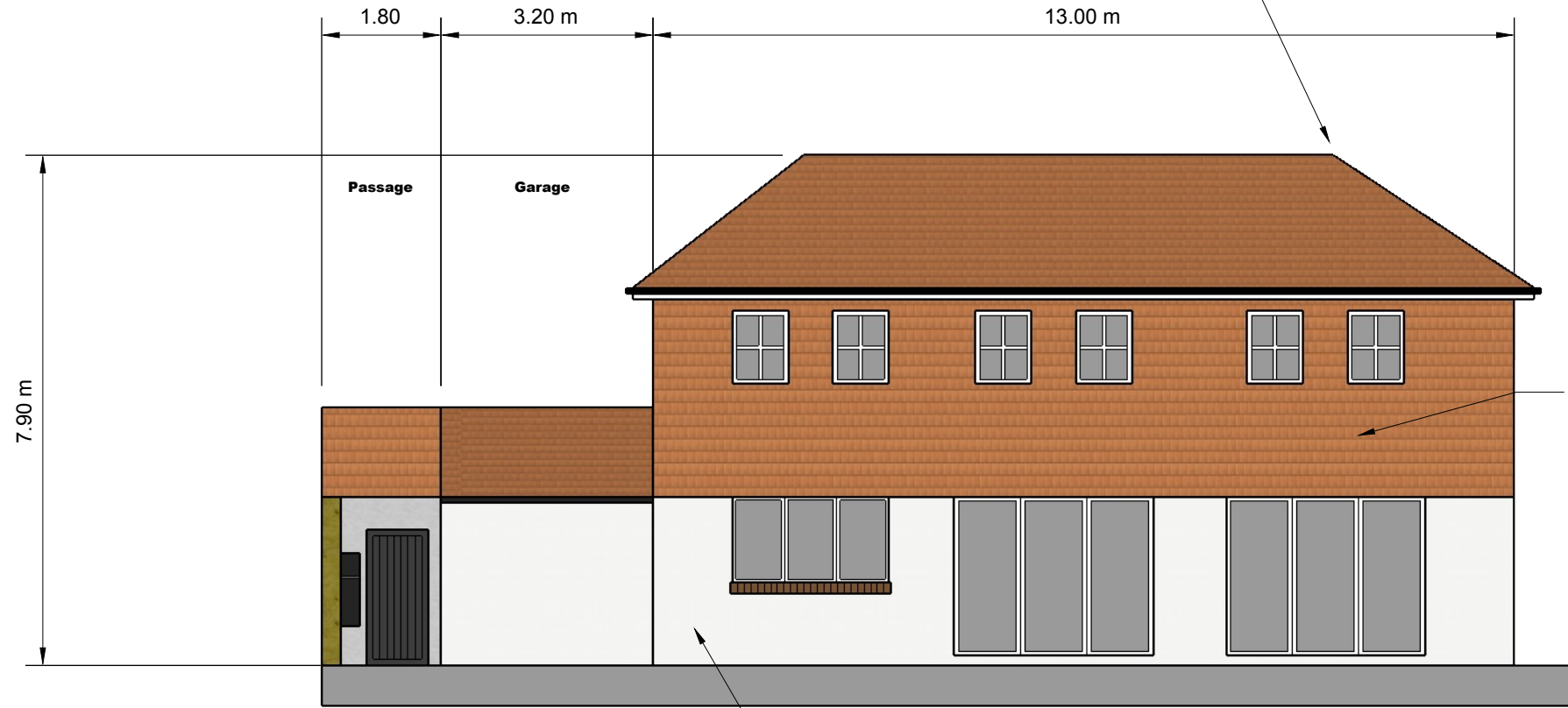


In order to increase the amount of natural light reaching number 17, we are interested in transitioning to a hipped roof design.



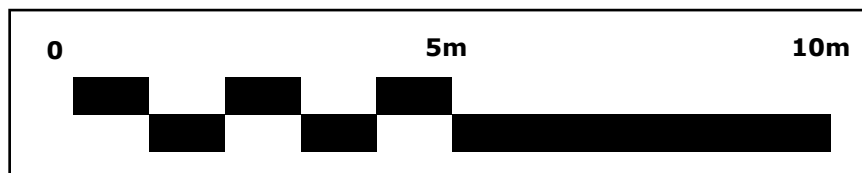
To improve the aesthetics of the building we would like to clad the first floor walls: (front, back and both side elevations) with tiles. In the current design only the front gable is clad and the remaining walls are brick.

To improve the aesthetics and thermal efficiency of the new building we would like to feature a white rendered finish on the ground floor. There are many other houses on Downs Avenue that follow this design pattern and a selection of these homes are shown in the additional information document (19DA-PL-08-AI) included with this submission. The proposed materials list remains unchanged.

Reference Documents:  
 [1] Planning Application - 23/00079/FUL  
 [2] Release of Conditions - 23/00892/COND

**Important Points:**

- A. Copies of the approved plans are featured in references [1] and [2] as well as included with this application and are labelled "Approved Document".
- B. It is worth noting that there are no alterations to the overall dimensions (height, width, and depth) of the building. The proposed materials also remain unchanged.



**Amended Proposed Rear Elevation**  
 (Please Compare to Approved Document 19DA-PE-001 / Rev 1)

**AS Developments**  
 21 Digdens Rise  
 Epsom, Surrey  
 KT18 5HQ

**CLIENT**  
 Mr A Smith  
 19 Downs Ave  
 Epsom, Surrey  
 KT18 5HQ

**DATE & REVISION**  
 11 Oct 2023 Rev. 0  
**DRAWN BY**  
 AS

**DRAWING SCALE**  
 1:100 @ A3  
**DRAWING UNITS**  
 Meters

**DRAWING TITLE**  
 Rear Elevation  
**DRAWING NO.**  
 19DA-PL-03-RE

Project  
**New Build**  
**19 Downs Avenue**

**PL-03**