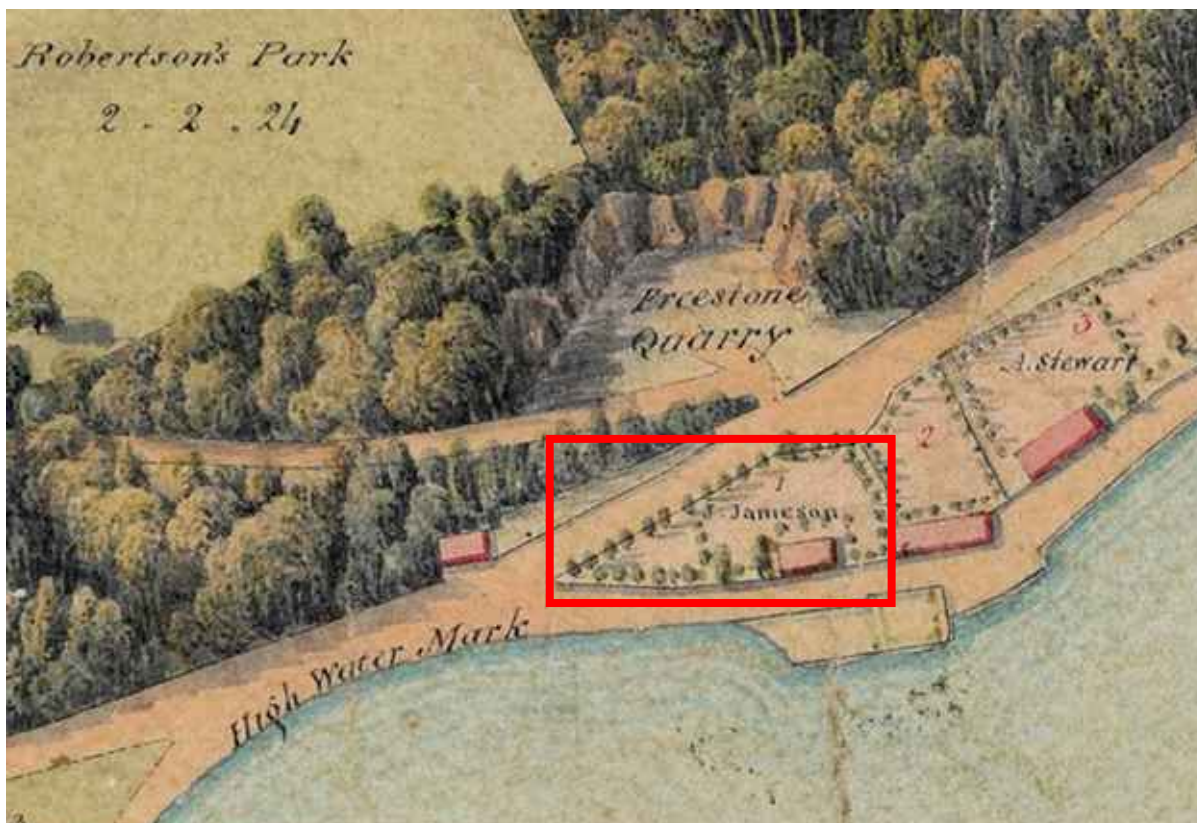


UPDATED SUPPORTING STATEMENT FOR PLANNING APPLICATION SUBMISSION FOR WESTEND COTTAGE, 1 MAIN STREET, LOW VALLEYFIELD, KY12 8TF

Introduction

This planning application is for a modest extension to the north of a two storey Category B listed building located in Low Valleyfield, Fife. The listed building is identified under LB3347 with Historic Environment Scotland and under the listing definition it is described as a ‘Two-storey house, stucco and crowstepped; altered fenestration. May date late 17th century’. It is believed that the cottage dates to the 1750’s when the sea wall was directly opposite the cottage along Main Street. Mapping has been discovered from 1814 that shows the cottage in its current location with a pier, or ramped access and staging area directly opposite the cottage running perpendicular with the road and the sea wall. The name identified on the map as the property owner is Jamieson and research of the title deeds has shown that Jamieson did indeed own the property in the early 1840’s.



Valleyfield Estate map, c.1814 from Canmore database, HES

The property was designated on 20th June 1972 and fortunately there was a photograph in the archives from 1971 (see below) that shows the property just before it was listed. This image clearly shows changes in the roof form and windows, road height and building condition from listing to today, with no record of Listed Building Consent being approved. Subsequently to investigate the existing condition of the building and to understand the changes made post listing in 1972 an LBC application was submitted 23/00911/LBC to conduct initial work to the building. This Listed

Building Consent application was approved and received positive feedback from Historic Environment Scotland. The Listed Building Consent proposed the following:

- The interior tongue and groove ceiling to be removed.
- The carpets to be removed, and any twentieth century flooring also removed
- Twentieth century interior stud walls to be removed
- The twentieth century tongue and groove wood panelling and lathe and plaster on the interior of the exterior walls from the late Victorian period to be removed to return the walls back to their original plaster and stone finish
- The twentieth century exterior harling to be removed to allow the building to breath and dry out.
- All fireplace surrounds and plaster to be removed to expose the original fireplaces if they are still there
- Testing of the existing floor and ceiling joists for structural integrity and historical reference to be removed if compromised.
- Demolition of the 20th century west bathroom
- Demolition of the north Victorian kitchen extension with contemporary uPVC windows and no heritage assets remaining



Image of 1 Main Street, circa 1972, Historic Environment Scotland Archives



Image of 1 Main Street, 2023, Google Maps

It is clear comparing the two images that there has been significant change to Westend Cottage since 1971. The existing street level has risen approximately 300mm reducing the size of the front door and forcing the addition of two steps to the interior. The gable wall shows extensive water damage where poor workmanship, and the addition of cement render has negatively impacted the wall and led to water ingress. The roof is substantially different with the removal of the original pan tiles, the replacement of roof infrastructure and the removal of the lower slate roof courses. The change in level of the road and pavement has also led to a change in the building's representative height within the street and therefore it has been compromised in its visual interpretation in the street scene and its historical context.

