

19 Downs Avenue, Epsom, Surrey KT18 5HQ

Design and Access Statement

20 May 2023 (Revision 2)

A proposal to demolish an existing 1960's residential bungalow and to replace it with a two-storey family home.



Isometric image showing proposed street-facing (West) elevation of new home.

**APPROVED
DOCUMENT**

Revision History

Date	Revision	Notes
18 Jan 2023	0	Initial Release
9 Feb 2023	1	Addition of Heritage Statement (Section 5.0)
20 May 2023	2	Changes inspired by EEBC conservation officer

Table of Contents

1.0 INTRODUCTION.....	3
1.1 PROJECT OVERVIEW	3
1.1 ABOUT REVISION 2 OF THIS DOCUMENT	3
2.0 REFERENCE DOCUMENTS.....	3
3.0 THE SITE AND SURROUNDING CONTEXT.....	3
3.1 SURROUNDING CONTEXT.....	3
3.2 THE SITE.....	3
3.2.1 AERIAL PHOTOGRAPH	4
3.2.2 OS LOCATION PLAN.....	5
3.3 CURRENT DWELLING.....	6
3.3.1 SITE PHOTOGRAPHS.....	7
3.4 PLANNING APPLICATION HISTORY.....	9
4.0 THE PROPOSAL.....	10
4.1 SUMMARY	10
4.1 DESIGN PRINCIPLES	10
4.1.1 SCALE	11
4.1.2 APPEARANCE	12
4.1.3 LAYOUT	12
4.3 USE.....	15
4.4 ACCESS	16
4.4.1 SITE.....	16
4.4.2 GARAGE.....	16
4.4.3 DWELLING.....	16
4.5 DRAINAGE	16
4.6 LANDSCAPING.....	16
5.0 HERITAGE STATEMENT	20
5.1 SITE IMPACT.....	21
5.2 IMPACT ON EXISTING BUILDING.....	21

1.0 Introduction

1.1 Project Overview

Full planning permission is sought for the demolition of an existing 1960's three-bedroom bungalow and the erection of a five-bedroom two-storey contemporary-classic style dwelling with attached single garage.

1.1 About Revision 2 of this Document

Revision 2 of this document (and updates to the supporting plans) was inspired by helpful comments made by the EEBC Conservation Officer as well as helpful comments on privacy, noise and materials made by our neighbour Mr Luke Carrington of 17 Downs Avenue Epsom KT18 5HQ.

2.0 Reference Documents

[1]	19DA-PE-001 Revision 1	Proposed Elevations
[2]	19DA-SV-001 Revision 1	Proposed Street View
[3]	19DA-SP-001 Revision 1	Proposed Site View
[4]	19DA-FP-001	Proposed Floor Plans
[5]	19DA-OS-001	Ordinance Survey Map

3.0 The Site and Surrounding Context

3.1 Surrounding Context

Downs Avenue is an attractive private residential road situated in the Burgh Heath Conservation Area. The road is managed by residents and houses tend to be large, detached family-homes with 4-6 bedrooms and generous gardens. Lavish planting and large gardens provide a natural woodland quality to the road and the road is further enhanced by the large high-quality houses.

Reference Document: [Burgh Heath Road Conservation Area, Character Appraisal & Management Proposals, August 2010](#)

3.2 The Site

The site at 19 Downs Avenue is a rectangular shaped plot with a frontage of just under 19m, and a depth of around 47.09m. The total area is 894.71 SQM.

The plot slopes downwards (from the back to the front) and the total height differential is approximately 4 meters measured from the north rear boundary at Rifle Butts Alley to the northern most boundary on Downs Avenue.

3.2.1 Aerial Photograph

The site is shown in the aerial photograph below, indicated by the red arrow:



3.2.2 OS Location Plan

The site is also shown in the location plan extract below.



3.3 Current Dwelling

The site is currently occupied by a three bedroomed detached 1960's bungalow that is damp, poorly insulated and needs significant modernisation.

The current dwelling is approximately 145m² and 5.3m high. It is set 19m back from the road and 16m from the rear fence which bounds a bridleway known as Rifle Butts Alley.

The site is served by a single vehicle access from Downs Avenue and the dwelling is largely screened from the road by mature trees and shrubs.

There are also trees at the rear of the property - adjacent to Rifle Butts Alley.

There are no tree preservation orders at 19 Downs Avenue.

3.3.1 Site Photographs

There now follows a selection of photographs relating to 19 Downs Avenue.

Image 1 ...

Shows the front of the current dwelling taken from the road on Downs Avenue.



Image 2 ...

