



PLANNING AND HERITAGE STATEMENT

Site: Rest and Welcome Public House
The Street
Haultwick
SG11 1JF

For: Mr and Mrs McGill

Project Ref: HBG/LF/17099_PHS

Date: October 2023

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Control Sheet



CLIENT: Mr and Mrs McGill

SITE ADDRESS: Rest and Welcome Public House, The Street,
Haultwick, SG11 1JF

REPORT TITLE: Planning and Heritage Statement

PROJECT REFERENCE: 17099

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Plans and Documents Accompanying the Application

Photos and Site Location Plan (drawing no. 8201 HW3-S01)
Ground Floor Plan (drawing no. 8201 HW3-S02)
First Floor Plan and Sections (drawing no. 8201 HW3-S03)
Ground Floor Plan and Photos Showing Areas Containing Asbestos (drawing no. 8201 HW3-S04)
First Floor Plan, Section and Photos Showing Areas Containing Asbestos (drawing no. 8201 HW3-S05)
Refurbishment and Demolition Asbestos Survey dated January 2018
Risk Assessment / Method Statement (RAMS)

1.0 INTRODUCTION

1.1 We are instructed by Mr and Mrs McGill (the Applicants) to submit an application for Listed Building Consent for "*internal works to remove asbestos and allow assessment of internal frame*" at the former Rest and Welcome Public House (the Site).

1.2 The Applicants have owned the site, which is currently in a state of disrepair and closed to the public, since 2013 with the aim of restoring and reopening it as a Public House (Use Class *Sui Generis*) to benefit the local community. However, as set out in the accompanying Ace Asbestos report, asbestos has been found within the fabric of the building.

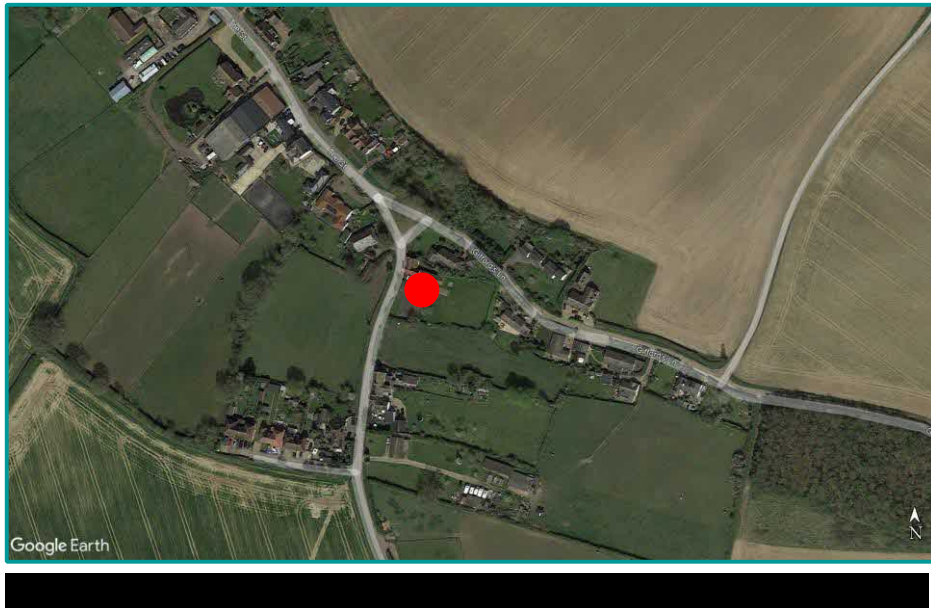
1.3 Listed Building Consent (LBC) is sought to enable its removal and allow for an assessment of the internal frame of the building, in order to establish whether any further traces of asbestos are present in its fabric and what repairs are required.

1.4 Section 2 of this Statement outlines the context of the Site, including its designations and planning history. Section 3 sets out the details of the proposed works, whilst Section 4 summarises the relevant local and national policy. A planning assessment can be found at Section 5, and the conclusions of this Statement are discussed at Section 6.

