

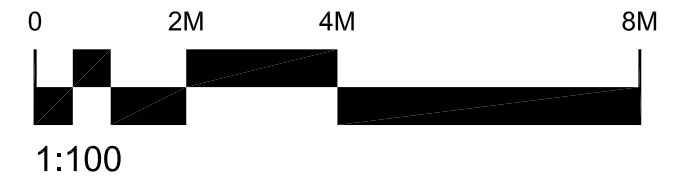
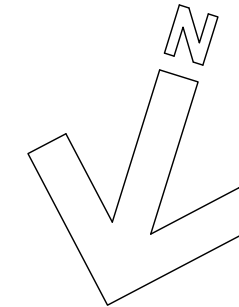
BASEMENT

NOTES:

GENERALLY:

- Defective lime plaster wall & ceiling finishes to be repaired/ renewed by specialist contractor using traditional materials & techniques. Repairs to modern plaster finishes to be carried out materials to match.
- Cornicing and timber mouldings to be repaired, reinstated or renewed where necessary to match the existing detailing, using traditional materials and techniques.
- New service installations to use existing pipework/ cable routes as far as possible.
- All existing timber windows to be overhauled and repaired to ensure correct operation including the renewal of ironmongery or other fittings. All repairs to be carried out using Repaircare resin products and techniques.
- All existing metal windows to be overhauled and repaired to ensure correct operation including lead glazing repairs, adjusting frames and renewal of ironmongery or other fittings. All repairs to be carried out by specialist contractor using traditional techniques.
- All general floor areas (unless otherwise annotated) to be finished with flooring grade chipboard.
- WC, bath/shower rooms and kitchens to be finished with ceramic/porcelain tiling.
- All windows to include secondary glazing fitted within reveals and configured with minimal framing and opener to match the primary window patterns.
- Existing doors (non-original modern form) to be overhauled, upgraded or renewed including new ironmongery to achieve the required fire rating.
- Non-functioning lift to be returned to bottom of shaft and all door openings secured shut and fire sealed.

1. Tea point, wc, shower and locker space formed in full height plasterboard partitioning with skirtings, architraves, door to match adjacent patterns/detailing. Existing plasterboard ceiling adapted or renewed to suit the proposed configuration.
2. Tiled wall finishes to be applied to shower enclosure and changing area walls
3. New carpet finish applied to timber staircase between ground and lower ground including contrasting nosings.
4. Staircase handrail to be stripped, made good where necessary and French polished. Balustrading to be painted.
5. Proposed new wall mounted air-conditioning units.
6. Mechanical extract for shower and wc to discharge via 100mm ductwork extending through accessible wc service void above.



THE HOWARD de WALDEN ESTATE

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Notes:

Revisions	Date	By	Note

Property name & Address:

30b Wimpole Street

Title:

Basement Layout - PROPOSED

Drawing no:

MA014/001/P

Scale:

1:100@A3

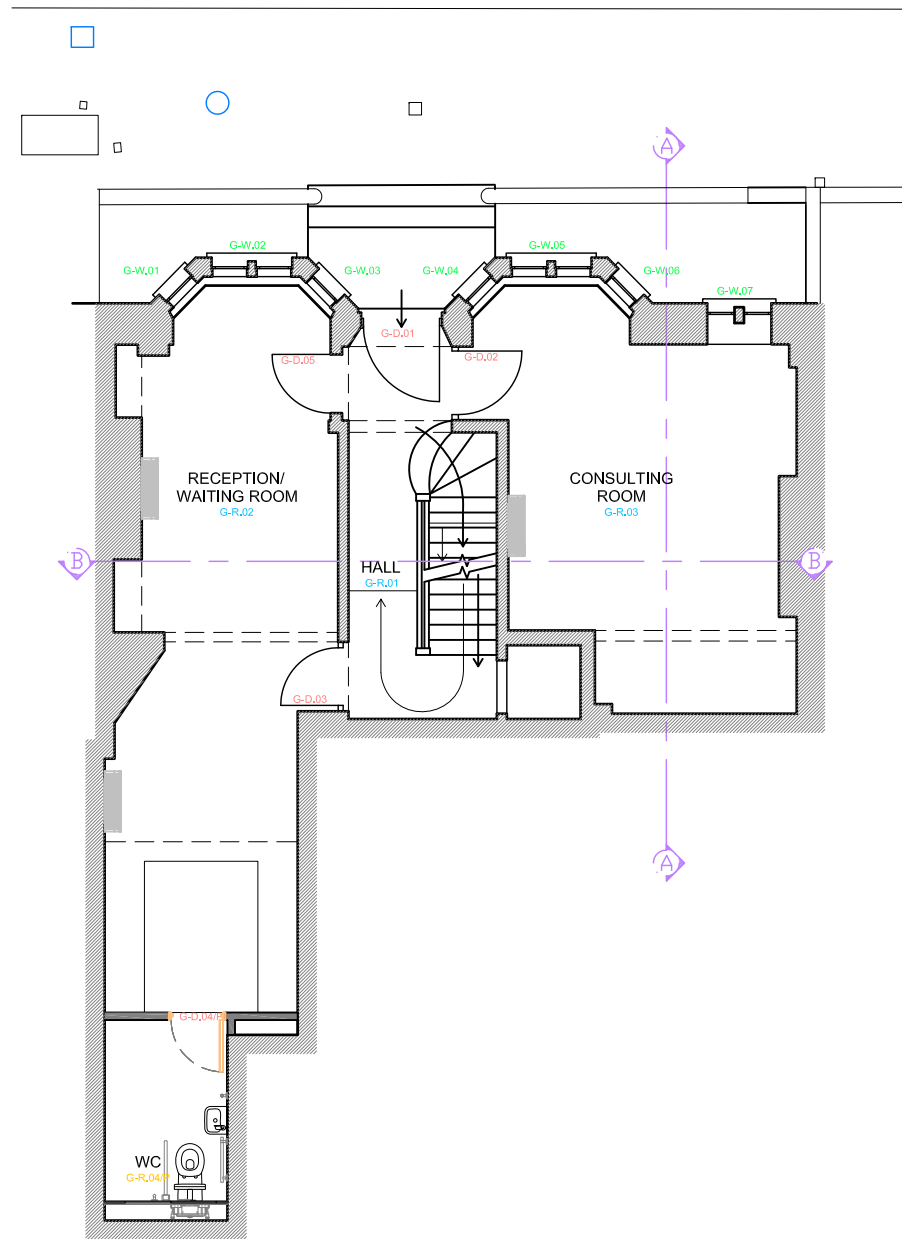
Date:

06/07/20

File name:

base.dwg

Revision:



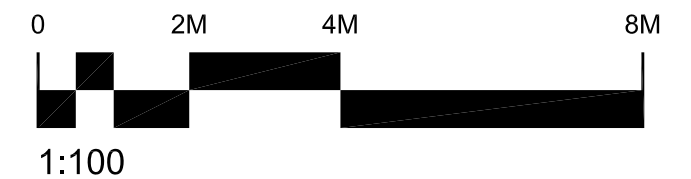
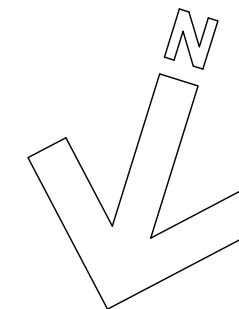
GROUND FLOOR

NOTES:

GENERALLY:

- Defective lime plaster wall & ceiling finishes to be repaired/ renewed by specialist contractor using traditional materials & techniques. Repairs to modern plaster finishes to be carried out materials to match.
- Cornicing and timber mouldings to be repaired, reinstated or renewed where necessary to match the existing detailing, using traditional materials and techniques.
- New service installations to use existing pipework/ cable routes as far as possible.
- All existing timber windows to be overhauled and repaired to ensure correct operation including the renewal of ironmongery or other fittings. All repairs to be carried out using Repaircare resin products and techniques.
- All existing metal windows to be overhauled and repaired to ensure correct operation including lead glazing repairs, adjusting frames and renewal of ironmongery or other fittings. All repairs to be carried out by specialist contractor using traditional techniques.
- All general floor areas (unless otherwise annotated) to be finished with flooring grade chipboard.
- WC, bath/shower rooms and kitchens to be finished with ceramic/porcelain tiling.
- All windows to include secondary glazing fitted within reveals and configured with minimal framing and opener to match the primary window patterns.
- Existing doors (non-original modern form) to be overhauled, upgraded or renewed including new ironmongery to achieve the required fire rating.
- Non-functioning lift to be returned to bottom of shaft and all door openings secured shut and fire sealed.

1. Accessible wc formed in full height plasterboard partitioning with skirtings, architraves, door to match adjacent patterns/detailing. Existing plasterboard ceiling adapted or renewed to suit the proposed configuration.
2. Tiled wall finishes to be applied part height to 1.8m above FFL.
3. New carpet runner to be applied to timber staircase, landings and half landings between ground and 2nd floor including contrasting nosings.
4. Staircase handrail to be stripped, made good where necessary and French polished. Balustrading to be painted.
5. Proposed new wall mounted air-conditioning units.
6. Existing mat-well to be renewed including new bronze edge trim to perimeter.
7. Existing honed marble tiled floor to be repaired, cleaned, sealed and non-slip treated by specialist contractor.
8. Mechanical extract for accessible wc and lower ground floor shower and wc routed within wc service void to discharge through roof above.



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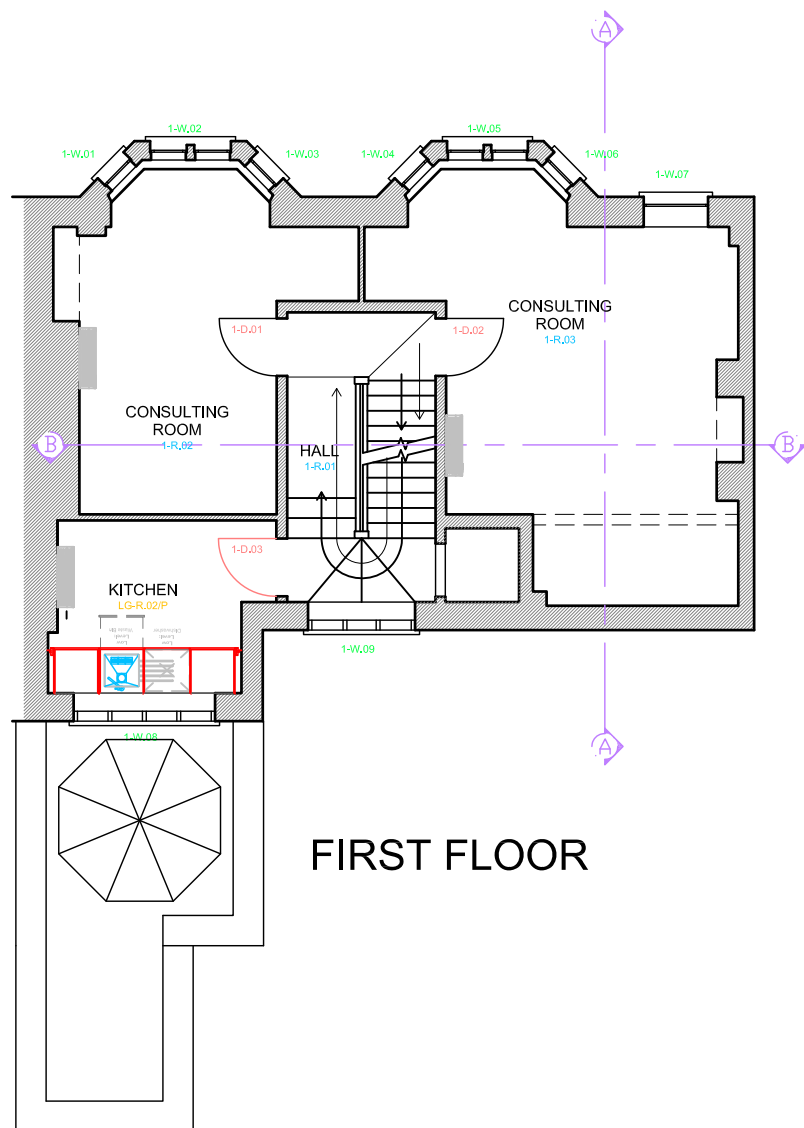
Notes:

Revisions	Date	By	Note

Property name & Address:
 30b Wimpole Street

Title:
 Ground Floor Layout - PROPOSED

Drawing no: MA014/002/P	
Scale: 1:100@A3	Date: 06/07/20
File name: base.dwg	Revision:



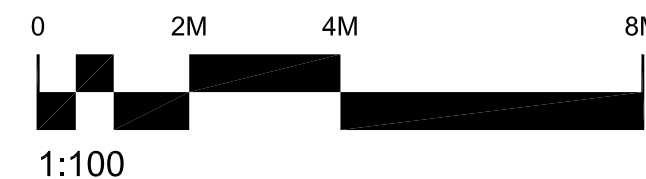
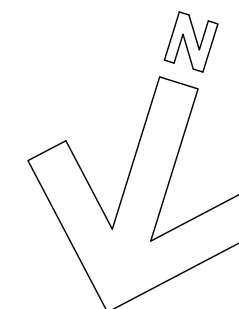
FIRST FLOOR

NOTES:

GENERALLY:

- Defective lime plaster wall & ceiling finishes to be repaired/ renewed by specialist contractor using traditional materials & techniques. Repairs to modern plaster finishes to be carried out materials to match.
- Cornicing and timber mouldings to be repaired, reinstated or renewed where necessary to match the existing detailing, using traditional materials and techniques.
- New service installations to use existing pipework/ cable routes as far as possible.
- All existing timber windows to be overhauled and repaired to ensure correct operation including the renewal of ironmongery or other fittings. All repairs to be carried out using Repaircare resin products and techniques.
- All existing metal windows to be overhauled and repaired to ensure correct operation including lead glazing repairs, adjusting frames and renewal of ironmongery or other fittings. All repairs to be carried out by specialist contractor using traditional techniques.
- All general floor areas (unless otherwise annotated) to be finished with flooring grade chipboard.
- WC, bath/shower rooms and kitchens to be finished with ceramic/porcelain tiling.
- All windows to include secondary glazing fitted within reveals and configured with minimal framing and opener to match the primary window patterns.
- Existing doors (non-original modern form) to be overhauled, upgraded or renewed including new ironmongery to achieve the required fire rating.
- Non-functioning lift to be returned to bottom of shaft and all door openings secured shut and fire sealed.

1. New kitchen/tea point installed to include tiled splashback.
2. Dropped plasterboard ceiling to be installed to conceal service runs
3. New carpet runner to be applied to timber staircase, landings and half landings between ground and 2nd floor including contrasting nosings.
4. Staircase handrail to be stripped, made good where necessary and French polished. Balustrading to be painted.
5. Proposed new wall mounted air-conditioning units.
6. Mechanical extract for kitchen/tea point to be routed concealed through return to rear elevation and terminated externally via terracotta airbrick.



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Notes:

Revisions	Date	By	Note

Property name & Address:

30b Wimpole Street

Title:

First Floor Layout - PROPOSED

Drawing no:

MA014/003/P

Scale:

1:100@A3

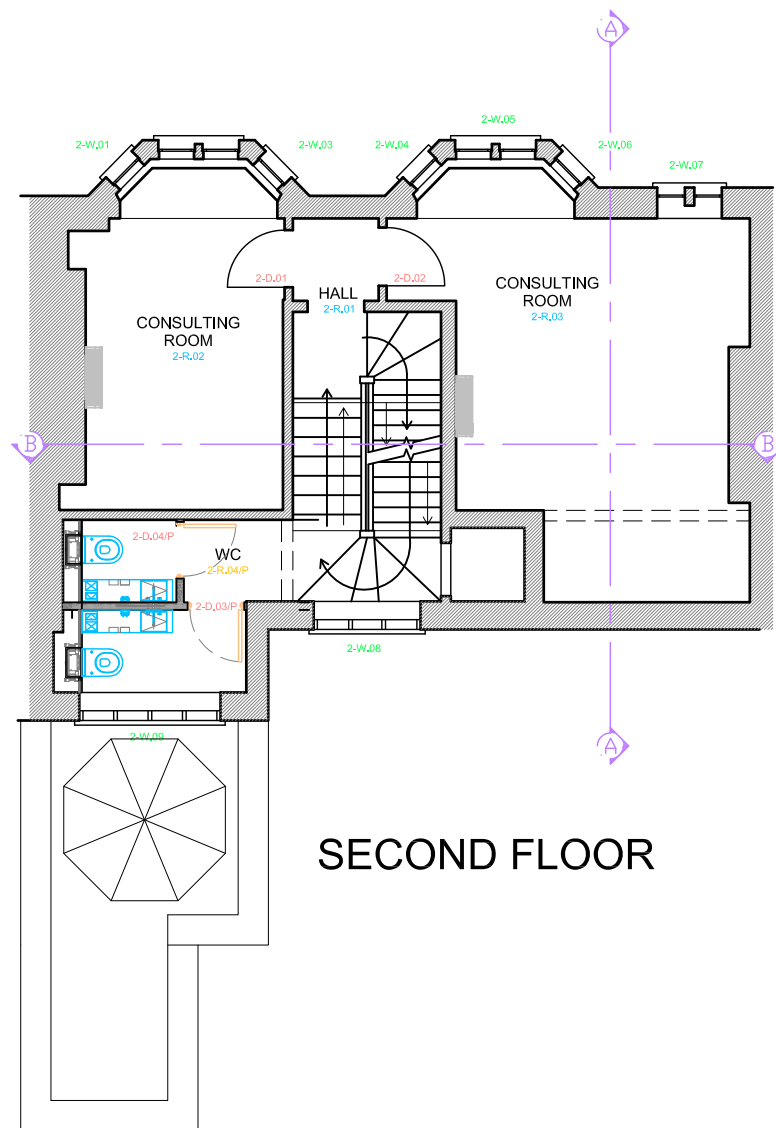
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06/07/20

File name:

base.dwg

Revision:

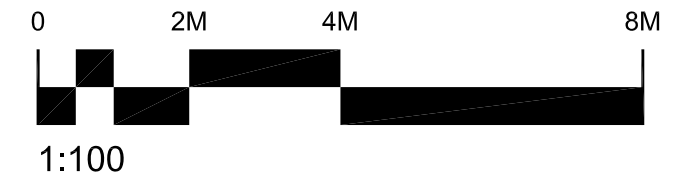
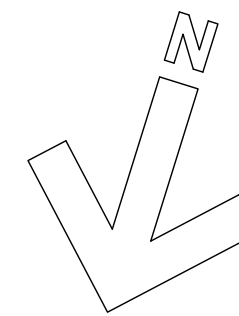


NOTES:

GENERALLY:

- Defective lime plaster wall & ceiling finishes to be repaired/ renewed by specialist contractor using traditional materials & techniques. Repairs to modern plaster finishes to be carried out materials to match.
- Cornicing and timber mouldings to be repaired, reinstated or renewed where necessary to match the existing detailing, using traditional materials and techniques.
- New service installations to use existing pipework/ cable routes as far as possible.
- All existing timber windows to be overhauled and repaired to ensure correct operation including the renewal of ironmongery or other fittings. All repairs to be carried out using Repaircare resin products and techniques.
- All existing metal windows to be overhauled and repaired to ensure correct operation including lead glazing repairs, adjusting frames and renewal of ironmongery or other fittings. All repairs to be carried out by specialist contractor using traditional techniques.
- All general floor areas (unless otherwise annotated) to be finished with flooring grade chipboard.
- WC, bath/shower rooms and kitchens to be finished with ceramic/porcelain tiling.
- All windows to include secondary glazing fitted within reveals and configured with minimal framing and opener to match the primary window patterns.
- Existing doors (non-original modern form) to be overhauled, upgraded or renewed including new ironmongery to achieve the required fire rating.
- Non-functioning lift to be returned to bottom of shaft and all door openings secured shut and fire sealed.

1. New kitchen installed to include tiled splashback.
2. Dropped plasterboard ceiling to be installed to conceal service runs
3. WC's formed in full height plasterboard partitioning with skirtings, architraves, doors to match adjacent patterns/detailing. Existing plasterboard ceiling adapted or renewed to suit the proposed configuration.
4. Mechanical extract for wc's to be routed concealed within dropped ceiling void and through return to rear elevation terminated externally via terracotta airbrick.
5. New carpet runner to be applied to timber staircase, landings and half landings between ground and 2nd floor including contrasting nosings.
6. Staircase handrail to be stripped, made good where necessary and French polished. Balustrading to be painted.
7. Proposed new wall mounted air-conditioning units.