Shows the front of the current dwelling taken from the driveway on Downs Avenue.



Image 3 ...

Shows the front of the current dwelling with number 21 in the background.



Image 4 ...

Shows the front of the current dwelling with number 17 in the background.



Image 5 ...

Shows the existing garage that would be renovated and retained for use as a tool store.



Image 6 ...

Shows an example of rising damp and mould in one of the bedrooms.



Image 7 ...

Shows a front panoramic photograph of number 19 with 17 on the left and number 21 on the right.



Image 8 ...

Shows a rear panoramic photograph of number 19 with 21 on the left and number 17 on the right.



3.4 Planning Application History

There now follows a record of all known previous planning applications listed on the Epsom and Ewell Council Planning Portal:

1. 94/00658/CAT | Felling of Conifer & surgery to Flowering Cherry in front garden. (Within Burgh Heath Road Conservation Area). | Penecroft 19 Downs Avenue Epsom Surrey KT18 5HQ - Wed 09 Nov 1994

4.0 The Proposal

4.1 Summary

The applicant seeks full planning permission for the demolition of the existing dwelling and the erection of a replacement two-storey arts and crafts style dwelling, with an attached single garage as well as appropriate landscaping.



4.1 Design Principles

The driving principles adopted in this proposal were as follows:

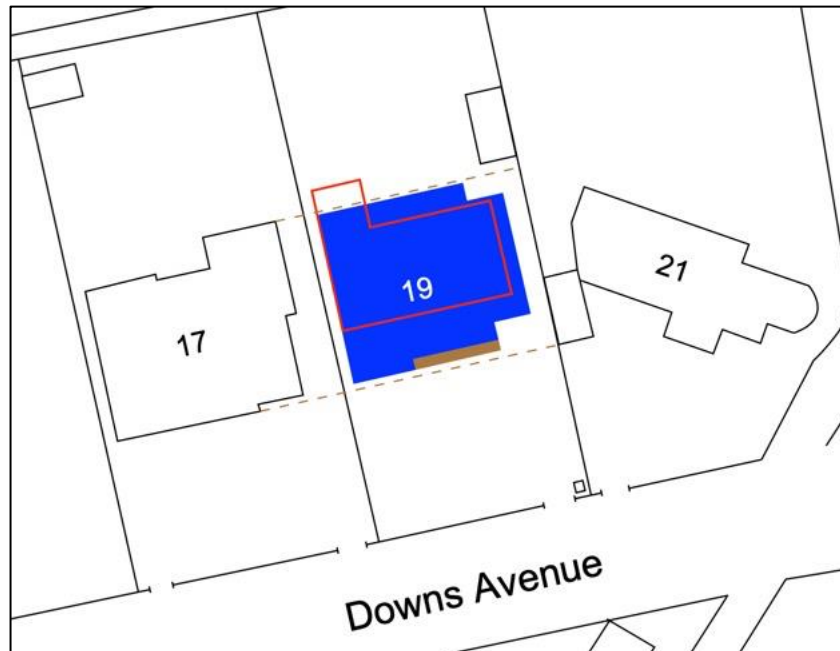
- 1) The proposed new dwelling should be aesthetically pleasing, should follow the arts and crafts design style of other traditional dwellings in the area and should return high thermal performance with the use of appropriately styled modern building materials where appropriate.
- 2) The proposed new dwelling, in terms of its form, mass, size, design and layout, should respect the existing character of the area whilst also enhancing it and acknowledge the scale and pattern of neighbouring developments.
- 3) The proposed new dwelling should meet the needs of the applicant's family: a typical nuclear family with two parents and three young children.

To these ends, the application is supported by plans (reference documents 1-5) which show that the new dwelling would meet these goals and would be of a high-quality design in an appropriate arts and crafts architectural style.

4.1.1 Scale

a) Depth

The depth of the proposed dwelling has been designed so that the front and rear elevations do not protrude beyond the front and rear of number 17.



b) Height

The height of the proposed dwelling has been designed so that the ridge of the roof aligns with that of number 21 (7.9m) and is relatively modest in scale when compared with other homes in the street (many with ridges of 9-10m).