2.0 SITE CONTEXT

Site and Surroundings

- 2.1 The Site is located within the village of Haultwick, which sits between Stevenage and Puckeridge (approx. 4 miles to the west and 3 miles to the east respectively) in the Hertfordshire countryside. Haultwick does not benefit from a defined village boundary.
- 2.2 The western boundary fronts The Street with a residential property located opposite. To the north and east are further residential dwellings and to the south is an agricultural field. The boundaries of the Site are largely defined by mature hedgerows and shrubs. The existing building was used as a public house until its closure in 2013, since which it has remained vacant.
- 2.3 Overall, the Site has an area of 2,400m² and the building's footprint measures at 191m². It is comprised of one and a half storeys at approximately 5.6m in height. The building is formed of a pebble-dashed central core, some of which covers weatherboarding, with roof coverings in red tiles and sheet metal. To the rear, a black boarded single storey rear extension to the east, also with a tiled roof and to the south is a flat-roofed extension, also finished in pebble-dash. The windows and doors are made of timber.
- 2.4 In recent years the property has been subject to fire damage within the rear wing.
- 2.5 The 2020 Google Earth aerial image over shows the Site, marked by a red dot, and its location within the wider context of the area.



2.6 Image 2 below shows the Site outlined in red (not to scale) and its relationship with the immediately adjacent surroundings.



Planning Designations

2.7 The Site is within the Rural Area Beyond the Green Belt as defined within East Herts District Plan 2018. The existing building is Grade II Listed, designated as such due to its special historical interest.

2.8 An area of archaeological significance covers the majority of The Street, including the application Site, which sits on the edge of this designation.

2.9 Additionally, the East Herts District Plan identifies Haultwick as a “Group 3 Village”. These villages are described as having a poor range of services with local residents needing to travel outside the area for most of their daily needs.

Relevant Planning History

2.10 An application for Listed Building Consent was submitted in November 2018 (ref: 3/18/2448/LBC), along with a full application (ref: 3/18/2447/FUL), for the *“part demolition of the Public House, erection of single storey extension with canopy, alterations to roof, alterations to fenestration, alterations to materials and alterations to chimney. Internal alterations to include: raising the level of the main internal cross beams, removal of all first floor flooring, existing ground floor level to be lowered, removal of all partition walls and re location of bar”*.

2.11 A refusal was issued based on the substantial loss of historic fabric and the detrimental impact on the appearance of the Listed Building, and lack of information to demonstrate that the roof structure would be capable of supporting the proposed tiling and thereby causing further harm to the historic fabric.

3.0 THE PROPOSAL

3.1 As previously stated, the Applicants wish to reopen the public house, which is currently in a poor and deteriorating condition, to serve the local community. To enable this aspiration, a full application was submitted and LBC sought in 2018 as detailed at paragraph 2.8.

3.2 These applications were subsequently refused on the basis that the proposed works would result in a substantial loss of historic fabric and a detrimental impact on the appearance of the Listed Building, harming the significance of the heritage asset. Further information was also required to demonstrate that the existing roof structure would be capable of supporting the proposed tiled roofing.

3.3 Some time has elapsed since the refusal, in part due to the Covid-19 pandemic and the uncertainty surrounding the hospitality industry, however the Applicants now wish to resume their plans to reopen the pub.

3.4 Given the reasons for refusal cited on the previous applications, specifically the suggestion that the current roof structure may not withstand the proposed roof tiling, Ace Asbestos was instructed to survey the premises. This was with a view that, in the event that the roof tiling could not be supported by the current structure, reinforcement could be installed and for this to happen, a Refurbishment and Demolition Asbestos Survey was required to ensure the frame of the building does not contain asbestos. The survey accompanies this application.

3.5 The results of the survey show that 11 areas within the building contained asbestos – specifically within the textured coating of the walls and ceilings in all rooms on the first floor, and the kitchen, lobby and bathroom of the ground floor.



3.6 As such, Listed Building Consent is sought for internal works to enable the removal of this asbestos and to allow for further assessment of the internal frame of the building.

4.0 RELEVANT PLANNING POLICY

4.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 required that applications for development must be determined in accordance with the development plan, unless material considerations indicate otherwise. For the purposes of this application, the relevant Development Plan document is the East Herts District Plan (EHDP) adopted in October 2018.

4.2 The following are considered to be the most relevant EHDP policies against which to assess the proposal:

Policy HA1 Designated Heritage Assets – advises that proposals should preserve and enhance the historic environment of the District. Proposals leading to substantial harm to the significance of a heritage asset will not be permitted, unless it can be demonstrated that this harm is necessary to achieve substantial public benefits. Additionally, the Council will pursue opportunities for the conservation and enjoyment of the historic environment and recognises its role in achieving sustainable development.