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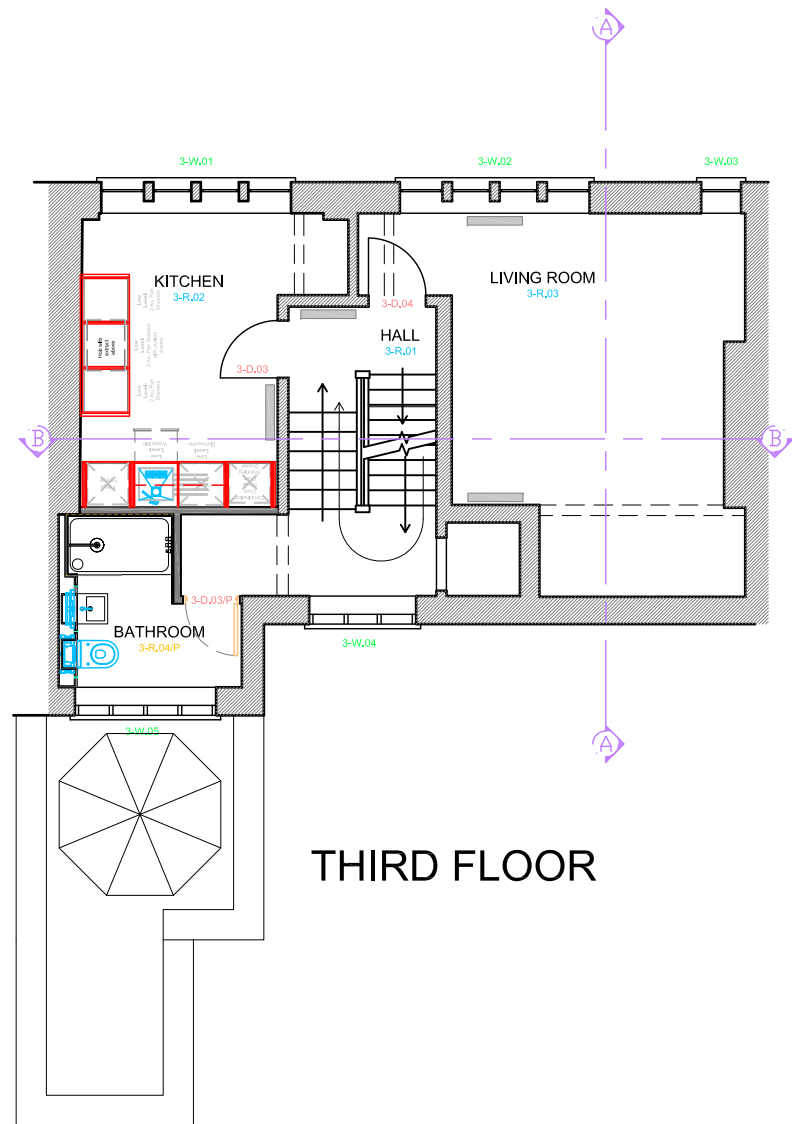
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Revisions	Date	By	Note

Property name & Address:
 30b Wimpole Street

Title:
 Second Floor Layout - PROPOSED

Drawing no: MA014/004/P	
Scale: 1:100@A3	Date: 06/07/20
File name: base.dwg	Revision:



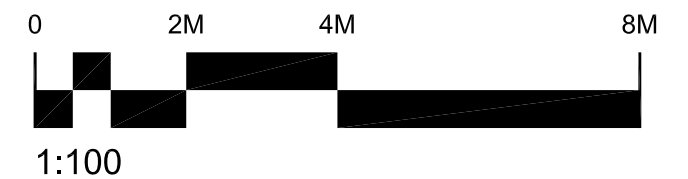
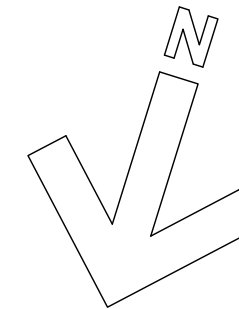
THIRD FLOOR

NOTES:

GENERALLY:

- Defective lime plaster wall & ceiling finishes to be repaired/ renewed by specialist contractor using traditional materials & techniques. Repairs to modern plaster finishes to be carried out materials to match.
- Cornicing and timber mouldings to be repaired, reinstated or renewed where necessary to match the existing detailing, using traditional materials and techniques.
- New service installations to use existing pipework/ cable routes as far as possible.
- All existing timber windows to be overhauled and repaired to ensure correct operation including the renewal of ironmongery or other fittings. All repairs to be carried out using Repaircare resin products and techniques.
- All existing metal windows to be overhauled and repaired to ensure correct operation including lead glazing repairs, adjusting frames and renewal of ironmongery or other fittings. All repairs to be carried out by specialist contractor using traditional techniques.
- All general floor areas (unless otherwise annotated) to be finished with flooring grade chipboard.
- WC, bath/shower rooms and kitchens to be finished with ceramic/porcelain tiling.
- All windows to include secondary glazing fitted within reveals and configured with minimal framing and opener to match the primary window patterns.
- Existing doors (non-original modern form) to be overhauled, upgraded or renewed including new ironmongery to achieve the required fire rating.
- Non-functioning lift to be returned to bottom of shaft and all door openings secured shut and fire sealed.

1. Shower room formed in full height plasterboard partitioning with skirtings, architraves, door to match adjacent patterns/detailing.
2. Dropped plasterboard ceiling to be installed to conceal service runs.
3. New kitchen installed to include tiled splashback.
4. Mechanical extract for kitchen and shower room to be routed concealed within dropped ceiling void and through return to rear elevation terminated externally via terracotta airbrick.
5. New carpet full width carpet applied to timber staircase, landings and half landings to 3rd and 4th floor.
6. Staircase handrail to be stripped, made good where necessary and French polished. Balustrading to be painted.
7. Proposed new floor standing dual tariff storage heaters.



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Notes:

Revisions	Date	By	Note

Property name & Address:

30b Wimpole Street

Title:

Third Floor Layout - PROPOSED

Drawing no:

MA014/005/P

Scale:

1:100@A3

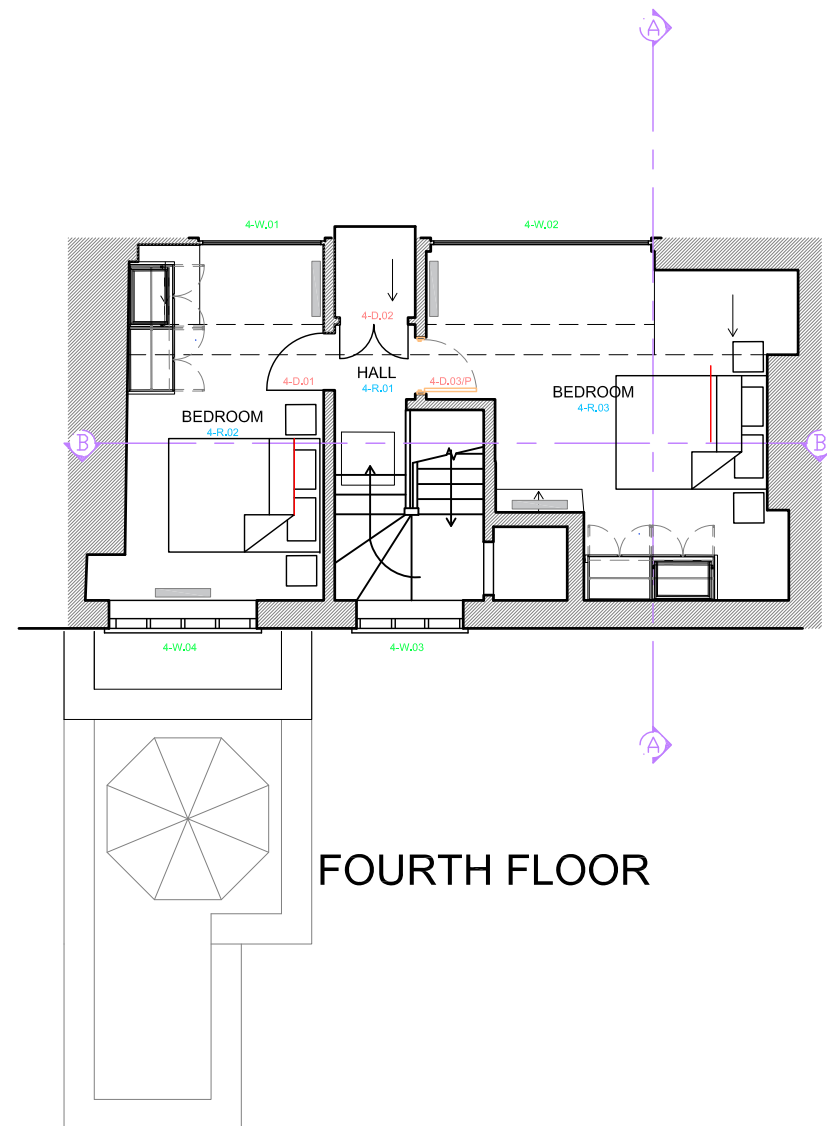
Date:

06/07/20

File name:

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Revision:

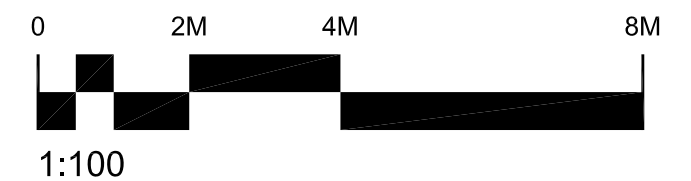
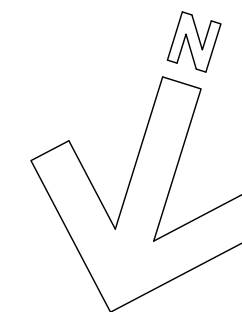


NOTES:

GENERALLY:

- Defective lime plaster wall & ceiling finishes to be repaired/ renewed by specialist contractor using traditional materials & techniques. Repairs to modern plaster finishes to be carried out materials to match.
- Cornicing and timber mouldings to be repaired, reinstated or renewed where necessary to match the existing detailing, using traditional materials and techniques.
- New service installations to use existing pipework/ cable routes as far as possible.
- All existing timber windows to be overhauled and repaired to ensure correct operation including the renewal of ironmongery or other fittings. All repairs to be carried out using Repaircare resin products and techniques.
- All existing metal windows to be overhauled and repaired to ensure correct operation including lead glazing repairs, adjusting frames and renewal of ironmongery or other fittings. All repairs to be carried out by specialist contractor using traditional techniques.
- All general floor areas (unless otherwise annotated) to be finished with flooring grade chipboard.
- WC, bath/shower rooms and kitchens to be finished with ceramic/porcelain tiling.
- All windows to include secondary glazing fitted within reveals and configured with minimal framing and opener to match the primary window patterns.
- Existing doors (non-original modern form) to be overhauled, upgraded or renewed including new ironmongery to achieve the required fire rating.
- Non-functioning lift to be returned to bottom of shaft and all door openings secured shut and fire sealed.

1. New carpet full width carpet applied to timber staircase, landings and half landings to 3rd and 4th floor.
2. Staircase handrail to be stripped, made good where necessary and French polished. Balustrading to be painted.
3. Proposed new floor standing dual tariff storage heaters.



