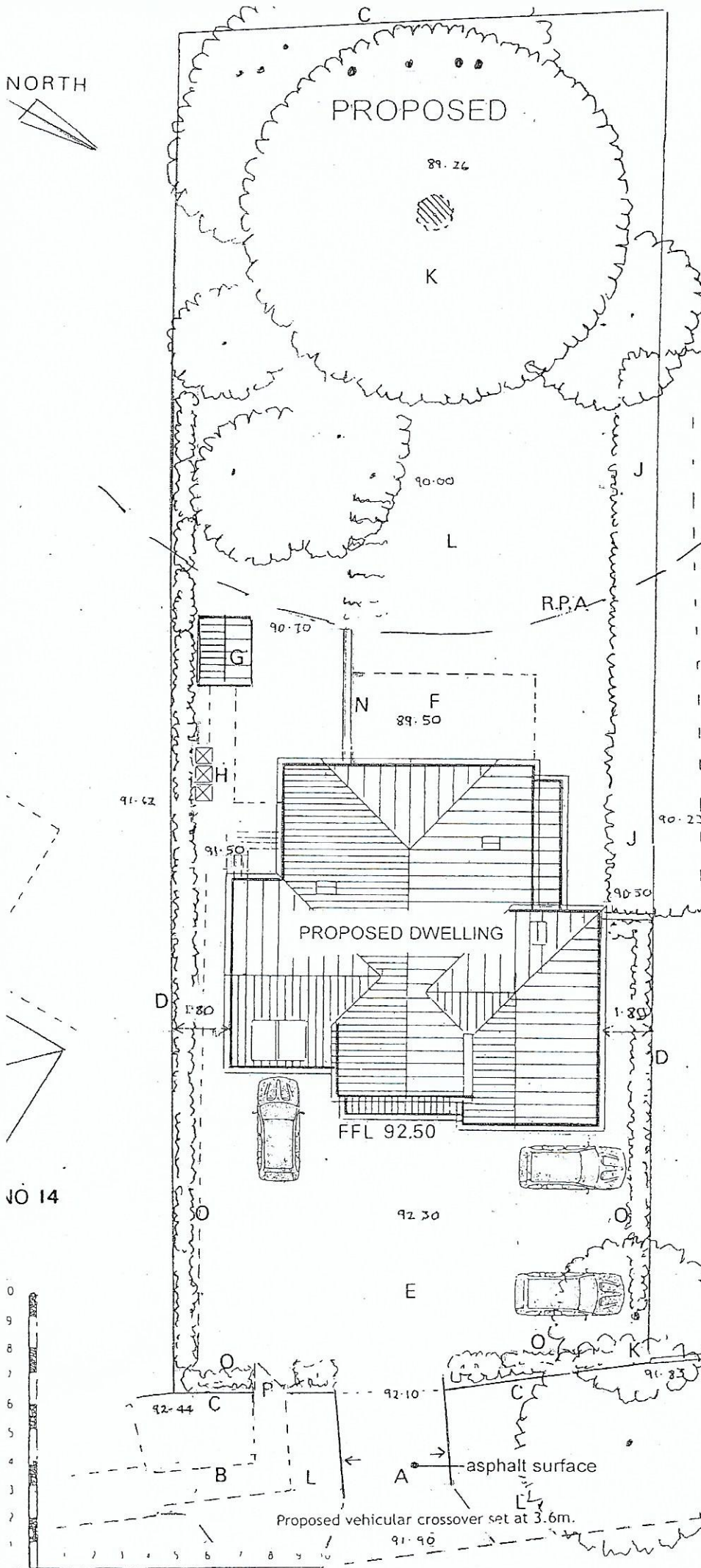
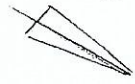


NORTH



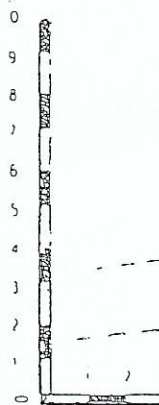
- A. Proposed new crossover and access 3.6m wide
- B. Existing asphalt footpath retained
- C. Timber post and rail paddock fence 1.2m high
- D. Existing close boarded fence retained average height 1.8m
- E. Permeable sett paving to forecourt: channel gully at entrance to avoid any run-off to highway
- F. Natural stone paving to terrace
- G. Cycle and garden store
- H. Refuse bin area
- I. Refuse collection point adjoining highway
- J. Cypress former hedge cut back to 1.5m from boundary
- K. Existing trees retained
- L. Grass
- M. Asphalt surface from highway to site boundary
- N. Retaining wall (see S.W. elevation)
- O. Proposed hedge planting
- P. Timber gate 1.2m high

Amended Plan 'A'

Existing footpath retained with timber pedestrian gate access to site

PROPOSED SITE PLAN

NO 14



Proposed Dwelling with Integral Garage ; Land at Well Row, Bayford SG13 8PX

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Scale 1 : 200
 Date : March 2022
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