Policy HA7 Listed Buildings – opportunities will be actively sought by the Council to sustain and enhance the significance of Listed Buildings, ensuring they are in viable uses consistent with their conservation. Applications that involve the alteration of a Listed Building will be permitted where the proposal would not adversely affect the architectural and historic character or appearance of the interior or exterior of the building or its setting, and where it respects the materials and finishes of the building, preserving its historic fabric.

Policy EQ1 Contaminated Land and Land Instability – the Council will encourage the remediation of contaminated land to ensure it is brought

back into use. Evidence is required to show that unacceptable risks from contamination will be successfully addressed through remediations without impacting the environment.

Supplementary Planning Documents/Guidance

- 4.3 There are no SPDs or SPGs of relevance to this application.

National Policy

- 4.4 The National Planning Policy Framework (NPPF) was first published in 2012 and last updated in 2023. It is to be read as a whole and is underpinned by the aim of achieving development which is economically, socially and environmentally sustainable.

- 4.5 The following chapters are of particular relevance to this proposal:

Chapter 16: Conserving and enhancing the historic environment

Paragraph 194 – *"In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting."*

Paragraph 197 – *"In determining applications, local planning authorities should take account of: a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation; b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and c) the desirability of new development making a positive contribution to local character and distinctiveness."*

Paragraph 199 – *"When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation"*

Paragraph 200 – *" Any harm to, or loss of, the significance of a designated heritage asset ... should require clear and convincing justification. Substantial harm to or loss of: a) grade II listed buildings ... should be exceptional."*



5.0 PLANNING ANALYSIS

Principle of Development

- 5.1 The current proposal is for minor internal alterations only to facilitate the assessment of the historic fabric of the building and enabling the removal of a contaminated material. The principle of development is considered acceptable.

Heritage Impact

- 5.2 The main interest of the Grade II Listed Building lies in its original timber-framed section, steeply pitched roof and internal chimneystack which date back to the 17th Century. The timber frame is eroded on the ground floor but has remained largely intact on the first floor, aside from the roof which is in very poor condition.
- 5.3 The building was originally constructed as a residential dwelling but subsequently converted to a public house with significant alterations occurring in the 19th Century. These include an extension to the north to make provision for a dwelling; an outbuilding to the east; a further extension to the north accommodating WCs; and replacement of the original roof with a tile-effect red corrugated iron roof on the main building.
- 5.4 As can be seen, many changes to the fabric and size of the building have been made over the years, affecting its appearance and setting in the village of Haultwick. Being solely internal, it is considered that the works proposed would cause no harm to the setting of the building in terms of its relationship with the surrounding area in accordance with national policy.
- 5.5 Internally, it has been confirmed that the building is in a state of disrepair with asbestos present. This application proposes the removal of the asbestos,

along with further investigative works, to inform the restoration of the building to facilitate its use for the enjoyment of the local community, in accordance with Policy HA1 which confirms that the Council will pursue opportunities for the conservation and enjoyment of the historic environment.

- 5.6 This is reinforced at Policy HA7, which goes on to confirm that alterations to Listed Buildings will be permitted where no adverse effect would be had on its architectural and historic character of the interior or exterior of the building or its setting. As discussed at Paragraph 5.3, the timber frame constitutes the main reason for this building's Listing. The asbestos found within the building was specifically contained in the textured coating of the walls and ceiling, not the timber frame itself. Its removal, and further investigative works, would not cause harm to the internal (or external) fabric of the building.
- 5.7 Taking the above into consideration, it is deemed that the proposal would not cause any harm to the significance of the Listed Building, and is therefore in compliance with local and national policy.

6.0 SUMMARY AND CONCLUSIONS

6.1 This application proposes the removal of detected asbestos and further investigation to the internal frame of a Grade II Listed public house, with the ultimate aim of bringing the building back into use to serve the local community of Haultwick and the surrounding area, and ensuring its long-term preservation.

6.2 The principle of development is deemed acceptable, with no harm caused to the building's external setting/appearance or internal fabric in terms of its significance.

6.3 The proposal is considered compliant with local and national policy, and we therefore respectfully request that consent is granted by the Local Planning Authority.