The Site

The existing site is 0.11 Hectares or 0.27 Acres and is located at the confluence and intersection of Low Causeway and Main Street. The site slopes from the northeast corner to the south and southwest corner with Main Street being predominantly flat. Low Causeway slopes up behind the house on the north side and joins with the B9037 creating a natural slope to the south across the site. As the house is located on the south side there is ample space to the rear of the property to develop a modest extension that sits within the site constraints and reflects on the existing architecture of Westend Cottage.



Site boundary of 1 Main Street, 2023, Google Maps



View of Westend Cottage from the northwest heading up Low Causeway



View of Westend Cottage from the west



View of Westend Cottage from Main Street heading east



View of the property from the north boundary wall looking west



View of the property from the north boundary wall looking west including the rear of Westend Cottage



View of the property looking to the north boundary wall showing change in elevation of the property to the north boundary wall



View of the property looking east



Panoramic view of the rear garden of Westend Cottage



View of the north of Westend Cottage showing the location of the proposed extension

As the site photographs show, the building is clearly visible from the west and the south, however the changing elevation of Low Causeway heading east on the north of the property, and the height of the north boundary wall being 2.2m high, obscure the building from the road and pavement. Therefore, even although there is heightened visibility of the listed building, the rear of the property holds enough privacy to enable a modest extension and allow for a conversion of the existing listed building. As the property is 0.27 Acres, and with the expansive garden area to the north and west of the cottage, there is ample space to develop this area without coming into conflict with Fife Council's policies on extensions and garden ground.

POLICY REVIEW

A review of the following policies was conducted to ensure that any development within the existing grounds of Westend Cottage would be viable. This also included a review of SEPA Flood mapping which showed the site to be clear of the potential

flooding that would impact neighbouring properties (see attachments). A Heritage Impact Assessment has been prepared in support of this application.

National Policy Analysis

NPF4 policy 1

NPF4 policy 7

NPF4 policy 14

NPF4 policy 16

Scottish Planning Policy 2014

Fife Council Policy Analysis

FIFEplan policy 1,

FIFEplan policy 10

FIFEplan policy 14

Making Fife's Places, Supplementary Guidance, 2018

Fife Council Customer Guidelines on Garden Ground,

Fife Council Customer Guidelines on Home Extensions and

Fife Council Customer Guidelines on Minimum Distances Between Window Openings

Historic Environment Scotland Documentation:

Managing Change in the Historic Environment:

- Boundaries
- Doorways
- Windows
- Extensions

Historic Environment Policy for Scotland

Planning History

There is no planning history for this property other than the recent application for Listed Building Consent.

Current Application

Planning application 23/00911/LBC was granted on July 6th, 2023. A pre-app was submitted on July 6th for which a response was received on August 3rd, 2023. A Heritage Impact Assessment has been prepared to run concurrently with this application and the submitted drawings.

WORKS CONDUCTED TO WESTEND COTTAGE

Listed Building Consent (23/00911/LBC) was granted on July 6th, 2023, to investigate the existing condition of the building and to understand the changes made post listing in 1971. This work has since been completed and further information from the cottage has been revealed along with some negative impacts of work conducted outside approved Listed Building Consent which will be covered below.

23/00911/LBC proposed extensive interior renovation works which received positive feedback from HES and Fife Council. 23/00911/LBC was approved for the following:

- The interior tongue and groove ceiling to be removed.
- The carpets to be removed, and any twentieth century flooring also removed
- Twentieth century interior stud walls to be removed
- The twentieth century tongue and groove wood panelling and lathe and plaster on the interior of the exterior walls from the late Victorian period to be removed to return the walls back to their original plaster and stone finish
- The twentieth century exterior harling to be removed to allow the building to breath and dry out.
- All fireplace surrounds and plaster to be removed to expose the original fireplaces if they are still there
- Testing of the existing floor and ceiling joists for structural integrity and historical reference to be removed if compromised.
- Demolition of the 20th century west bathroom
- Demolition of the north Victorian kitchen extension with contemporary uPVC windows and no heritage assets remaining

While the work was ongoing, pictures were taken to document the progress and it became clear from research and the removal of the interior that the majority of work was conducted in the early twentieth century and the roof was changed completely in the 1980's based on the manufacture date of the tiles (1983), the photograph of the house from 1971 when it was listed (see previous), and the obvious changes to the roof pitch, materials and ridge height and the type of roof trusses used in the roof construction. See following interior shots:



1st Floor west bedroom. Stripping back to original wall construction. Note holes in the wall on the south side and at floor level from the exposed ground floor flue.



Doorway to kitchen showing timber lintel. This was not an original opening from the original cottage construction but was added in the Victorian period.



Huge hole in the first-floor south wall at the top of the wall head to the east of the front door. This area caused the roof to collapse during further renovation works. This was one of a number of voids discovered while work was ongoing.



Quoined returns at the front door that show the building was once two distinct buildings. The quoins run down to grade



Sistered floor joists using 1" material. The floor joists were full of dry rot and had no load bearing capacity left. They had been sistered by timbers inadequate for their structural use and the resultant impact was a failure in structural integrity.

The eastern building had a lower wall height, the roof was also lower and of an equal pitch each side, which is shown by the equal height of the skew puts on the eastern gable. The western building had a higher wall with an asymmetrical roof pitch which is clearly identified by the skew puts at the western gable being higher than those of the eastern gable and the southern skew put being higher than the northern one. The skew puts are in their original location as they are each individually carved from one piece of stone and the crow stepped gable begins with the skew put stone location.

The change in roof form is also indicated clearly on the north and south rooflines at the gable and the intersection of the crowsteps. It is clear that the roof has been lowered on the north side and the pitch altered and raised on the south side.



Change in roof line and pitch shown on north side at the east gable with cement flaring at the crowstep gable to make up the difference in the new roof line. This photo clearly shows the negative impact of the roof change in the 1980's without LBC and allowed water ingress into the roof space.