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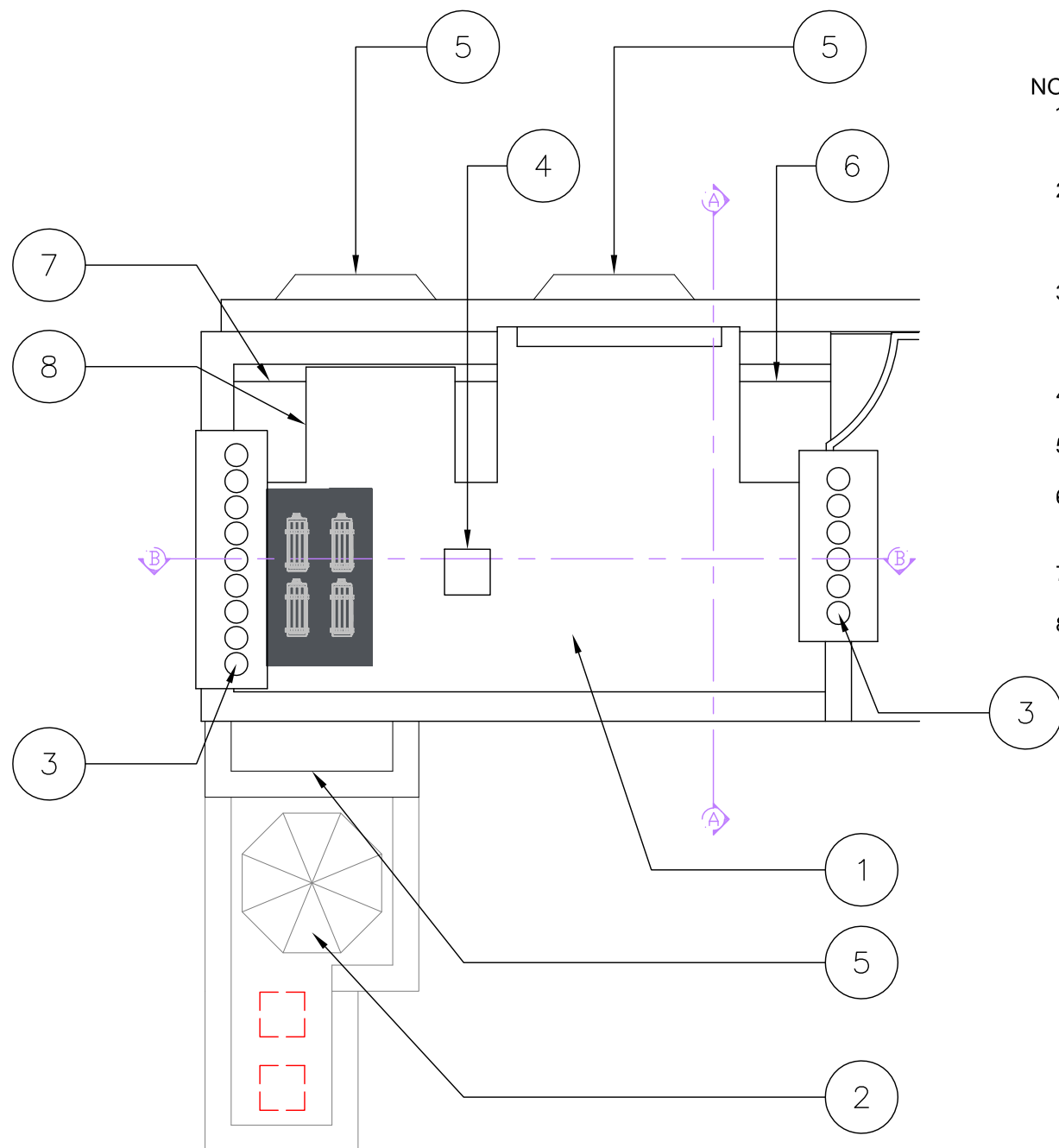
Notes:

Revisions	Date	By	Note

Property name & Address:
 30b Wimpole Street

Title:
 Fourth Floor Layout - PROPOSED

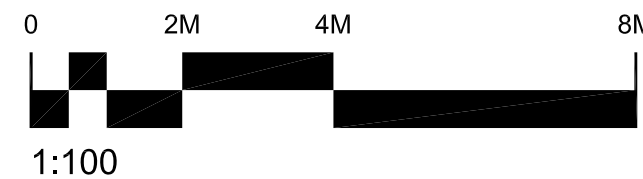
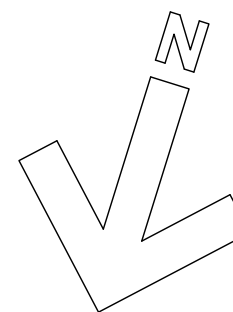
Drawing no: MA014/006/P	
Scale: 1:100@A3	Date: 06/07/20
File name: base.dwg	Revision:



ROOF PLAN

NOTES:

1. Prepare asphalt roof surfaces as necessary and apply new liquid membrane overing in slate/dark grey. Include for lift and redressing/renewing existing lead flashings as necessary.
2. Carefully remove Georgian wire glass to rooflight and renew in laminated safety glass. Include for timber repairs to frame and for renewing leadwork to rooflight to match the existing detailing.
3. Carry out stone and brickwork repairs to chimneys including renewal of flaunchings, using retained pots where possible, with new ventilated caps. Allow for 25% new pots to match the existing where existing pots are deteriorated beyond re-use.
4. Renew lead clad access hatch to match the existing. Include for hydraulic lifts and secure lock.
5. Renew lead roofs to front and rear bays in detailing to match the existing.
6. Allow provisionally for the stripping and renewal of the existing slate finished roofs, retaining and reusing existing slates where possible.
7. Allow provisionally for the renewal of existing lead parapet gutters to match the existing detailing.
8. Allow provisionally to strip and renew the existing dormer roofs and cheeks in leadwork to match the existing details.