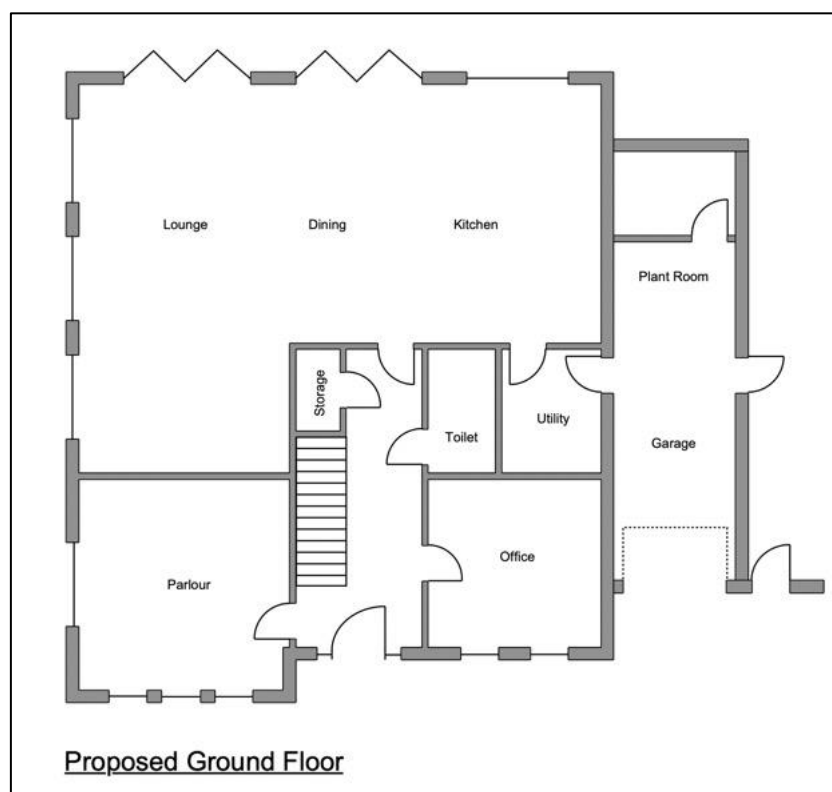
4.4.2 Appearance

As previously stated, the proposed new dwelling has been designed to combine characteristics of other arts and crafts styled dwellings in the area: tiled gable end, solid red brickwork above and below windows and doors, the addition of an arts and crafts styled front porch, the use of traditionally styled local materials such as antique brick, standard and decorative clay tiles and high thermal performance oak styled windows and doors.

4.4.3 Layout

The proposed layout of the new dwelling is ideal for a family of five or six.

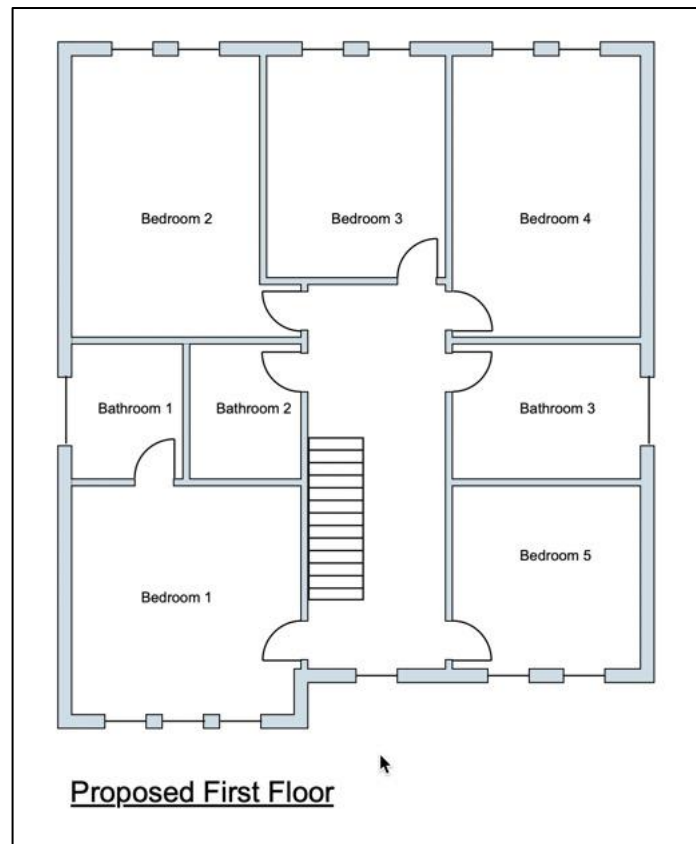
4.4.3.1 Ground Floor Layout



The large open-plan ground floor living space is broken into zones and is ideal for communal living, whilst the ParLOUR and Office allow occupants to break out if required. The layout also allows the building to make the best of the natural environment. Direct sunlight will illuminate the open-plan living area in the morning and floor to ceiling, high performance glazing will be utilised to the rear elevation to maximise natural light and enjoyment of the views towards the rear garden.