Change in roof line and pitch shown on south side at the west gable. The change of roof from the 1980's and poor workmanship at the crowstepped gable is clear.



Change in roof line and pitch shown on south side at the east gable where the lower crowstepped stones have been covered in cement to smooth out the pitch

Upon removing the exterior cement render, which was in places 30-40mm thick, vernacular rubble sandstone construction was revealed with a large number of areas of the wall filled with the original pantiles, brick ends and cement. There were three original openings revealed that had been filled in and changed over the course of the building's history, that are delineated by quoined detailing and stone cills and lintels. There are also a number of new openings that have been created over time that have no stone detailing which also show a change over time of the property. On the ground floor, the two original doors were revealed, one to the east close to the east gable and one to the west mid-way between the existing entrance and the west gable.

It was also revealed that the building had once stood open to the weather with no render protecting the stone. This has led to extensive water damage that was intensified by the installation of the cement render noted above. The quoins however show signs of good quality craftsmanship in areas with a smooth face giving some prominence to the building. Unfortunately, the cement render has damaged the face of most of these quoins and the poor maintenance and exceedingly poor workmanship in applying the cement render has seriously damaged the original sandstone walls.

It was originally planned to reveal the now exposed quoins as a way of referencing the buildings history showing how the south façade had changed over time. However, the stone is in very poor condition and any works to reconstruct the face of the stone would have the potential to cause further damage.



Lower render being removed from south elevation showing the original entrance on the east side and the original entrance shown on the west side of the south elevation



Original window filled in with sandstone to the west of the front door. Brick and cement infill to fill in gaps in the wall for the cement render applied in the 1960's.



Original window on the west side of the south elevation filled in with sandstone. Brick and cement infill to fill in gaps in the wall for the cement render applied in the 1960's. The window opening adjacent to the original opening were added at a later date and the windows installed in the 1980's.



Original windows filled in with sandstone, either side of the front door. Quoins above the entry showing the infilled pend that once separated the two buildings. Brick and cement infill to fill in gaps in the wall for the cement render applied in the 1960's.



Original windows filled in with sandstone, either side of the front door. Quoins above the entry showing the infilled pend that once separated the two buildings. Brick and cement infill to fill in gaps in the wall for the cement render applied in the 1960's. The low skewput on the east side shows the change in the level of the wall for the new roof. There is also extensive damage to the sandstone from water and moisture impact.



Figure 1: Quoined returns at the front door that show the building was once two distinct buildings. The quoins run down to grade



Figure 2: East gable showing original wall construction and skew puts at the same height indicating a typical symmetrical roof and building form. This gable also shows the impact of high moisture content within the walls.



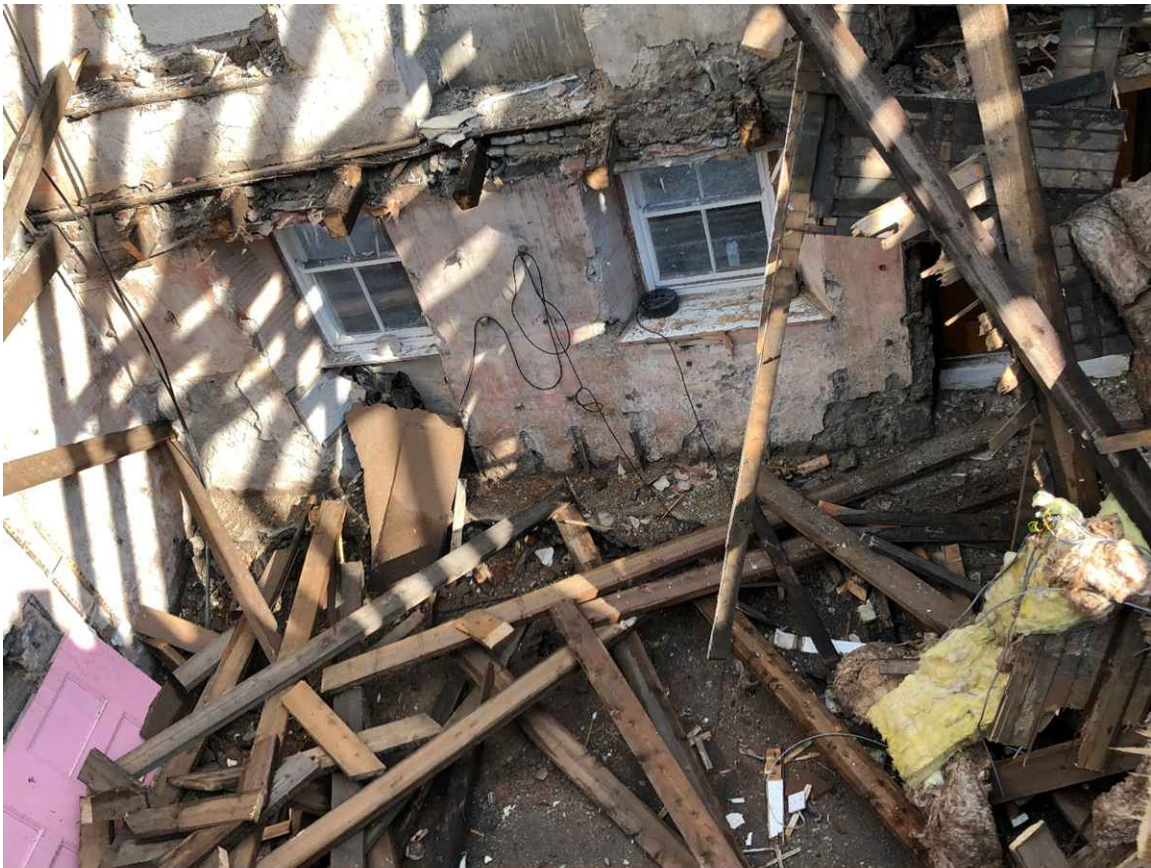
Figure 3: Original window filled in with sandstone to the west of the front door. Brick and cement infill to fill in gaps in the wall for the cement render applied in the 1960's



Figure 4: Original windows filled in with sandstone, either side of the front door. Quoins above the entry showing the infilled pend that once separated the two buildings. Brick and cement infill to fill in gaps in the wall for the cement render applied in the 1960's



Original fireplace on the east gable exposed. Two stone columns and a stone lintel are clearly visible. These will be retained and be a feature of the renovated property.



