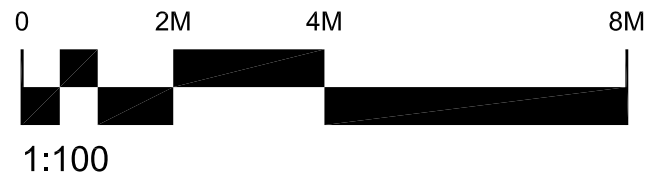
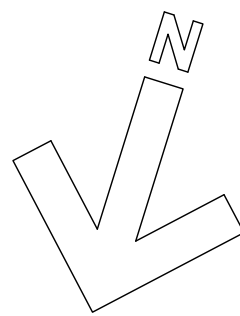


ROOF PLAN

NOTES:

1. Prepare asphalt roof surfaces as necessary and apply new liquid membrane overing in slate/dark grey. Include for lift and redressing/renewing existing lead flashings as necessary.
2. Carefully remove Georgian wire glass to rooflight and renew in laminated safety glass. Include for timber repairs to frame and for renewing leadwork to rooflight to match the existing detailing.
3. Carry out stone and brickwork repairs to chimneys including renewal of flaunchings, using retained pots where possible, with new ventilated caps. Allow for 25% new pots to match the existing where existing pots are deteriorated beyond re-use.
4. Renew lead clad access hatch to match the existing. Include for hydraulic lifts and secure lock.
5. Renew lead roofs to front and rear bays in detailing to match the existing.
6. Allow provisionally for the stripping and renewal of the existing slate finished roofs, retaining and reusing existing slates where possible.
7. Allow provisionally for the renewal of existing lead parapet gutters to match the existing detailing.
8. Allow provisionally to strip and renew the existing dormer roofs and cheeks in leadwork to match the existing details.
9. 3 no. Mitsubishi SCM80ZS-W Multi Outdoor 8.0kW units & 1 no. SCM45ZS-W Multi Outdoor 4.5kW unit 750h x 880w x 340d (mm) enclosed on 3 sides with Caice SS150 Acoustic Lourves powder coated - RAL 7015 Slate Grey. Enclosure neasures 2700w x 1600d x 750h (mm)



THE HOWARD de WALDEN ESTATE

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Notes:

Revisions	Date	By	Note
A	10/10/23	JHL	Enclosure & AC notes added

Property name & Address:
 30b Wimpole Street

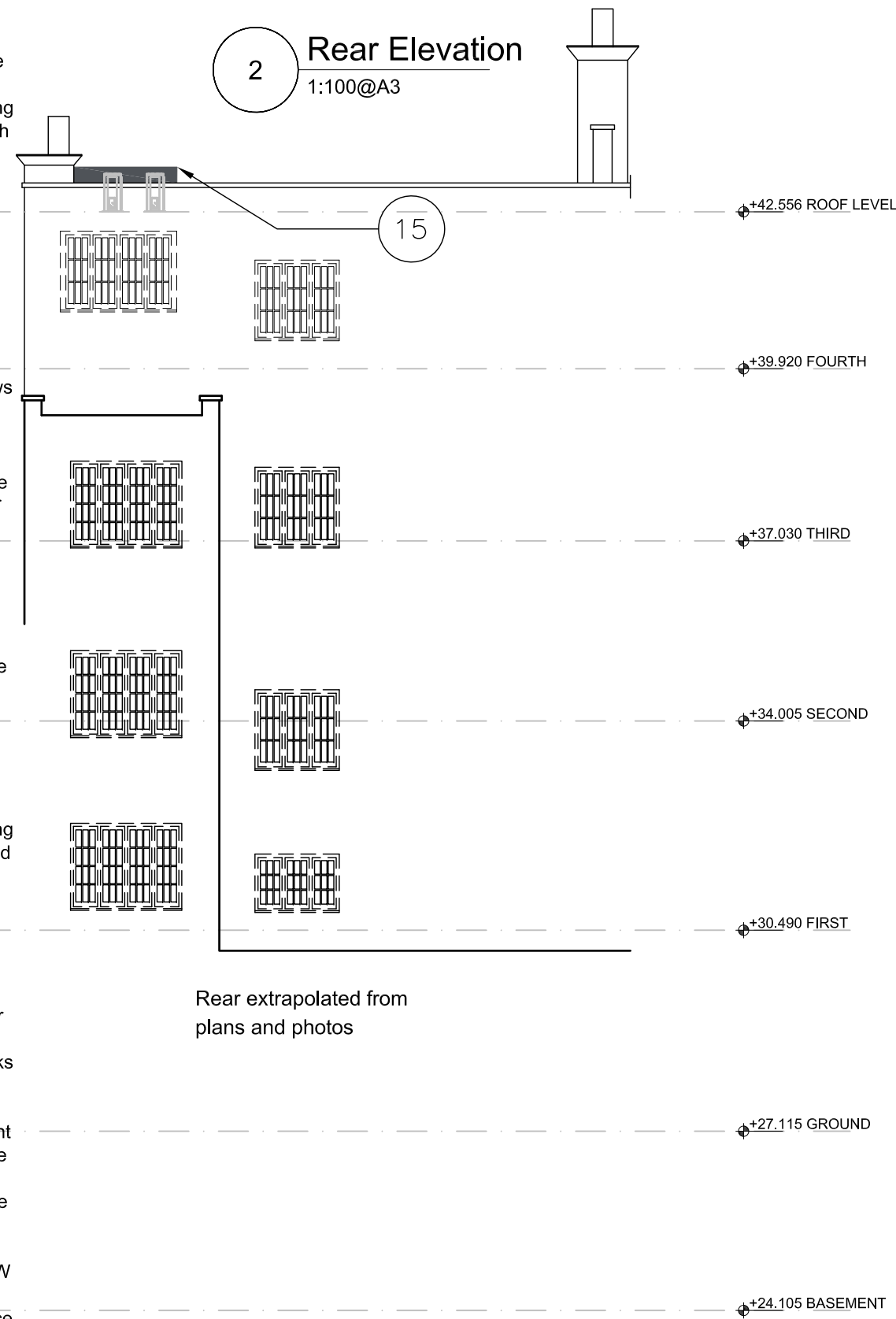
Title:
 Roof Plant - EXISTING

Drawing no: MA014/007/E	
Scale: 1:100@A3	Date: 06/07/20
File name: base.dwg	Revision: A

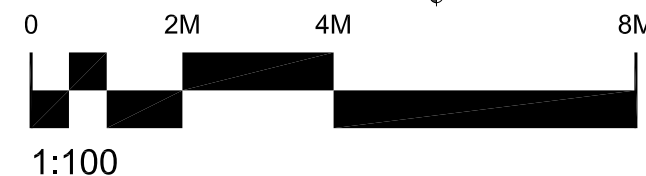


NOTES:

1. Strip and redecorate railings and gates, including repair and redecoration of stone plinth
2. Overhaul metal stairs to lightwell including renewal of corroded components to match the existing detailing
3. Overhaul existing lead and cast-iron rainwater goods including renewal of defective components to match the existing and redecoration on completion.
4. Overhaul, ease and adjust existing metal windows including repair and renewal of missing/defective ironmongery by specialist contractor where necessary to match the existing
5. Overhaul, ease and adjust timber windows to include repairs using Repaircase resin system techniques.
6. Renew substantially decayed timber windows to 4th floor dormers to match the existing. Allow for repair of timber dormer surrounds using Repaircare techniques.
7. Stone and brickwork elevations to be cleaned by specialist contractor, and repaired/repointed as necessary using traditional techniques and materials to match the existing
8. Specialist clean and repaint '30b Wimpole Street' sign at first floor level.
9. Rake out and repoint glazed brickwork to lightwell retaining wall.
10. Repair and redecorate existing glazed doors and sidelights to vaults including reinstatement of missing detailing (Georgian bars etc) and renewal of glazing in 'Minster' or 'Small Hammered' tempered safety glass. Repairs to be made in hardwood and Repaircare resin system.
11. Existing gas meters and redundant pipework to be removed, brackets/fixings removed and glazed bricks made good.
12. Retained wall mounted pipework and cabling to be rationalised, reconfigured or removed where redundant. Redundant fixings to be removed and all glazed bricks made good.
13. Specialist clean and repair marble front entrance steps, path and glazed brick light
14. Prepare parapet copings, projecting stone cornice and bay roofs as necessary and apply lead capping in accordance with the LSA standard details.
15. 3 no. Mitsubishi SCM80ZS-W Multi Outdoor 8.0kW units & 1 no. SCM45ZS-W Multi Outdoor 4.5kW unit 750h x 880w x 340d (mm) enclosed on 3 sides with Caice SS150 Acoustic Louvres powder coated - RAL 7015 Slate Grey. Enclosure measures 2700w x 1600d x 750h (mm)



Rear extrapolated from plans and photos



Notes:

Revisions	Date	By	Note
A	10/10/23	JHL	Enclosure & AC notes added

Property name & Address:

30b Wimpole Street

Title:

Front & Rear Elevations - PROPOSED

Drawing no:

MA014/010/E

Scale:

1:100@A3

Date:

06/07/20

File name:

base.dwg

Revision:

A