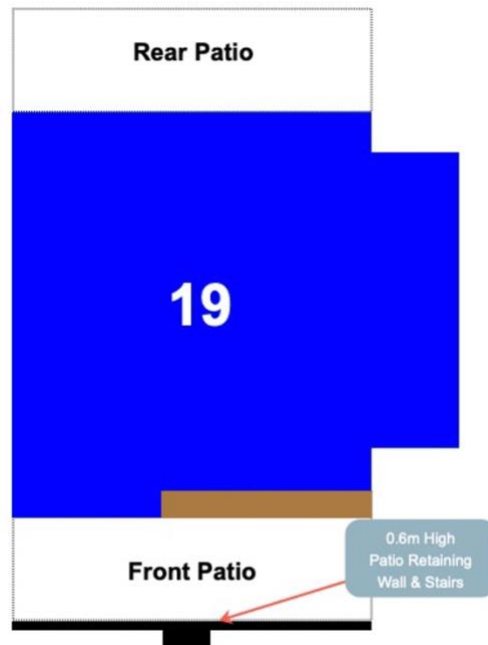
4.4.3.2 First Floor

Five generously sized double bedrooms along with one en-suite bathroom to Bedroom 1 and two further communal bathrooms are provided – ideal for a family of up to 6 people.



4.4.3.3 Patio Areas

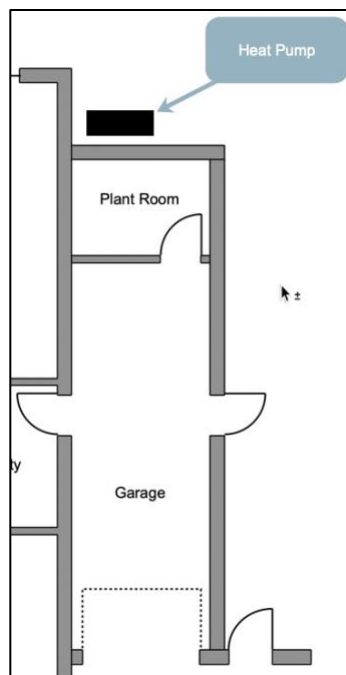
Two 3.6m patio areas are provided to the front and rear of the property. This provides an opportunity for occupants to break out not only from the rear, but also to the front of the building, promoting the use of internal and external spaces throughout the day.



The current dwelling has a raised patio to the front of the property to account for uneven front-to-rear land levels. It is currently 3.6m deep and 0.6m high and it is proposed that this feature is extended to account for the new position of the front elevation.

4.4.3.4 Garage & Plant Room

The proposed new single storey garage (and plant room) would be set inwards of the main two-storey element by 1.6m to the front and rear elevations.



The inset at the rear of the dwelling has been included to obscure the proposed air source heat pump ^[i] which would reside outside of the Plant Room. The frontal relief has been added as an interesting aesthetic feature.

[i] Please note that the heat pump equipment installer will check that the installation meets the planning standards of the Microgeneration Certification Scheme (MCS 020), including noise requirements, as required by building control.

The proposed garage entrance would be 2.5m wide, 2.1m tall and the depth of the garage would be 8.8m and would therefore house most large cars. The height of the garage would be just under 3.5m to provide access from the insulated plantroom to the first-floor joists of the main building. This access will be used for the electric cables, pipes and HVAC ventilation ducting that will run beneath the first floor of the main dwelling.

There is also an existing garage at the rear of the property which appears to predate the current main dwelling and it is proposed that this is retained and modernised with a new roofline system and door and would be used as a tool-store and domestic storage facility.

4.3 Use

Change of use is not proposed. The applicants and their three young boys intend to live in the new dwelling ad infinitum.

4.4 Access

4.4.1 Site

The proposed new dwelling has been designed to take account of the existing frontage and utilises the existing vehicle access. Thus, access to the site for residential, service and emergency vehicles will remain via Downs Avenue.

4.4.2 Garage

As previously stated, the proposed garage entrance would be 2.5m wide, 2.1m tall and the depth of the garage would be 8.8m and would therefore house most cars. Land levels slope upwards from Downs Avenue and the site would be suitably landscaped to ensure that front parking and access to the garage will be flat. See reference [3] – Proposed Site Plan.

4.4.3 Dwelling

The front entrance door will be 1000mm wide and internal doors will be a minimum of 826mm wide. The ground floor hall and first floor landing will be 3m wide at their widest point and 1.8m wide at the side of the staircase. The stairs will be 1.2m wide.