While works were undertaken on the floor, there was a partial roof collapse due to the impact of previous works to the first-floor wall head from the 1980's..



Exposed rafters after 1980's pantiles and substructure were removed post roof collapse. This was conducted outside LBC but was necessitated by health and safety concerns and the structural integrity of the exterior walls.



Image showing the top of the wall head that collapsed during interior works to the first-floor framing and exterior render removal. Pantiles had been removed at this point.



South elevation with roof removed. The west gable wall had shown signs of moving but this was deemed to be historical in nature.



Original fireplace on the west gable exposed. The two stone columns are clearly visible, however, the stone lintel is missing. The stone lintel was replaced, and this fireplace will be retained and be a feature of the renovated property.



North elevation with roof removed. The west gable wall had shown signs of moving but this was deemed to be historical in nature. The wall head on the south wall has been repaired in three places with stone recovered from the site of the building. Both doors in this wall are not original to the house.



Once the render was removed from the wall, it is clear that the window was being held in place by the cement as the sash boxes were removed, therefore the window was sitting within the rough opening with no tieback. As the window was sealed closed and had no operating function, it served no function and is clearly not original to the building. This was deemed to be a health and safety concern as the window could easily fall out. These windows were retained in one of the rear sheds.



Unfortunately, during renovations, a small section of the south boundary wall was impacted by the skip. In order to prevent further damage to the wall, and to help improve access to the site, the opening was widened, and stone retained for rebuilding once the project has been completed. The gates had to be removed to access the gate hinges when the render was removed. These will also be reinstated once the project is completed.



In order to provide better access to the northern part of the site for landscaping and continued renovations, a 3.5m wide section of wall was removed. The stone from the wall was retained for rebuilding once the project is completed.

Historical Reference of works conducted to Westend Cottage since 1971

The following is an approximate timeline of works conducted to Westend Cottage since its listing date in 1971. These works were conducted without LBC.

1980's:

- Roof removed and replaced with engineered trusses and pantiles not in keeping with the original building. The lower four courses of slates were removed and not replaced
- The roof was poorly installed without flashing allowing water ingress and rot within the structure
- Render removed and replaced with cement render. This has resulted in permanent damage to the sandstone walls and deterioration of the south wall.
- Gaps and inconsistencies in the sandstone wall were filled with cement and the original pantiles and brick ends, resulting in further damage to the sandstone wall.
- Interior works including new walls and a new layout, new fireplaces, and the removal of the original floor.
- Sistering of the original floor joists and installation of tongue and groove interior wall lining.
- Installation of concrete floor
- A 12sqm extension constructed as a ground floor bathroom on the west elevation. The roof structure overlapped the south boundary wall and was tared and lapped with poor detailing.
- A doorway opened in the west gable wall to access the bathroom.
- Damage to the wall heads on the south wall when installing the new roof
- Damage to the east gable wall with the removal of stone to allow for the installation of the new roof
- Removal of original windows with replacement windows not matching and inoperable.

2020:

- Lower west south façade window replaced and window opening widened
- New smooth coat cement rendered 'framing' around windows on the exterior, painted cream.

2023

- Removal of the roof after partial collapse due to damaged wall head on the south wall from works conducted in the 1980's that left a significant hole at the top of the wall. The roof was poorly constructed and in the process of working on the floor and interior walls part of the roof collapsed.

- Removal of windows due to health and safety after render removed from the exterior wall. The render was holding the windows in place and once removed it was highly likely that the windows would fall out. They have been kept in one of the outside sheds.
- Partial down taking of the south boundary wall at the entrance to the property due to access issues and accidental damage. Stone has been retained for reconstruction like for like once the project has been completed.
- Partial down taking of the north boundary wall to allow for site access. The section of wall removed is 3.5m wide and the stone has been retained for replacing like for like once the project is completed.

Although works have been done to the property recently without LBC, the removal of the roof and windows were due to health and safety concerns for those working in the building, pedestrians on the street and for the preservation of the cottage structure. After the roof collapsed while removing floor joists and working on the interior walls as granted through 23/00911/LBC it was deemed important to ensure the rest of the roof did not pose any further issues and any impact on the structure of the wall was mitigated against further damage.

The existing windows were no longer held in place after the cement render was removed as they had no mechanical tieback to the stone wall nor were they the right size to sit behind the window stop in the wall which has a reveal of approximately 100-150mm. Had the windows maintained any integrity for operation or at the very least were original to the property their retention in place would have also been a concern in the preservation of their integrity.

Both of these architectural elements had already been constructed without LBC in the 1980's and the proposed changes to the cottage have now reversed the works that have caused so much damage to the structure. It is understood that LBC should have been applied for, however the works conducted were already part of a Listed Building Consent application and it was deemed necessary to take remedial action to prevent any further damage to either the building or potentially the public.

The proposal seeks to replace the roof with a SIP construction and return the four courses of slates to the eave line thereby returning the roof to a semblance of its original form. The proposed windows will be constructed of wood by a local joiner who has experience with historic properties. The new wood windows will be accurate in their construction using 25mm tight grain pine frames with 12mm double glazed thermal units and full divided lite astragal details comprising ¼ round interior finish and 8mm putty line to the exterior.

THE PROPOSAL

As illustrated, the site poses some challenges in terms of the visual interpretation of the rear of the cottage, the change in levels from north to south of approximately 3m, and the listing status of Westend Cottage being a Category B Listed building. The principal of development has already been established on the site with the construction of a Victorian kitchen on the north façade and the construction of a flat roof bathroom in the 1980's on the west façade without LBC. The scale of development within the context of Westend Cottage has also been established with the construction of Veere Park opposite Westend Cottage and the construction of Saorsa Inn to the west of the property. These recent developments are a full 2 storey in height and dominate the landscape. In terms of the relationship between the surrounding environment and Westend Cottage, these developments are important in the context of the proposal to establish what is considered to be acceptable in the context of a Category B Listed Building.



