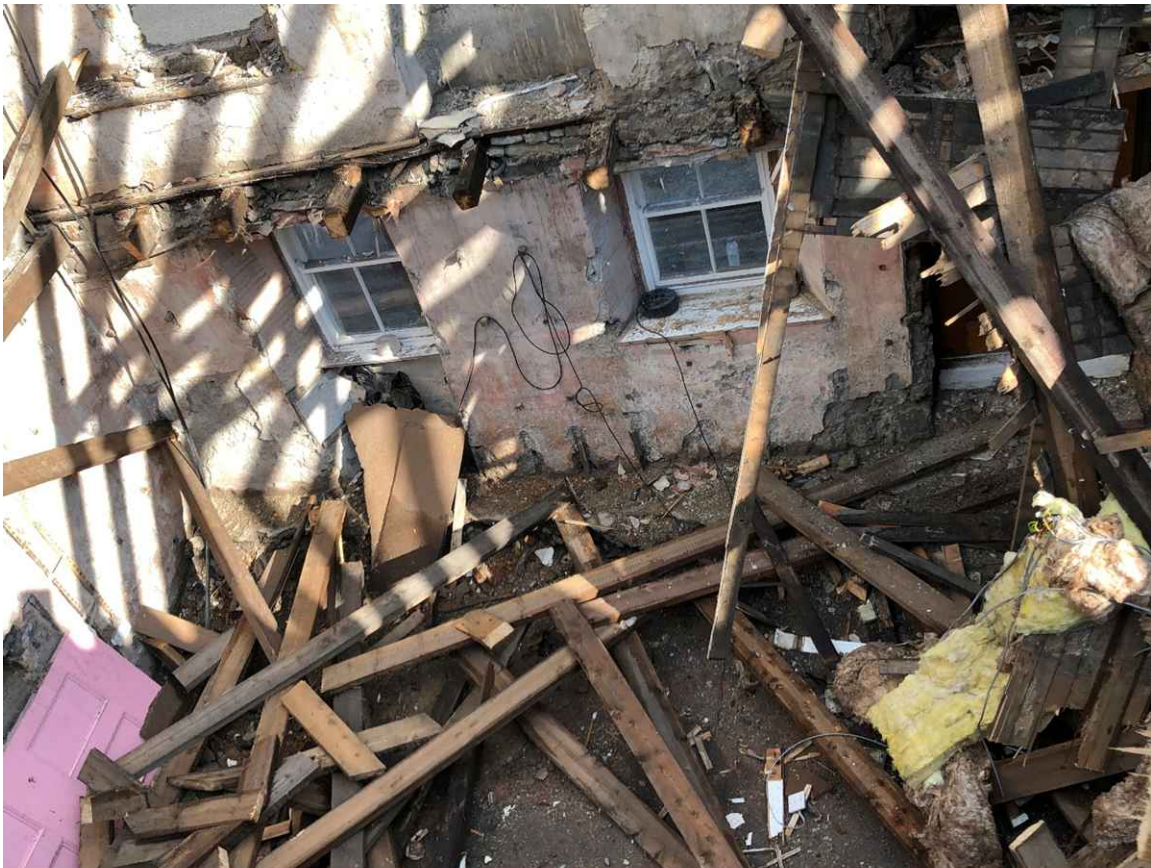


Figure 17: Original windows filled in with sandstone, either side of the front door. Quoins above the entry showing the infilled pend that once separated the two buildings. Brick and cement infill to fill in gaps in the wall for the cement render applied in the 1960's





*Original fireplace on the east gable exposed. Two stone columns and a stone lintel are clearly visible. These will be retained and be a feature of the renovated property.*



*While works were undertaken on the floor, there was a partial roof collapse due to the impact of previous works to the first-floor wall head from the 1980's..*





*Exposed rafters after 1980's pantiles and substructure were removed post roof collapse. This was conducted outside LBC but was necessitated by health and safety concerns and the structural integrity of the exterior walls.*



*Image showing the top of the wall head that collapsed during interior works to the first-floor framing and exterior render removal. Pantiles had been removed at this point.*





*South elevation with roof removed. The west gable wall had shown signs of moving but this was deemed to be historical in nature.*



*Original fireplace on the west gable exposed. The two stone columns are clearly visible, however, the stone lintel is missing. The stone lintel was replaced, and this fireplace will be retained and be a feature of the renovated property.*





*North elevation with roof removed. The west gable wall had shown signs of moving but this was deemed to be historical in nature. The wall head on the south wall has been repaired in three places with stone recovered from the site of the building. Both doors in this wall are not original to the house.*



*Once the render was removed from the wall, it is clear that the window was being held in place by the cement as the sash boxes were removed, therefore the window was sitting within the rough opening with no tieback. As the window was sealed closed and had no operating function, it served no function and is clearly not original to the building. This was deemed to be a health and safety concern as the window could easily fall out. These windows were retained in one of the rear sheds.*





*Unfortunately, during renovations, a small section of the south boundary wall was impacted by the skip. In order to prevent further damage to the wall, and to help improve access to the site, the opening was widened, and stone retained for rebuilding once the project has been completed. The gates had to be removed to access the gate hinges when the render was removed. These will also be reinstated once the project is completed.*



*In order to provide better access to the northern part of the site for landscaping and continued renovations, a 3.5m wide section of wall was removed. The stone from the wall was retained for rebuilding once the project is completed.*



## Historical Reference of works conducted to Westend Cottage since 1971

The following is an approximate timeline of works conducted to Westend Cottage since its listing date in 1971. These works were conducted without LBC.

1980's:

- Roof removed and replaced with engineered trusses and pantiles not in keeping with the original building. The lower four courses of slates were removed and not replaced
- The roof was poorly installed without flashing allowing water ingress and rot within the structure
- Render removed and replaced with cement render. This has resulted in permanent damage to the sandstone walls and deterioration of the south wall.
- Gaps and inconsistencies in the sandstone wall were filled with cement and the original pantiles and brick ends, resulting in further damage to the sandstone wall.
- Interior works including new walls and a new layout, new fireplaces, and the removal of the original floor.
- Sistering of the original floor joists and installation of tongue and groove interior wall lining.
- Installation of concrete floor
- A 12sqm extension constructed as a ground floor bathroom on the west elevation. The roof structure overlapped the south boundary wall and was tared and lapped with poor detailing.
- A doorway opened in the west gable wall to access the bathroom.
- Damage to the wall heads on the south wall when installing the new roof
- Damage to the east gable wall with the removal of stone to allow for the installation of the new roof
- Removal of original windows with replacement windows not matching and inoperable.

2020:

- Lower west south façade window replaced and window opening widened
- New smooth coat cement rendered 'framing' around windows on the exterior, painted cream.

2023

- Removal of the roof after partial collapse due to damaged wall head on the south wall from works conducted in the 1980's that left a significant hole at the top of the wall. The roof was poorly constructed and in the process of working on the floor and interior walls part of the roof collapsed.



- Removal of windows due to health and safety after render removed from the exterior wall. The render was holding the windows in place and once removed it was highly likely that the windows would fall out. They have been kept in one of the outside sheds.
- Partial down taking of the south boundary wall at the entrance to the property due to access issues and accidental damage. Stone has been retained for reconstruction like for like once the project has been completed.
- Partial down taking of the north boundary wall to allow for site access. The section of wall removed is 3.5m wide and the stone has been retained for replacing like for like once the project is completed.

Although works have been done to the property recently without LBC, the removal of the roof and windows were due to health and safety concerns for those working in the building, pedestrians on the street and for the preservation of the cottage structure. After the roof collapsed while removing floor joists and working on the interior walls as granted through 23/00911/LBC it was deemed important to ensure the rest of the roof did not pose any further issues and any impact on the structure of the wall was mitigated against further damage.

The existing windows were no longer held in place after the cement render was removed as they had no mechanical tieback to the stone wall nor were they the right size to sit behind the window stop in the wall which has a reveal of approximately 100-150mm. Had the windows maintained any integrity for operation or at the very least were original to the property their retention in place would have also been a concern in the preservation of their integrity.

Both of these architectural elements had already been constructed without LBC in the 1980's and the proposed changes to the cottage have now reversed the works that have caused so much damage to the structure. It is understood that LBC should have been applied for, however the works conducted were already part of a Listed Building Consent application and it was deemed necessary to take remedial action to prevent any further damage to either the building or potentially the public.

The proposal seeks to replace the roof with a SIP construction and return the four courses of slates to the eave line thereby returning the roof to a semblance of its original form. The proposed windows will be constructed of wood by a local joiner who has experience with historic properties. The new wood windows will be accurate in their construction using 25mm tight grain pine frames with 12mm double glazed thermal units and full divided lite astragal details comprising ¼ round interior finish and 8mm putty line to the exterior.



## THE PROPOSAL

As illustrated, the site poses some challenges in terms of the visual interpretation of the rear of the cottage, the change in levels from north to south of approximately 3m, and the listing status of Westend Cottage being a Category B Listed building. The principal of development has already been established on the site with the construction of a Victorian kitchen on the north façade and the construction of a flat roof bathroom in the 1980's on the west façade without LBC. The scale of development within the context of Westend Cottage has also been established with the construction of Veere Park opposite Westend Cottage and the construction of Saorsa Inn to the west of the property. These recent developments are a full 2 storey in height and dominate the landscape. In terms of the relationship between the surrounding environment and Westend Cottage, these developments are important in the context of the proposal to establish what is considered to be acceptable in the context of a Category B Listed Building.



*View looking west from northern boundary of the site showing the impact of the development at Veere Park on the visual amenity of the listed building and the Conservation Area further west*





*View south towards the two-storey building opposite Westend Cottage that has an imposing and direct impact on the visual amenity of the listed building without recognising the Category B listed building*



*View looking west from southern boundary of the site showing the impact of the development at Veere Park on the visual amenity of the listed building and the Conservation Area further west and the impact of Saorsa Inn at the junction of Low Causeway and Main Street to the west of the property. The property adjacent to Saorsa Inn is also Category B Listed.*





*View east towards Westend Cottage showing #6 Veere Park dominating the visual interpretation of Westend Cottage. The two-storey building has an imposing and direct impact on the visual amenity of the listed building without recognising the listing status. This building has a huge impact on the interpretation of Westend Cottage in terms of scale and mass. The rise of the bank to the north and the tree line also provides a large scale backdrop to Westend Cottage all of which are considerations in the context of scale and mass for any development of the site.*



*View east towards Westend Cottage showing #2 Veere Park dominating the visual interpretation of the Category B Listed 'The Endowment' opposite with Westend Cottage barely visible in the distance. The two-storey building has an imposing and direct impact on the visual amenity of the listed building without recognising the listing status. This building has a huge impact on the visual interpretation of the surrounding area and Westend Cottage in terms of scale and mass. There has been no assessment of scale and mass of #2 Veere Park in relation to The Endowment which is directly opposite this building.*





*View west towards Veere Park and Saorsa Inn from the 1<sup>st</sup> floor of Westend Cottage showing #5, #6 and #2 Veere Park and Saorsa Inn dominating the visual interpretation of the Category B Listed 'The Endowment' and Westend Cottage. These two storey buildings and their materiality and colour of finishes have an imposing and direct impact on the visual amenity of the listed building without recognising the listing status. These buildings have established the contextual development of the area in terms of scale and mass with no regard for either of the Category B Listed buildings. This image also shows the negative impact of the west bathroom that was constructed without LBC.*

Westend Cottage sits directly on Main Street with the front elevation facing southeast and the primary axis of the building running predominantly in an east-west direction. The location for any development on site is therefore restricted to the rear of the cottage either to the north or to the west of the cottage, for which the precedent of an extension has already been established albeit without LBC. The 2.2m high stone wall to the east has driveway and vehicular access adjacent to the house and therefore prevents any development other than the current sheds and garage located there. An extension was considered where the Victorian kitchen was located on the northwest of the cottage, but this was ruled out as it would divide the site too much and it would present a built form that would be seen as separate and defining in the landscape, a development that would not be subservient to the context of the site or the listed building. As development of the rear of the property has been established the most logical location is to the rear of the cottage on the east side.

Developing this part of the site maintains a consistency of development in relation to the neighbouring property, allows the site to retain its open space to the west creating a natural courtyard and any development is then hidden behind the cottage and not visible from Main Street other than any ridge line exposed above the boundary wall. Developing this part of the site therefore is in line with the requirements of the LDP for extensions and thereby reduces any perceived impact to the surrounding area, especially the 20<sup>th</sup> century contemporary development adjacent to the site.



As the west of the cottage was developed with an extension albeit a bathroom without LBC, an extension on this side of the building has also been established as relevant to the context of the site. As the boundary wall here is 2.2m high and almost 600mm thick, any extension on the west side of the cottage would be developed behind this wall, automatically setting it back from the front of the building. Although visible from the front, an extension to the west that is set back from the front façade would only be visible from the street as the passerby is aligned with the original west gable wall of the cottage. Of course, an extension to the west of the cottage would be visible from the west side of the site, specifically heading east along Main Street.

The scale of development has already been established on the rear of the cottage as the Victorian kitchen had a mono pitched roof at the highest point sat just under the eave line of the cottages' north wall. Although the bathroom to the west was single storey and had a roof that sits contiguous with the top of the wall as a flat plane, the interior height of this room was very restrictive and functioned minimally as a bathroom.



*Victorian kitchen addition to the rear of the cottage with mono pitched roof tucked under the eave line. A conservation skylight is also visible on the cottage's roofline. It is clear that this extension also received a new roof in the 1980's when the dark grey cement render was applied.*

The major concern with developing an extension to the west of the cottage is the visual relationship between a contemporary design with a flat roof or a traditional design that matches the existing cottage's roof pitch thereby reducing the impact on the listed building. This kind of development is encouraged in Historic Scotland's *Managing Change in the Historic Environment* series.





*The bathroom extension to the west of the cottage is a poor example of development which has little relationship in architectural terms to the original cottage, emphasized by the tar flat roof and picture windows. This is in spite of the extension mass being limited to the top of the south boundary wall. Although the wall hides the extension from the south, it is clearly visible from the west and north. See below.*



Having taken into consideration the context of the site and its relationship with the surrounding area, it was clear that due to the openness of the site, any development



would have a perceived impact on the cottage. Therefore, citing the proposed extensions as far from the western boundary as possible was important.

The existing cottage has a ground floor footprint of 5.9m x 11.7m with a footplate area of 69 sqm. As the cottage is two storeys the total area of the cottage is 138 sqm.

The Victorian kitchen extension was 2.4m x 6.3m with a footplate area of 15 sqm.

The west bathroom extension was 2.4m x 2.4m with a footplate area of 5.8 sqm.

The total ground floor footplate area of the existing cottage, kitchen and bathroom was 89.8 sqm.

The proposal for Westend Cottage is to develop a storey and a half extension to the north of the building, which is set down, set back and smaller in scale and mass than the existing cottage using the pitch of the original cottage roof to maintain the integrity of the architectural form. This will result in a development that is smaller in scale and mass than the existing cottage while maintaining an architectural integrity that meets HES guidelines and Fife Council's LDP in terms of design and detailing. This will be achieved by using crowstepped gables, lime render, and a scale and mass that is subservient to the cottage while respecting the context of the established development of the surrounding area which has already negatively impacted Westend Cottage.

A second extension is proposed to the west of the cottage which will also be set back and set down in relation to the existing cottage, using the cottages roof pitches to maintain the visual integrity of the listed building. This will result in a development that is smaller in scale and mass than the existing cottage while maintaining an architectural integrity that meets HES guidelines and Fife Council's LDP in terms of design and detailing. This will be achieved by using crowstepped gables, lime render, and a scale and mass that is subservient to the cottage while respecting the context of the established development of the surrounding area which has already negatively impacted Westend Cottage.

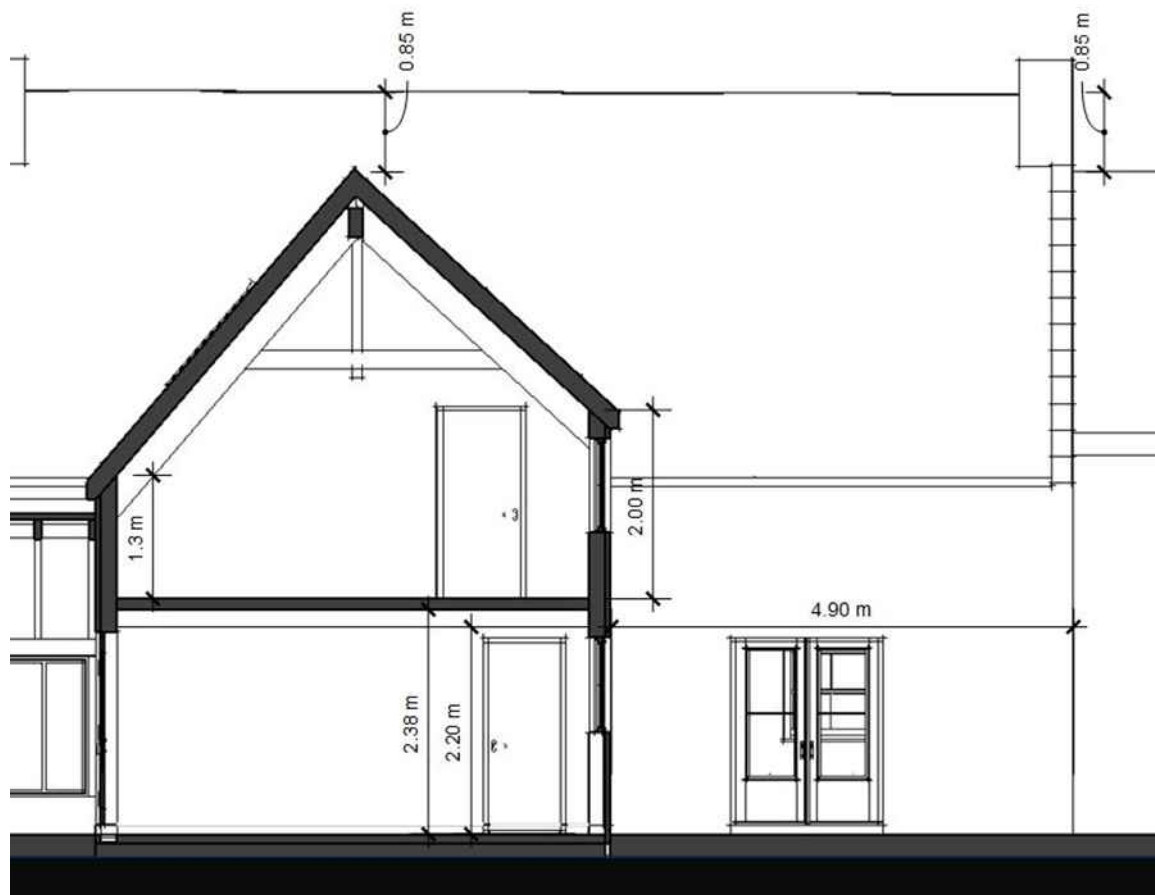
The proposed footplate of the north extension is 5.4m x 10.2m with a footplate area of 55.1 sqm. As the north extension will be a storey and a half, the total area of the north extension is 110 sqm. This is 80% of the existing cottage area. Therefore, maintaining a smaller scale than the existing cottage.

The proposed footplate of the west extension is 4.2m x 3.9m with a footplate area of 16.3 sqm. As the west extension will be a storey and a half, the total area of the west extension is 32.7 sqm. This is 23% of the existing cottage area. Therefore, maintaining a smaller scale than the existing cottage.

Combined the north extension ground floor footplate and the west extension ground floor footplate are 71.4 sqm. This is 80% of the combined total ground floor footplate of the existing cottage and its extensions. Therefore, the combined area of the proposed development is smaller in scale than the original cottage layout. See architectural drawings submitted with this application for measurements.



In terms of mass of the extensions the north extension is has a ridge that is 850mm set down from the proposed ridge of the new roof of the existing cottage. The new roof of Westend Cottage is proposed to re-establish the former ridge line from 1971 when the building was listed. The east wall of the north extension is 1285mm setback from the existing cottage and the west wall of the north extension is setback 4895mm from the west gable of the existing cottage. Therefore, the proposed north extension is subservient in mass in relation to the existing building. This is clearly visible in the section on A3.7.



*The section on A3.7 of the proposed north extension showing the subservient design in relation to the mass of the existing cottage. The first floor has an east knee wall of 1.3m in height and due to the location of the extension access from Westend Cottage, the east knee wall has to allow for easy transition between spaces and is therefore 2m in height. It is clear from this drawing that the extension is subservient in mass to the existing cottage.*

As the north extension is a rear extension which is reduced in height by almost a meter from the existing cottage, it is shielded by the existing cottage from Main Street, the south boundary wall, and the north boundary wall with only glimpses of the extension visible from these locations. The greatest visual perception is from the west travelling east from Culross.

The proposed west extension, similarly, is subservient in mass in relation to the existing cottage. The roof line and crowstepped gable has been designed to reflect on the existing cottage roof pitch and scale of crowsteps. This allows the west extension to blend into the west elevation. This is enhanced by the west cottage window being copied in size and location and positioned in the west extension at exactly the same location, therefore visually the observation is that there is no change from the original view from the west into the property.



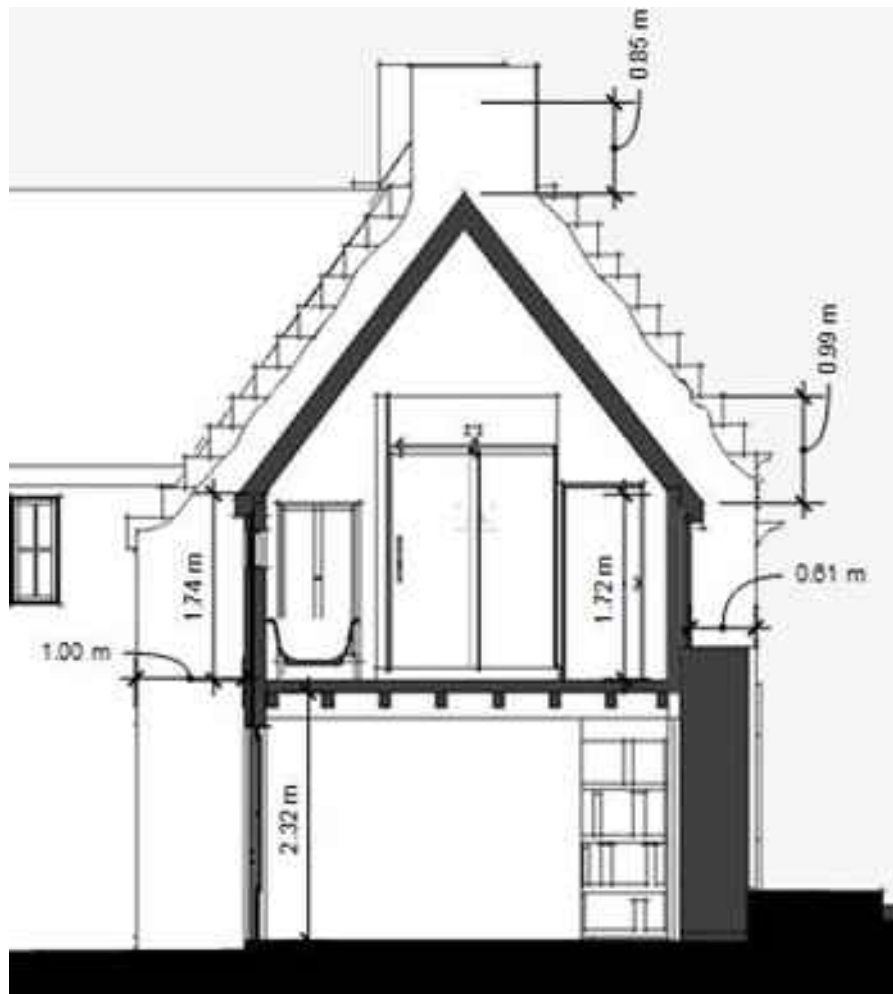


*The CGI of the cottage in its surrounding shows how the extensions are hidden behind the north and west boundary wall. The upper window in the west extension is an exact copy of the existing Westend Cottage west gable window that is transposed directly to the same location on the west extension gable wall.*





The west extension is set back from the south cottage wall by 610mm, the north wall of the west extension is set back from the north cottage wall by 1000mm, and the ridge of the west extension is set down by 850mm from the proposed new ridge line of the new cottage roof. This is clearly visible in the section on A3.8.



*The section on A3.8 of the proposed west extension showing the subservient design in relation to the mass of the existing cottage. The first floor has a north knee wall of 1.74m in height and the south knee wall of 1.72m in height therefore the west extension is not a true two storey development. It is clear from this drawing that the extension is subservient in mass to the existing cottage.*

The issue at hand is the perceived length of the extension in its relationship with the existing cottage. As there is no angle or view into the site where the two buildings can be compared by their length as the north extension is perpendicular to the existing cottage and set back from the east gable, it is impossible to perceive their true relationship. The north extension is 10.2m long whereas the existing cottage is 11.7m long. This is a difference of 1500mm. Taking into consideration that the length, width, height, and area of the north extension is shown to be less than the existing cottage it is clear that the scale and mass is subservient to the listed building.

Listed Building Consent has already been granted for works to Westend Cottage that would remove previous works that have severely damaged and compromised the listed building, retuning the property back to that of a functioning and habitable home that values the integrity of the cottage's history. The walls will be preserved in their original state ensuring that the historical integrity is maintained, and a lime render will be applied that will allow the building to breath.



The ground floor of the existing cottage was concrete and showed heaving and poor workmanship. This will be removed and excavated down 500mm to original grade and rebuilt up with a contemporary floor system allowing for an infloor heating system with reclaimed wood floors in bedrooms and living spaces and a travertine floor in bathrooms, entry, kitchen, and mechanical room. Although the ground floor level will be excavated down 500mm, it will be brought back up 300mm so that the new floor level will be close to the original floor level of the house, some 200mm below that of the current level. The infloor heat will introduce sustainable technology to passively heat the home. However, the heating system requires two heat pumps and a large mechanical room to house the technology required to maintain the building's sustainability.

Having removed the existing substandard floor, and in order to meet building standards and achieve the best possible outcome of living space, a timber frame floor exposed to the ground floor will be installed, again, with infloor heating to the first floor. This will allow the ground floor and first floor space to function without impacting the existing building.

Once the interior finishes have been completely removed it is proposed that the interior walls will be cleaned. In order to help with the building's sustainability and viability 119mm EPS SIP panels will be installed with an offset of 25mm to the interior face of the existing stone wall. The SIP panels will provide valuable insulation and allow the building to breathe as EPS is very effective at allowing warm moist air to permeate through to the exterior where the natural stone will be allowed to do its job of transmitting that moisture to the exterior. The SIPS will also support the timber frame first floor effectively creating a secondary structure within the existing cottage. All connections to the original wall will be through either existing holes or into the mortar substrate.

The proposed changes to the Westend Cottage involve the removal of the front door and two steps down into the cottage to allow the ground floor to return to its original level. The door will be replaced with a window and the first-floor window above will also be changed out to a window of the same size. The intention was to expose some of the quoins however the sparsity of good quality stones means the cottage and extension will be lime rendered completely. As the front door has been compromised in height due to extensive raising of the pavement and road, the entrance is no longer fit for purpose as an entry. However, in order to provide a context of the original door on the front façade a raised lime rendered door frame is proposed with the infill wall being composed of two 120mm SIP panels. This wall is recessed 50mm back from the existing wall and the rendered frame is 120mm wide and protrudes 50mm from the face of the existing wall. This gives the representational appearance that an entry to the property once existed in this spot.





*The new proposed detail on the south elevation of the existing cottage showing the new lime rendered door frame with the new proposed window set at the height of the existing door. This detail provides context to the location of the current door position even although it is not the original opening.*

A similar detail has been developed on two listed buildings in Culross as shown below.







The existing roof was built in the 1980's without LBC and due to the partial roof collapse noted above the roof is no longer on the cottage. The date of the roof is confirmed by the date of manufacture of the clay tiles noting 26 April 1983. The current clay tiles are not consistent with the historical context of the cottage and are certainly not in keeping with the traditional pan tile of the area. The 3-4 courses of slate will also be reintroduced to the bottom of the roof thereby returning the roof back to its original visual state. The trusses will be replaced by 144mm thick EPS SIP panels made locally in Glenrothes. They will be supported by two timber trusses and a ridge which will open up the interior first floor space due to the low wall height. Reinstating this kind of roof will provide longevity and sustainability to the cottage, making it energy efficient and resilient to climate change. The roof will also be designed to make up the difference between the two altering pitches between the east and west gables, returning the south elevation to that of its image in 1971. The remainder of the roofs will be finished in the same slate from Stirling that is 150mm x 350mm and 7mm thick.





#### PROPOSED DOWNTAKINGS OF EXISTING COTTAGE

The design and location of the proposed extensions unfortunately require dunting of small areas of the existing cottage wall, for which the stone will be kept and has the potential to be reinstated should a reversal of the extensions back to the original cottage is proposed.

In order to access the proposed west extension first floor ensuite bathroom, the existing window will need to become a door. This will involve the removal of an area of stone 740mm wide x 875mm high with the wall depth being 550mm at this point. The stone will be carefully removed and stored in one of the sheds on site for either reuse for wall repair or for reinstatement in the future if the works are to be reversed. The opening on the first floor will be smaller in size than the opening created on the ground floor without LBC to access the former ground floor bathroom. Although the removal of stone in this area could be perceived to have a negative impact on the listed building, the proposed west extension will hide these works and as noted above the new window created in the west extension gable will be located in exactly the same spot and will be exactly the same size as the one removed on the west gable. Any repairs to the wall will be with sandstone and lime mortar to match the existing.

The proposal also seeks to widen the current door opening from the existing dining room into what was the former kitchen. The amount of stone to be removed will be an area of 1980mm high x 810mm wide and 640mm deep. This stone will again be carefully removed by building a wooden crib to support the wall above until such time that a new lintel can be installed within the wall to support the remaining wall above. If required temporary steel posts will be installed to help retain the weight of the wall while work is being undertaken. The stone will be kept onsite and will be used for



future repairs to the cottage or kept for reinstatement should a return to the existing built form is desired. This door was an interior door that was created when the kitchen was built. It has not been viewed within the existing historic environment of the listed building and therefore the context of the door in this elevation is not recognised as an exterior door, but an interior door. The resultant effect will have minimal impact on the listed building as the new opening will be the new context of the listed building. The opening will be framed with quoins to help strengthen the opening which will provide a context to the filled in window openings on the south elevation. As the majority of the rear elevation was taken up by the Victorian kitchen which had a door and three uPVC windows, this new opening will provide a much-needed simplicity of form and detail to an elevation that has no other openings.

In order to make the connection to the first floor of the extension to the north, a section of the north knee wall will be removed to create the opening. The area required to be removed is 1205mm high x 1640mm wide and 640mm deep. This is where the original pend would have run and therefore this will not have an impact on either the visual amenity or the structure of the cottage as it will be hidden within the confines of the north extension. The location of the area of wall to be removed is located at the top of the stairs. Again, the stone will be carefully removed and stored for future use. As this is at the top of the stairs and part of the wall head, it will be easy to reverse the works and reinstate the stone with lime mortar. The stairs are not original to the cottage however they will be rebuilt in their current location with current Building Standards to make the transition between floors to code.

All dountakings will be photographically recorded and measured to ensure accuracy of stone location and all stone will be removed by hand without the use of mechanical tools.

The windows on the south elevation are also not original to the cottage showing a mixture of 4 over 4 and 2 over 2 styles and as noted above have had their box sash and case removed so that the windows will fit into the openings. They are non-functional and therefore are historically incorrect and do not meet current building regulations. There is no plate glass existing, and all panes have been replaced for modern glass at some point. The windows have also been poorly installed in their current locations which has led to wood rot and an inoperability of the frame. After removing the exterior cement render, the windows did not fit the existing rough openings and due to health and safety concerns they were removed. It is proposed that new wood windows will be installed that have a standard historical 25mm deep wood frame with true divided lite through an astragal detail as noted above. The windows will be 2 over 2 panes and a local joiner, Adrian Scott Joinery, 49 Baxter Road, Crossgates has been approached to build the new window replacements. It is perceived that these windows will not be single glazed but will be vacuum sealed units allowing for the appearance of single glazed.

Westend Cottage and the extension will be rendered in lime matching the colour and style of render applied at Culross Palace, Stirling Castle Great Hall, Dysart Cross and

numerous other listed properties in the area that represent the relative historical finish of the time period. The lime will help the building to breathe and the colour will enhance the surrounding area providing a historical and physical connection to Culross Palace.

#### PREAPPLICATION 23/01883/PREAPP

A pre-application submission, 23/01883/PREAPP was submitted on July 6<sup>th</sup>, 2023 for which a response was received on August 3<sup>rd</sup>, 2023. Although there were no policy concerns due to the size of the extension, relationship with neighbouring properties and that the extension fell within both National and Local Policy, there were concerns about the scale, mass, and impact on the Conservation Area. I believe that these concerns have been dealt with in the previous pages of this HIA with images and drawings to support the rationale that the design of the north and west extension are subservient to the Category B listed building known as Westend Cottage.

Planning Guidance has been reviewed in the design of the extension for Westend Cottage. This includes:

NPF4 policy 7

Managing Change in the Historic Environment:

- Boundaries
- Doorways
- Windows
- Extensions

Historic Environment Policy for Scotland

Scottish Planning Policy 2014: 140, 141, and 142.

FIFEplan policy 1,

FIFEplan policy 10

FIFEplan policy 14

Making Fife's Places, Supplementary Guidance, 2018

Having read through the response to 23/01883/PREAPP it became clear that the main concerns with the proposed extension to Westend Cottage were due to the perceived impact on the design and amenity of the Category B Listed Building.

***Design and Visual Impact:*** *The proposed works must take into account the architectural and historic value of this Category B listed property, ensuring that any alterations do not compromise its significance.*

As the building has been listed primarily due to its age and that the only significance to this Category B Listed building is that its form is relative to its time of construction, then the proposed extensions more than satisfy the requirement that any alterations do not compromise the buildings significance. This is due in part to the fact that the building has already been significantly compromised in its design, appearance, and works conducted that have seriously impacted the existing buildings integrity as a sandstone building. The exterior visual impact has been impacted due to



the extremely poor exterior cementitious render that is up to 40mm thick, a roof replacement in the 1980s that has altered the roof form, interior works to the stone structure to enable the roof replacement which resulted in a catastrophic collapse of the roof. All repairs to the building prior to 2023 have been carried out without prior Listed Building Consent. All changes that have been proposed such as a new roof, new historically appropriate operating windows, exterior lime render and the proposed extensions scale and mass are all in line with maintaining and improving the Category B listed building's appearance. This is a primary factor in NPF4 Policy 7 (c) whereby

*c) Development proposals for the reuse, alteration or extension of a listed building will only be supported where they will preserve its character, special architectural or historic interest and setting. Development proposals affecting the setting of a listed building should preserve its character, and its special architectural or historic interest.*

As Westend Cottage's character has been compromised beyond recognition due to the insensitive window, roof, and exterior cement render changes, notwithstanding that the south elevation windows are not in their original location, not their original size nor are the current windows even operable, the building in its current form has no special architectural character, outstanding architectural design or historical interest. The proposed changes to the Category B listed building will seek to return character and integrity back to a building that has been altered beyond recognition. The proposals to the building more than meet the requirements of Policy 7(c). The building has sat vacant for over four years and this intervention will bring life back to a building that could easily have been demolished.

The existing cottage has a ground floor footprint of 5.9m x 11.7m with a footplate area of 69 sqm. As the cottage is two storeys the total area of the cottage is 138 sqm.

The Victorian kitchen extension was 2.4m x 6.3m with a footplate area of 15 sqm.

The west bathroom extension was 2.4m x 2.4m with a footplate area of 5.8 sqm.

The total ground floor footplate area of the existing cottage, kitchen and bathroom was 89.8 sqm.

The proposal for Westend Cottage is to develop a storey and a half extension to the north of the building, which is set down, set back and smaller in scale and mass than the existing cottage using the pitch of the original cottage roof to maintain the integrity of the architectural form. This will result in a development that is smaller in scale and mass than the existing cottage while maintaining an architectural integrity that meets HES guidelines and Fife Council's LDP in terms of design and detailing. This will be achieved by using crowstepped gables, lime render, and a scale and mass that is subservient to the cottage while respecting the context of the established development of the surrounding area which has already negatively impacted Westend Cottage.

A second extension is proposed to the west of the cottage which will also be set back and set down in relation to the existing cottage, using the cottages roof pitches to

maintain the visual integrity of the listed building. This will result in a development that is smaller in scale and mass than the existing cottage while maintaining an architectural integrity that meets HES guidelines and Fife Council's LDP in terms of design and detailing. This will be achieved by using crowstepped gables, lime render, and a scale and mass that is subservient to the cottage while respecting the context of the established development of the surrounding area which has already negatively impacted Westend Cottage.

The proposed footplate of the north extension is 5.4m x 10.2m with a footplate area of 55.1 sqm. As the north extension will be a storey and a half, the total area of the north extension is 110 sqm. This is 80% of the existing cottage area. Therefore, maintaining a smaller scale than the existing cottage.

The proposed footplate of the west extension is 4.2m x 3.9m with a footplate area of 16.3 sqm. As the west extension will be a storey and a half, the total area of the west extension is 32.7 sqm. This is 23% of the existing cottage area. Therefore, maintaining a smaller scale than the existing cottage.

Combined the north extension ground floor footplate and the west extension ground floor footplate are 71.4 sqm. This is 80% of the combined total ground floor footplate of the existing cottage and its extensions. Therefore, the combined area of the proposed development is smaller in scale than the original cottage layout. See architectural drawings submitted with this application for measurements.

In terms of mass of the extensions the north extension is has a ridge that is 850mm set down from the proposed ridge of the new roof of the existing cottage. The new roof of Westend Cottage is proposed to re-establish the former ridge line from 1971 when the building was listed. The east wall of the north extension is 1285mm setback from the existing cottage and the west wall of the north extension is setback 4895mm from the west gable of the existing cottage. Therefore, the proposed north extension is subservient in mass in relation to the existing building. This is clearly visible in the section on A3.7.

As the north extension is a rear extension which is reduced in height by almost a meter from the existing cottage, it is shielded by the existing cottage from Main Street, the south boundary wall, and the north boundary wall with only glimpses of the extension visible from these locations. The greatest visual perception is from the west travelling east from Culross.

The proposed west extension, similarly, is subservient in mass in relation to the existing cottage. The roof line and crowstepped gable has been designed to reflect on the existing cottage roof pitch and scale of crowsteps. This allows the west extension to blend into the west elevation. This is enhanced by the west cottage window being copied in size and location and positioned in the west extension at exactly the same location, therefore visually the observation is that there is no change from the original view from the west into the property.



The west extension is set back from the south cottage wall by 610mm, the north wall of the west extension is set back from the north cottage wall by 1000mm, and the ridge of the west extension is set down by 850mm from the proposed new ridge line of the new cottage roof. This is clearly visible in the section on A3.8.



Figure 18: The north elevation of Westend Cottage showing 1980's roof, black harling, and uPVC windows in the Victorian kitchen extension. In the background is the development from 2000's that has a major impact on the visual amenity and historical setting of Westend Cottage.

A computer study of the property using Google Maps gives a skewed impression on the visual acuity of the site from the north. This is due to the camera for Google Earth being positioned at 2.8m above ground level, giving views into properties that would never be achievable at an average human height. Furthermore, the proposed extension seeks to use detailing, materials and design that is relevant to the existing cottage. The development adjacent to Westend Cottage has nothing that relates it to the broader historical visual amenity. Therefore, the proposed extension more than meets the criteria of NPF4 and Managing Change in the Historic Environment. The proposed extension clearly follows the following sections of Managing Change in the Historic Environment: Extensions.

### Restoration

*3.3 A building may have lost its original form, and a well- documented reconstruction of a missing element may be proposed. The original frontage to a building may have become partially or completely hidden behind later extensions. The appearance of the building and its setting could be improved by their removal and the restoration of the facade. Planning authorities will often seek to promote restoration, provided there is sound evidence on which to base the work. Where an extension has architectural merit in its own right, or has through time become part of the character and interest of the building; it should be retained.*

### Replication

*3.4 Replication is where new work is designed specifically to match the original building and does so in all respects, not only in the use of the same materials in the*

same style. The dimensions and finish of the materials used and details such as coursing, pointing, tooling, window proportion and profile, roof pitch and slate must all be accurately modelled upon the existing building, or they will not sit comfortably beside the original.

### Complementary additions

3.6 Quite substantial additions can be made to some buildings without detracting from the character of the original work. The same added to other buildings would result in imbalanced design or a straggling composition. In those cases, a well- designed modern addition that will not read as part of the original building will affect its appearance less radically.

### Deferential contrast

3.7 Deferential contrast is where the new becomes a self-effacing backdrop against the old. Even if it is large, it seeks not to be assertive. It might be achieved by reflective glass, for example.

### Assertive contrast

3.8 Assertive contrast means affirmation of the new as a more or less equal partner to the old. New and old combined should be of greater lasting value than on its own. This demands higher-quality new work than would often be found in an isolated new building. The presence of the existing building 'raises the game' for the new build.

Section 4: General Principles goes on to state that:

4.1 It is difficult to lay down hard and fast rules for new work when much will depend upon the site, the landscape, the scale, and form both of the existing building and of the addition or extension proposed. The following basic principles will, however, apply:

- An addition or extension should play a subordinate role. It should not dominate the original building as a result of its scale, materials, or location, and should not overlay principal elevations.
- Where an extension is built beside a principal elevation it should generally be lower than, and set back behind, that facade.

The proposed extension to Westend Cottage achieves all of these points. The design is on a secondary elevation. It is set down and back from the Listed Building. The material finish and detailing match that of the renovated cottage as do the window sizes and the roof pitch, even down to having a two storey on the west facade and a storey and a half on the east side, matching the change in heights between south and north walls of the listed building. Therefore, the scale, mass, location, design, detailing, and materiality follow the guidance laid out by HES.

The proposed development will have no impact on the Culross Conservation Area and it should be noted that the Conservation Area is located some 150m to the west of the cottage. Therefore, it is impossible to see the extension in relation to the Conservation Area as it sits behind the existing cottage, and to the east of the site. The relationship between the proposed extension and the Culross CA would only be relatable if you



stood at the northeast corner of the site and looked west. Even at this point there are no determinable buildings within the Conservation Area that are in clear sight of the property.

What is more the development to the south of Westend Cottage clearly has a huge impact not just on the CA but also on Westend Cottage. Veere Park consists of 8 large 2 storey houses with number 2 Veere Park being nearly 450 sqm in size and directly facing Low Causeway. This development extends along the south side of Low Causeway between Westend Cottage and Culross, dominates the street scene and has a huge impact on the visual amenity of the area. Part of this development extends along the south side of Main Street taking up an adjacency to Westend Cottage of 50m of the cottages 67m frontage.

The closest property, number 6 Veere Park, pays no regard to its impact on the visual amenity of the cottage's listed status nor do any of the Veere Park development take note of their proximity to the Culross Conservation Area. It is surprising then that such a large development that commands such a high visual impact with contemporary built forms commanding the street scene, has direct adjacency and a direct impact on a Category B listed building would not be considered as having an impact on either the Culross Conservation Area or Westend Cottage. The rear extension therefore is not prominent in the streetscape and would not dominate the view from Main Street or Lower Causeway.



Figure 19: Interior view of Veere Park showing massing and scale of the development



Figure 20: Relationship between Veere Park and Westend Cottage

Furthermore, Scottish Planning Policy (which relates to NOF3) states in the following sections that the requirement for changes to Listed Buildings should also consider the ability for the heritage asset to remain in use. As Westend Cottage has remained vacant for four years, it requires intervention in order to arrest its continued deterioration.

The proposed extension not only follows Section 141, but the development of the property also follows Section 142 below, allowing Westend Cottage to flourish, and preventing it from being demolished.

#### Scottish Planning Policy Development Management

*140. The siting and design of development should take account of all aspects of the historic environment. In support of this, planning authorities should have access to a Sites and Monuments Record (SMR) and/or a Historic Environment Record (HER) that contains necessary information about known historic environment features and finds in their area.*

#### Listed Buildings

*141. Change to a listed building should be managed to protect its special interest while enabling it to remain in active use. Where planning permission and listed building consent are sought for development to, or affecting, a listed building, special regard must be given to the importance of preserving and enhancing the building, its setting*



*and any features of special architectural or historic interest. The layout, design, materials, scale, siting and use of any development which will affect a listed building or its setting should be appropriate to the character and appearance of the building and setting. Listed buildings should be protected from demolition or other work that would adversely affect it or its setting.*

*142. Enabling development may be acceptable where it can be clearly shown to be the only means of preventing the loss of the asset and securing its long-term future. Any development should be the minimum necessary to achieve these aims. The resultant development should be designed and sited carefully to preserve or enhance the character and setting of the historic asset.*

As previously noted, the extension to the rear does not interact with the street. However, the small extension to the west does. Although this part of the building addresses Main Street, it does so again in a subservient manner in scale and mass. The extension sits behind the boundary wall, is subservient in its scale, mass, and location, being setback from the principle façade. It therefore does not compete with the principle elevation. As designed with the rear extension, the west extension has the same roof pitch, crowstepped gables and material finish as the existing cottage. As such when viewed from the west it blends in seamlessly with the west gable of Westend Cottage. Please see visualizations attached.

In relation to suggesting that designing an extension to the west that would be single storey and concealed behind the boundary wall I am finding it difficult to imagine how that would work. The boundary wall in question is 2.2m in height. To build an extension with a flat roof in such a visible location as outlined by the Built Heritage Officer would surely be detrimental to the visual amenity and the architectural integrity of the cottage. If a pitched roof would be preferred here, the extension simply would not work as there just wouldn't be the head height to make to room plausible. As such, this location needs to be addressed with sensitivity of design in scale, form, and materials which the proposed west extension achieves and is supported by HES and SPP policy. To build a single storey extension here which would require a flat roof to keep its height under the boundary wall would severely impact the amenity from of the cottage from the west as the design would have no relation to the original building and would go against policy direction. The west extension also adds to the existing building by providing a solid support to the west gable which has been compromised by the replacement roof in the 1980's.

The render colour is indicative of the local colours, seen predominantly with Culross Palace a Category A listed building. Similar render colour is noted throughout Fife, Dysart Tollcross, Culross residences, Stirling Castle Great Hall, and in Edinburgh. The lime render will allow the building to breathe properly and will bring much needed historical context to the area, especially with the contemporary housing development adjacent to the property to the south.

Furthermore, as shown in the submitted drawings, the rear extension is set down into the landscape by approximately a metre and a half. This is to maintain the historical

floor levels of the existing cottage and reduce the perceived scale and mass from the west as the road enters Low Valleyfield. As such as the land and subsequent boundary wall are at their original height the impact of the extension is lessened further. Again, street view on Google Maps is set at 2.8m in height which give a misleading impression of the interior levels of the site and how the buildings will relate to each other.

The suggestion was to move the rear extension further west to the location of the existing Victorian kitchen. However, this would only seek to make the extension more prominent. By moving the rear extension west would only make it more visible from Main Street, Low Causeway and as the wall to the north diminishes in height as it reaches the lower junction, the extension would definitely have more prominence in the area. Moving the extension to this location would also interrupt the physical setting of the rear garden which has maintained its open aspect to the west since Westend Cottage was built, as illustrated in the map of 1814 (see above).

As highlighted previously, the existing windows in Westend Cottage had no boxes for sash and case weights and ropes. They were either removed when bought for the cottage to replace the originals or the original windows were in such a poor condition that windows were moved around in the cottage to fit new sizes. This would be a cheap way of taking second hand existing windows and ripping them down to fit the rough opening. The windows were non-operational and, as they will no longer fit the rough opening now the harling has been removed, they cannot be reinstalled. Again, maintaining a false historical narrative to maintain a contemporary impression in a listed building flies in the face of current legislation and policy.

The windows in the extension are casement but have divided-lites which are relatable to the sash and case windows of the cottage. In order to provide a historic nod to the proposed extension, the casement windows represent the identifier that provides a relative architectural context between old and new. There are no windows on the north façade that can provide a reference between old and new and therefore the casement windows serve their purpose both functionally and contextually. The double casement window size is based on the two western windows of the south façade of the existing cottage and the single casement windows are exactly half that size.

## CONCLUSION

This HIA has been prepared in support of the Planning and Listed Consent Applications for the alteration and extension of Westend Cottage, Low Valleyfield, Fife. It has followed the best practice guidelines outlined by Historic Environment Scotland, NPF4, Fife Councils LDP and the Householder Guidelines for extensions. The HIA has demonstrated that the applicant has understood the historic asset and its significance. This understanding has informed the decision-making process resulting in a sympathetic design which is subservient to the existing listed building in scale, mass and design and seeks to minimise the impact on the listed building through architectural details, new historically correct windows, lime render and a vibrant colour that has historical precedence in Culross.



Additional accommodation is required for a larger family that will bring generations together and which in turn will ensure the longevity of the listed building and its surroundings. Using materials such as wood windows, slate, and lime render, the buildings impact will be mitigated. The extension will also be set down within the topography of site and shielded by the existing stone boundary wall from views from the east, south and north. It will reinstate a structure within the building that will be sustainable and provide longevity for the building's future use. All of these elements combine to create a sensitive intervention which would enhance the intrinsic character of the house and garden. The proposed extensions are also in accordance with SPP 2014, NPF4 Section 7, LDP, and SPA Guidance for extensions and garden area. The location of the rear and west extension does not impact neighbours for overlook or overshadow, and the proposed rear extension is located 12m from the east boundary wall.