4.5 Drainage

It is proposed that natural surface-water drainage is maximised by incorporating permeable bonded gravel on the driveway, front patio, side passages and rear patio. Rainwater from the roofline system will be handled by a new soakaway and water butt. Sewage and foul water would continue to be piped into the existing main sewer which would be retained.

4.6 Landscaping

The proposed scheme respects existing trees and hedges and results in a landscaped area that will be both generous and high quality.

No trees of significance will be removed from the site with the exception of an 7m (circa) conifer which is sited on the proposed front face of the new dwelling.

A replacement tree would be replanted in a similar position at a suitable distance from the new dwelling. See Image 9 below.

All other trees will be retained and would be suitably protected during the construction process.

Image 9



At the rear of the site, it would be necessary to remove an old garden retaining wall and associated topsoil. Images 10, 11 and 12 (below) show where the new retaining wall would be built, and full details can be seen in reference [3] – Proposed Site Plan.

Boundary screening would also be updated, and new wooden fences would be installed to replace the old fences that have perished on the boundary between numbers 17 and 19.

It will also be necessary to carry out repairs to the front wall of the property that seems to have been damaged during a collision (see Image 13).

Image 10 ...

Diagram shows the position of the new retaining wall.

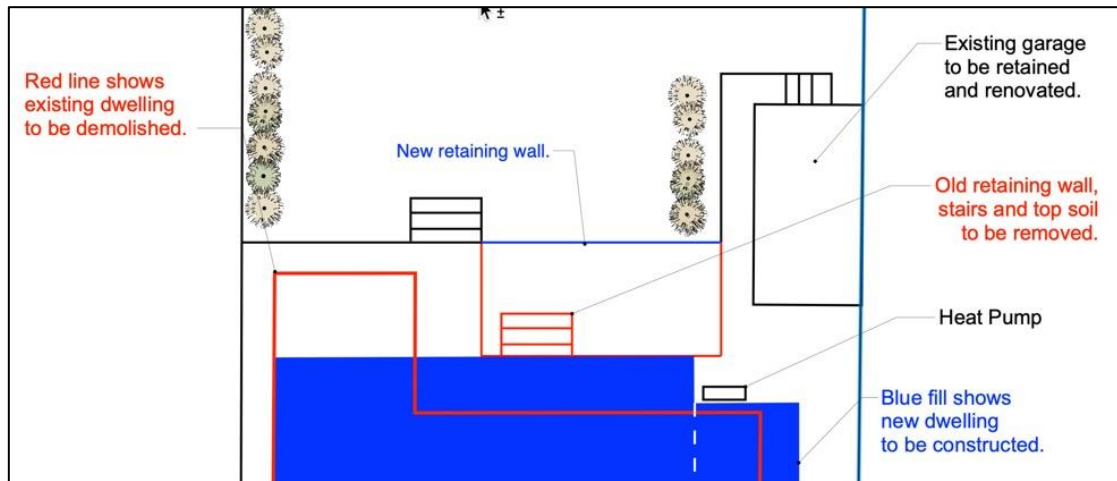


Image 11 ...

Shows the position of the new retaining wall.



Image 12

Shows the current retaining wall from the opposite side.



Image 13 ...

Shows a section of the front wall that will need repair.



4.7 Privacy

The project's latest design places a strong emphasis on enhancing privacy for the neighbouring properties (numbers 17 and 21). To achieve this, all windows that face these adjoining properties will be outfitted with Level 5 obscured glass, ensuring the utmost privacy. Additionally, a dense row of trees, towering over 10 meters in height, will serve as a natural barrier, maintaining privacy between number 19 and Chavenders (the houses across the street). It is important to note that the closest point to the opposite house exceeds 35 meters, significantly enhancing the overall privacy of the area. To visually depict this, an image taken from number 19 looking towards Chavenders is provided below.



5.0 Heritage Statement

5.1 Site Impact

The property is situated on Downs Avenue within the Burgh Heath Conservation area. The mature gardens and tree-lined boundaries contribute to the character of Downs Avenue and the wider Burgh Heath conservation area. The proposed scheme respects existing trees and hedges and will result in a landscaped area that will be both generous and high quality and is intended to enhance the surrounding area. To these ends, all trees and hedges (with the exception of the conifer tree outlined in section 4.6 of this document) will be retained and suitably protected during the construction process.

5.2 Impact on Existing Building

The existing property is not thought to make any contribution to the Heritage assets of the area. As previously stated, the proposed new dwelling will be high-quality, aesthetically pleasing and will respect the existing character of the area whilst also enhancing it and acknowledge the scale and pattern of neighbouring developments.