View looking west from northern boundary of the site showing the impact of the development at Veere Park on the visual amenity of the listed building and the Conservation Area further west



View south towards the two-storey building opposite Westend Cottage that has an imposing and direct impact on the visual amenity of the listed building without recognising the Category B listed building



View looking west from southern boundary of the site showing the impact of the development at Veere Park on the visual amenity of the listed building and the Conservation Area further west and the impact of Saorsa Inn at the junction of Low Causeway and Main Street to the west of the property. The property adjacent to Saorsa Inn is also Category B Listed.



View east towards Westend Cottage showing #6 Veere Park dominating the visual interpretation of Westend Cottage. The two-storey building has an imposing and direct impact on the visual amenity of the listed building without recognising the listing status. This building has a huge impact on the interpretation of Westend Cottage in terms of scale and mass. The rise of the bank to the north and the tree line also provides a large scale backdrop to Westend Cottage all of which are considerations in the context of scale and mass for any development of the site.



View east towards Westend Cottage showing #2 Veere Park dominating the visual interpretation of the Category B Listed 'The Endowment' opposite with Westend Cottage barely visible in the distance. The two-storey building has an imposing and direct impact on the visual amenity of the listed building without recognising the listing status. This building has a huge impact on the visual interpretation of the surrounding area and Westend Cottage in terms of scale and mass. There has been no assessment of scale and mass of #2 Veere Park in relation to The Endowment which is directly opposite this building.



View west towards Veere Park and Saorsa Inn from the 1st floor of Westend Cottage showing #5, #6 and #2 Veere Park and Saorsa Inn dominating the visual interpretation of the Category B Listed 'The Endowment' and Westend Cottage. These two storey buildings and their materiality and colour of finishes have an imposing and direct impact on the visual amenity of the listed building without recognising the listing status. These buildings have established the contextual development of the area in terms of scale and mass with no regard for either of the Category B Listed buildings. This image also shows the negative impact of the west bathroom that was constructed without LBC.

Westend Cottage sits directly on Main Street with the front elevation facing southeast and the primary axis of the building running predominantly in an east-west direction. The location for any development on site is therefore restricted to the rear of the cottage either to the north or to the west of the cottage, for which the precedent of an extension has already been established albeit without LBC. The 2.2m high stone wall to the east has driveway and vehicular access adjacent to the house and therefore prevents any development other than the current sheds and garage located there. An extension was considered where the Victorian kitchen was located on the northwest of the cottage, but this was ruled out as it would divide the site too much and it would present a built form that would be seen as separate and defining in the landscape, a development that would not be subservient to the context of the site or the listed building. As development of the rear of the property has been established the most logical location is to the rear of the cottage on the east side.

Developing this part of the site maintains a consistency of development in relation to the neighbouring property, allows the site to retain its open space to the west creating a natural courtyard and any development is then hidden behind the cottage and not visible from Main Street other than any ridge line exposed above the boundary wall. Developing this part of the site therefore is in line with the requirements of the LDP for extensions and thereby reduces any perceived impact to the surrounding area, especially the 20th century contemporary development adjacent to the site.

As the west of the cottage was developed with an extension albeit a bathroom without LBC, an extension on this side of the building has also been established as relevant to the context of the site. As the boundary wall here is 2.2m high and almost 600mm thick, any extension on the west side of the cottage would be developed behind this wall, automatically setting it back from the front of the building. Although visible from the front, an extension to the west that is set back from the front façade would only be visible from the street as the passerby is aligned with the original west gable wall of the cottage. Of course, an extension to the west of the cottage would be visible from the west side of the site, specifically heading east along Main Street.

The scale of development has already been established on the rear of the cottage as the Victorian kitchen had a mono pitched roof at the highest point sat just under the eave line of the cottages' north wall. Although the bathroom to the west was single storey and had a roof that sits contiguous with the top of the wall as a flat plane, the interior height of this room was very restrictive and functioned minimally as a bathroom.



Victorian kitchen addition to the rear of the cottage with mono pitched roof tucked under the eave line. A conservation skylight is also visible on the cottage's roofline. It is clear that this extension also received a new roof in the 1980's when the dark grey cement render was applied.

The major concern with developing an extension to the west of the cottage is the visual relationship between a contemporary design with a flat roof or a traditional design that matches the existing cottage's roof pitch thereby reducing the impact on the listed building. This kind of development is encouraged in Historic Scotland's *Managing Change in the Historic Environment* series.



The bathroom extension to the west of the cottage is a poor example of development which has little relationship in architectural terms to the original cottage, emphasized by the tar flat roof and picture windows. This is in spite of the extension mass being limited to the top of the south boundary wall. Although the wall hides the extension from the south, it is clearly visible from the west and north. See below.



Having taken into consideration the context of the site and its relationship with the surrounding area, it was clear that due to the openness of the site, any development

would have a perceived impact on the cottage. Therefore, citing the proposed extensions as far from the western boundary as possible was important.

The existing cottage has a ground floor footprint of 5.9m x 11.7m with a footplate area of 69 sqm. As the cottage is two storeys the total area of the cottage is 138 sqm.

The Victorian kitchen extension was 2.4m x 6.3m with a footplate area of 15 sqm.

The west bathroom extension was 2.4m x 2.4m with a footplate area of 5.8 sqm.

The total ground floor footplate area of the existing cottage, kitchen and bathroom was 89.8 sqm.

The proposal for Westend Cottage is to develop a storey and a half extension to the north of the building, which is set down, set back and smaller in scale and mass than the existing cottage using the pitch of the original cottage roof to maintain the integrity of the architectural form. This will result in a development that is smaller in scale and mass than the existing cottage while maintaining an architectural integrity that meets HES guidelines and Fife Council's LDP in terms of design and detailing. This will be achieved by using crowstepped gables, lime render, and a scale and mass that is subservient to the cottage while respecting the context of the established development of the surrounding area which has already negatively impacted Westend Cottage.

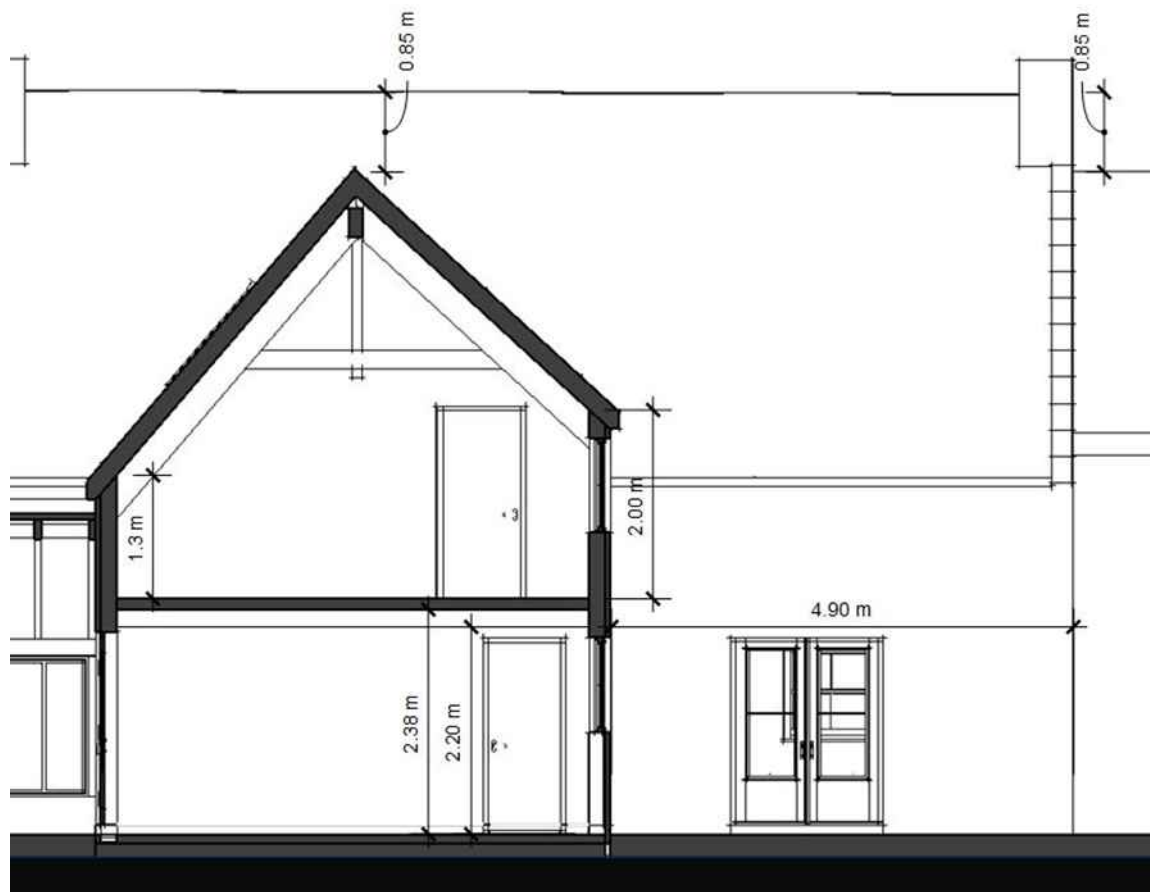
A second extension is proposed to the west of the cottage which will also be set back and set down in relation to the existing cottage, using the cottages roof pitches to maintain the visual integrity of the listed building. This will result in a development that is smaller in scale and mass than the existing cottage while maintaining an architectural integrity that meets HES guidelines and Fife Council's LDP in terms of design and detailing. This will be achieved by using crowstepped gables, lime render, and a scale and mass that is subservient to the cottage while respecting the context of the established development of the surrounding area which has already negatively impacted Westend Cottage.

The proposed footplate of the north extension is 5.4m x 10.2m with a footplate area of 55.1 sqm. As the north extension will be a storey and a half, the total area of the north extension is 110 sqm. This is 80% of the existing cottage area. Therefore, maintaining a smaller scale than the existing cottage.

The proposed footplate of the west extension is 4.2m x 3.9m with a footplate area of 16.3 sqm. As the west extension will be a storey and a half, the total area of the west extension is 32.7 sqm. This is 23% of the existing cottage area. Therefore, maintaining a smaller scale than the existing cottage.

Combined the north extension ground floor footplate and the west extension ground floor footplate are 71.4 sqm. This is 80% of the combined total ground floor footplate of the existing cottage and its extensions. Therefore, the combined area of the proposed development is smaller in scale than the original cottage layout. See architectural drawings submitted with this application for measurements.

In terms of mass of the extensions the north extension is has a ridge that is 850mm set down from the proposed ridge of the new roof of the existing cottage. The new roof of Westend Cottage is proposed to re-establish the former ridge line from 1971 when the building was listed. The east wall of the north extension is 1285mm setback from the existing cottage and the west wall of the north extension is setback 4895mm from the west gable of the existing cottage. Therefore, the proposed north extension is subservient in mass in relation to the existing building. This is clearly visible in the section on A3.7.



The section on A3.7 of the proposed north extension showing the subservient design in relation to the mass of the existing cottage. The first floor has an east knee wall of 1.3m in height and due to the location of the extension access from Westend Cottage, the east knee wall has to allow for easy transition between spaces and is therefore 2m in height. It is clear from this drawing that the extension is subservient in mass to the existing cottage.

As the north extension is a rear extension which is reduced in height by almost a meter from the existing cottage, it is shielded by the existing cottage from Main Street, the south boundary wall, and the north boundary wall with only glimpses of the extension visible from these locations. The greatest visual perception is from the west travelling east from Culross.

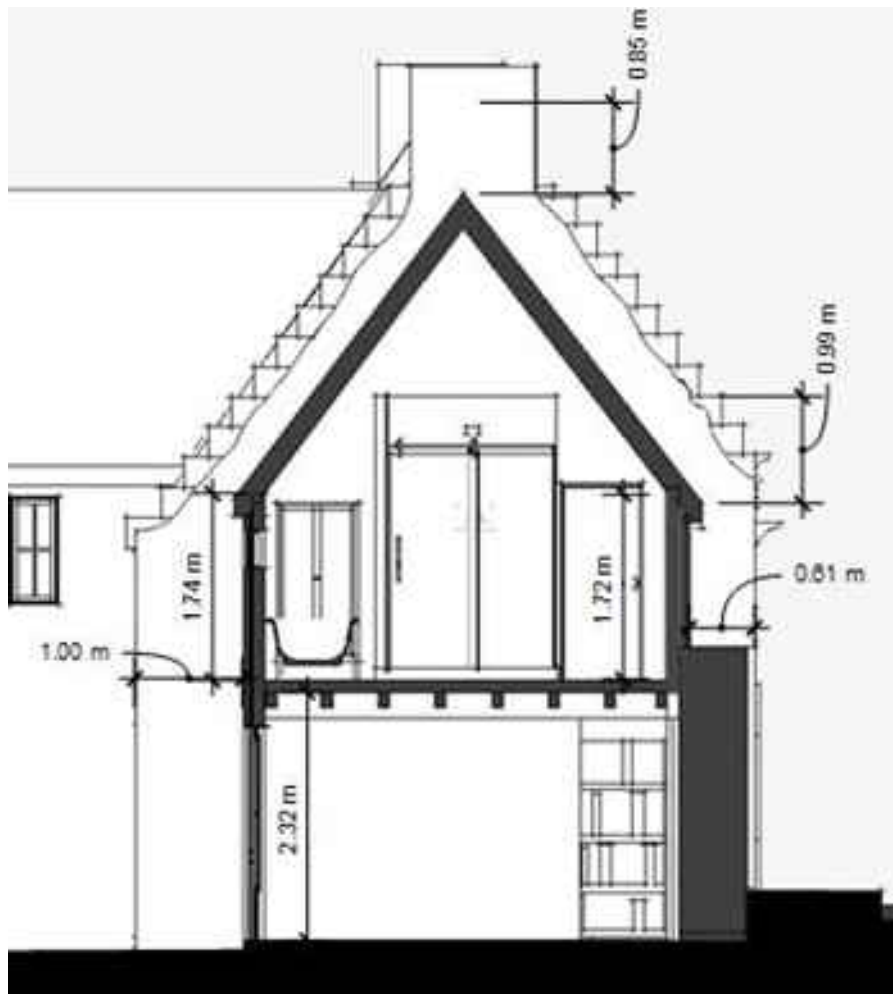
The proposed west extension, similarly, is subservient in mass in relation to the existing cottage. The roof line and crowstepped gable has been designed to reflect on the existing cottage roof pitch and scale of crowsteps. This allows the west extension to blend into the west elevation. This is enhanced by the west cottage window being copied in size and location and positioned in the west extension at exactly the same location, therefore visually the observation is that there is no change from the original view from the west into the property.



The CGI of the cottage in its surrounding shows how the extensions are hidden behind the north and west boundary wall. The upper window in the west extension is an exact copy of the existing Westend Cottage west gable window that is transposed directly to the same location on the west extension gable wall.



The west extension is set back from the south cottage wall by 610mm, the north wall of the west extension is set back from the north cottage wall by 1000mm, and the ridge of the west extension is set down by 850mm from the proposed new ridge line of the new cottage roof. This is clearly visible in the section on A3.8.



The section on A3.8 of the proposed west extension showing the subservient design in relation to the mass of the existing cottage. The first floor has a north knee wall of 1.74m in height and the south knee wall of 1.72m in height therefore the west extension is not a true two storey development. It is clear from this drawing that the extension is subservient in mass to the existing cottage.

The issue at hand is the perceived length of the extension in its relationship with the existing cottage. As there is no angle or view into the site where the two buildings can be compared by their length as the north extension is perpendicular to the existing cottage and set back from the east gable, it is impossible to perceive their true relationship. The north extension is 10.2m long whereas the existing cottage is 11.7m long. This is a difference of 1500mm. Taking into consideration that the length, width, height, and area of the north extension is shown to be less than the existing cottage it is clear that the scale and mass is subservient to the listed building.

Listed Building Consent has already been granted for works to Westend Cottage that would remove previous works that have severely damaged and compromised the listed building, retuning the property back to that of a functioning and habitable home that values the integrity of the cottage's history. The walls will be preserved in their original state ensuring that the historical integrity is maintained, and a lime render will be applied that will allow the building to breath.

The ground floor of the existing cottage was concrete and showed heaving and poor workmanship. This will be removed and excavated down 500mm to original grade and rebuilt up with a contemporary floor system allowing for an infloor heating system with reclaimed wood floors in bedrooms and living spaces and a travertine floor in bathrooms, entry, kitchen, and mechanical room. Although the ground floor level will be excavated down 500mm, it will be brought back up 300mm so that the new floor level will be close to the original floor level of the house, some 200mm below that of the current level. The infloor heat will introduce sustainable technology to passively heat the home. However, the heating system requires two heat pumps and a large mechanical room to house the technology required to maintain the building's sustainability.

Having removed the existing substandard floor, and in order to meet building standards and achieve the best possible outcome of living space, a timber frame floor exposed to the ground floor will be installed, again, with infloor heating to the first floor. This will allow the ground floor and first floor space to function without impacting the existing building.

Once the interior finishes have been completely removed it is proposed that the interior walls will be cleaned. In order to help with the building's sustainability and viability 119mm EPS SIP panels will be installed with an offset of 25mm to the interior face of the existing stone wall. The SIP panels will provide valuable insulation and allow the building to breathe as EPS is very effective at allowing warm moist air to permeate through to the exterior where the natural stone will be allowed to do its job of transmitting that moisture to the exterior. The SIPS will also support the timber frame first floor effectively creating a secondary structure within the existing cottage. All connections to the original wall will be through either existing holes or into the mortar substrate.

The proposed changes to the Westend Cottage involve the removal of the front door and two steps down into the cottage to allow the ground floor to return to its original level. The door will be replaced with a window and the first-floor window above will also be changed out to a window of the same size. The intention was to expose some of the quoins however the sparsity of good quality stones means the cottage and extension will be lime rendered completely. As the front door has been compromised in height due to extensive raising of the pavement and road, the entrance is no longer fit for purpose as an entry. However, in order to provide a context of the original door on the front façade a raised lime rendered door frame is proposed with the infill wall being composed of two 120mm SIP panels. This wall is recessed 50mm back from the existing wall and the rendered frame is 120mm wide and protrudes 50mm from the face of the existing wall. This gives the representational appearance that an entry to the property once existed in this spot.



The new proposed detail on the south elevation of the existing cottage showing the new lime rendered door frame with the new proposed window set at the height of the existing door. This detail provides context to the location of the current door position even although it is not the original opening.

A similar detail has been developed on two listed buildings in Culross as shown below.





The existing roof was built in the 1980's without LBC and due to the partial roof collapse noted above the roof is no longer on the cottage. The date of the roof is confirmed by the date of manufacture of the clay tiles noting 26 April 1983. The current clay tiles are not consistent with the historical context of the cottage and are certainly not in keeping with the traditional pan tile of the area. The 3-4 courses of slate will also be reintroduced to the bottom of the roof thereby returning the roof back to its original visual state. The trusses will be replaced by 144mm thick EPS SIP panels made locally in Glenrothes. They will be supported by two timber trusses and a ridge which will open up the interior first floor space due to the low wall height. Reinstating this kind of roof will provide longevity and sustainability to the cottage, making it energy efficient and resilient to climate change. The roof will also be designed to make up the difference between the two altering pitches between the east and west gables, returning the south elevation to that of its image in 1971. The remainder of the roofs will be finished in the same slate from Stirling that is 150mm x 350mm and 7mm thick.



PROPOSED DOWNTAKINGS OF EXISTING COTTAGE

How the proposal meets Planning Guidance and the LDP:

Special Planning Guidance on housing extensions implemented by Fife Council states the following:

- look as though it had been designed and built as part of the original house, not like an afterthought
- leave enough garden ground
 - for a building of its size
 - for you and future occupants to enjoy comfortably
- keep overshadowing of neighbouring properties to a minimum
- not intrude on a neighbour's privacy
- be energy-efficient
- be accessible by people with impaired mobility.
- Make sure the extension does not alter the character of your house
- Use a pitched roof, unless your house has a flat roof, that matches the angle of your house
- The walls, roof, windows and other external details and materials must match those of your house
- Avoid windows that directly overlook next door's garden or give close views inside a neighbour's house
- Do not use up too much of a small garden for a big extension
- Consider whether the extension will block sunlight. If it will, you might need to set it back from the boundary with neighbouring properties

- Make the most of any south-facing areas, using designs, features and materials that take advantage of heat from the sun. By the same token, avoid large, glazed areas that face north.
- Plan for your long-term mobility needs and accessibility for visitors

The proposed extension meets all of the above guidance through its location, scale, design, subservience to the existing building, materials, and its impact on the existing garden. Due to the size of the site 0.11 hectares, the proposed extension is well under the 25% designation listed below in the Garden Grounds guidance.

Garden Grounds

If you plan to extend your home, and will lose some of your garden as a result, the extension must not:

- reduce the garden's usefulness.
- reduce your neighbours' quality of life, for example by blocking out the sun from, or overlooking their garden; or
- harm the quality of the local environment.

The extension must not take up more than 25% of your original, private garden.

The proposal for Westend Cottage meets all of the above criteria and is consistent with LDP Policies 1, 10 and 14 as outlined above. The property is also out with the floodplain and the extension not only preserves the existing building which has undergone huge changes in its lifespan, but it safeguards the characteristics of the historic environment by returning the cottage back to one close to its original design, reflecting on the changes over time since the mid-18th century.

The proposal meets FIFEplan Policy 1, Part B10, and Part C8, and contributes to the historical environment by removing very poor developments applied to the house including extensions, cement render and roofing. Having consulted the various documents in *Managing Change in the Historic Environment* the proposed extension meets the majority of guidance including scale, mass, materials, subservience to the existing building, and design.

RESIDENTIAL AMENITY

FIFEplan Policy 10 emphasizes the need to address potential issues related to the loss of privacy, sunlight, and daylight. The Fife Council Planning Customer Guidelines on Home Extensions stress that a development should not intrude upon a neighbour's privacy. The proposed extension sits 12m from the adjoining boundary line to the east, of which the boundary wall is over 3m high. AS the proposed extension is only a storey and a half on the east side and the kitchen window is on the ground floor, it is anticipated that the proposed extension and renovations would not give rise to any privacy concerns or overshadowing from a residential amenity perspective. Therefore, this aspect of the proposal would be deemed acceptable in terms of residential amenity impact.

GARDEN GROUND

In consideration of the Garden Ground, Fife Council's guidance states that if an extension results in the loss of garden ground, it must not diminish the remaining garden's usefulness, adversely affect neighbouring properties' quality of life, or harm the local environment. Additionally, the extension should not occupy more than 25% of the original private garden. It is evident that the proposed extension falls within the 25% threshold, making it acceptable in terms of garden ground loss.

In consideration of the submitted drawings, the Heritage Impact Assessment, the approved LBC application for renovation works to Westend Cottage, the response to the pre-application 23/01883/PREAPP, and the ongoing works to the cottage, I submit that the proposed extensions meet National and Local planning policies including those reserved for the historic environment and ask that you approve this application.