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Notes:

Revisions	Date	By	Note

Property name & Address:

30b Wimpole Street

Title:

Roof Plant - EXISTING

Drawing no:

MA014/007/E

Scale:

1:100@A3

Date:

06/07/20

File name:

base.dwg

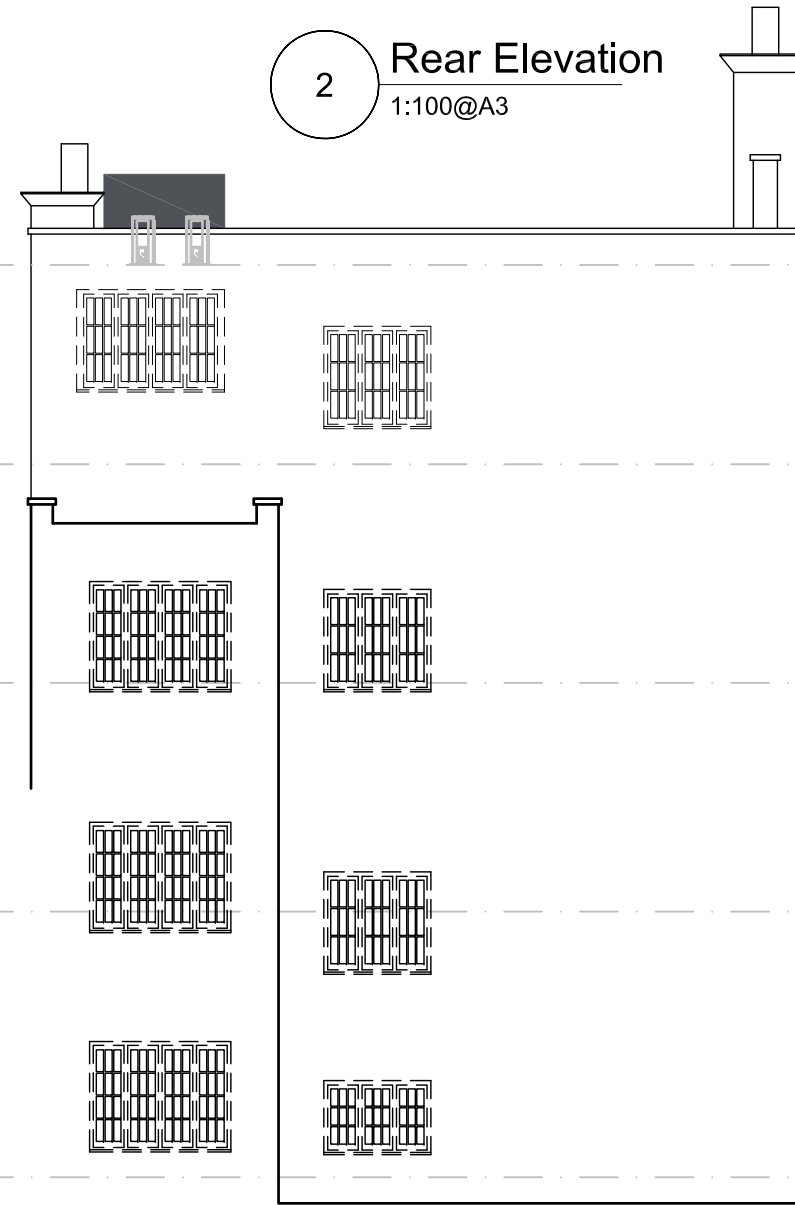
Revision:



1 Front Elevation
1:100@A3

NOTES:

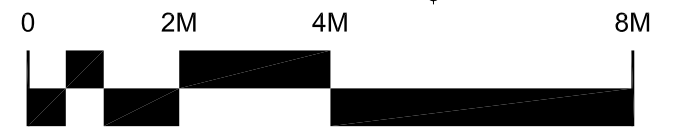
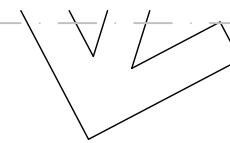
1. Strip and redecorate railings and gates, including repair and redecoration of stone plinth
2. Overhaul metal stairs to lightwell including renewal of corroded components to match the existing detailing
3. Overhaul existing lead and cast-iron rainwater goods including renewal of defective components to match the existing and redecoration on completion.
4. Overhaul, ease and adjust existing metal windows including repair and renewal of missing/defective ironmongery by specialist contractor where necessary to match the existing
5. Overhaul, ease and adjust timber windows to include repairs using Repaircare resin system techniques.
6. Renew substantially decayed timber windows to 4th floor dormers to match the existing. Allow for repair of timber dormer surrounds using Repaircare techniques.
7. Stone and brickwork elevations to be cleaned by specialist contractor, and repaired/repointed as necessary using traditional techniques and materials to match the existing
8. Specialist clean and repaint '30b Wimpole Street' sign at first floor level.
9. Rake out and repoint glazed brickwork to lightwell retaining wall.
10. Repair and redecorate existing glazed doors and sidelights to vaults including reinstatement of missing detailing (Georgian bars etc) and renewal of glazing in 'Minster' or 'Small Hammered' tempered safety glass. Repairs to be made in hardwood and Repaircare resin system.
11. Existing gas meters and redundant pipework to be removed, brackets/fixings removed and glazed bricks made good.
12. Retained wall mounted pipework and cabling to be rationalised, reconfigured or removed where redundant. Redundant fixings to be removed and all glazed bricks made good.
13. Specialist clean and repair marble front entrance steps, path and glazed brick light
14. Prepare parapet copings, projecting stone cornice and bay roofs as necessary and apply lead capping in accordance with the LSA standard details.



2 Rear Elevation
1:100@A3

- +42.556 ROOF LEVEL
- +39.920 FOURTH
- +37.030 THIRD
- +34.005 SECOND
- +30.490 FIRST
- +27.115 GROUND
- +24.105 BASEMENT

Rear extrapolated from plans and photos



1:100

Revisions	Date	By	Note

Notes:

Property name & Address: 30b Wimpole Street
Title: Front & Rear Elevations - PROPOSED

Drawing no: MA014/010/E	
Scale: 1:100@A3	Date: 06/07/20
File name: base.dwg	Revision: