

ROGER COY  
PARTNERSHIP

## Supporting Statement

Proposed replacement annexe and replacement garage

At

Cuddington Mill, Bridgeway, Cuddington,  
Aylesbury,  
Buckinghamshire  
HP18 0BP



ROGER COY  
PARTNERSHIP

BRICKNELLS BARN  
32 LIME AVENUE  
EYDON  
DAVENTRY  
NORTHAMPTON  
NN11 3PG

## 5632 – Planning Statement – Cuddington Mill, proposed annexe and garage

### **1** INTRODUCTION

- 1.1 This Householder Planning Application seeks approval from Buckingham Council for a proposed replacement annexe and replacement garage at Cuddington Mill. This application is submitted by the Roger Coy Partnership on behalf of the applicants, Keith and Jean McCullagh.
- 1.2 The property of Cuddington Mill lies at the end of Cuddington Mill Lane, about half a mile outside the village of Cuddington, which is between the towns of Aylesbury and Thame.
- 1.3 This Full Planning Application is accompanied by:
- Application Form
  - Correct Planning Fee
  - Ordnance Survey Map – Drawing No. 5632/Map
  - Survey Drawing No. 5632/01
  - Scheme Plan – Drawing Nos. 5632/20 and 21.

### **2** SITE AND SURROUNDINGS

- 2.1 The property of Cuddington Mill lies at the end of Cuddington Mill Lane, coming off Bridgeway, about half a mile outside the village of Cuddington, which lies between the towns of Aylesbury and Thame.

The property is situated down a private drive.

- 2.2 There is an existing cob barn, currently used to store garden machinery (as it is not large enough for cars) located to the east of the property, and a brick annexe which sits directly in front of the principal elevation of the dwelling house.

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Orange Line indicative of site boundary

- 2.2 The applicants own the whole of the site as outlined on above aerial image.
- 2.3 The existing dwelling known as Cuddington Mill, as it was a former mill, has been altered and improved substantially over the last decade, resulting in a stunning contemporary conversion, whilst retaining the character and history of the building.
- 2.4 The buildings proposed for replacement are now beyond economic repair and have gone beyond their useful lives.
- 2.5 The site is not located within a conservation area, although nearby Cuddington is a Conservation Area. The property is not listed and there are no buildings nearby which are listed.

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Existing cob barn



Photos show structural condition of internal trusses and rafters requiring extensive repair.



# 5632 – Planning Statement – Cuddington Mill, proposed annexe and garage

Existing annexe



## 5632 – Planning Statement – Cuddington Mill, proposed annexe and garage

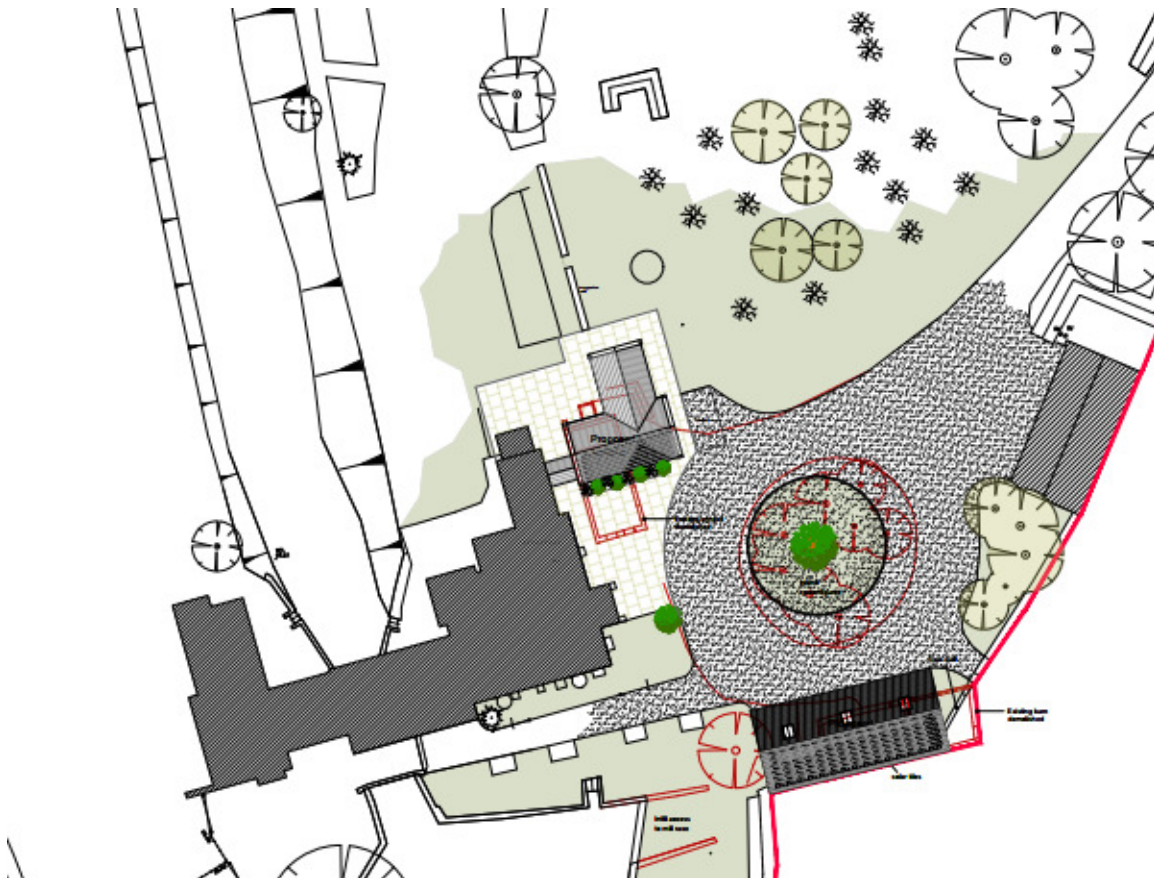
### 3 PLANNING HISTORY

- 3.1 The previous planning applications relating to the site are numerous and largely relate to the former mill, once agricultural use, which has been adapted over time. There are no planning applications relating to the outbuildings which are proposed for replacement within this application.

Below are the most recent and relevant applications relating to the property:

- CONVERSION OF REDUNDANT MILL AND STORE TO PROVIDE EXTENDED ACCOMMODATION  
Ref. No: 87/01070/APP | Status: APPROV
- Demolition of two storey extension and greenhouse and erection of two storey extension and alterations to main house  
Ref. No: 11/00451/APP | Status: Householder Approved

### 4 PROPOSED DEVELOPMENT



Proposed site plan

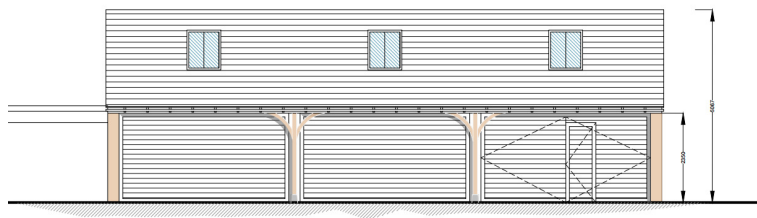
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### 4.1 Proposal - Garage

This development proposal seeks approval from the Local Planning Authority for a garage on the site of a former cob barn. The existing barn is beyond economical repair, and is not deep enough to store vehicles in.

The proposed design seeks to be similar and therefore cohesive to the other existing garage which lies to the north of the cob barn.

The materials used will be timber, with a slate roof and roller doors, to match the existing adjacent garage.



Proposed front elevation.

### Proposal – Annexe

The proposed annexe is intended to replace an existing outbuilding, for use by a carer who will live on site some of the time to care for the applicant. The annexe will have limited facilities but will be self-contained.

The proposal is to remain incidental to the dwellinghouse, a condition stipulating this is expected as part of any approval received.

The building will replace an existing brick structure which is beyond economical repair.

The proposed design would see the structure moved away from the principal elevation to allow less obstruction and would be rebuilt in an L-shaped form.

The materials would be stone to match the existing house, with a slate roof. The detailing around the roof reflects that used on the porch of the existing house and is designed to appear as a 'gatehouse'.

Both the proposed garage and annexe provide roof area for solar tiles to be mounted, without the need to mount on the main dwelling house.

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Proposed south elevation 1:100



Proposed north elevation 1:100

### 4.2 Access

The existing driveway and circulation space is more than adequate to be easily adapted to the new structures.

Access to and from the site will remain the same, and the new garage will allow vehicles to be stored away.

### 4.3 Scale

Whilst the proposed structures are slightly larger than the existing buildings they replace, they provide far more suitable space for their proposed needs.

The height of the single storey structure remains minimal with the roof pitch matching that of the existing house.

### 4.4 Layout

The layout of the proposed buildings are intended to not affect the existing circulation and parking. They are largely over the footprint of the existing buildings to be demolished with the annexe allowing the principle of elevation to be more exposed with less of an overlap.



Vale of Aylesbury Local Plan

5.2 Vale of Aylesbury Design Supplementary Planning Document

**6.1.4 Scale and Massing** ‘The use of local materials and historical construction techniques are largely responsible for the simple forms of traditional buildings in the District. In general, traditional houses in the area have a distinctly rural character, pitched roofs over narrow spans, and employ a limited range of materials. Sensitive interpretation of these characteristics is a preferred option for new development in a traditional context.’

Principle DES40 Promotes buildings that have architectural integrity utilising high quality detailing and materials.

The facade and elevational treatment, roofscape fenestration and materials used in existing buildings within the locality should be a starting point for the consideration of architectural design of new buildings

7.2.1 New buildings in the countryside should be designed so that they fit comfortably in the landscape and respond to context.

8.2 Principle DES56- Respond to local character- Use this character as a starting point for design in terms of building form, size, position within the plot and relationship to plot boundaries. Use simple uncomplicated building forms. Use building materials and details typical of your area or demonstrate how the materials chosen are appropriate.

Principle DES58: Extensions should be subservient to the scale, form and massing of the original dwelling The original building should remain the dominant element of the property whether you have one extension or several. The effect of any extension should not overwhelm the house from any given viewpoint. Extensions should not result in a significant loss to the private amenity area of the dwelling. Any existing external access from the front of the dwelling to the rear garden is a significant asset to service the garden. Consideration should be given to the value of retaining this access. Extensions should use simple, uncomplicated building forms to compliment and coordinate with the scale, form and massing of the original dwelling. Applicants should avoid proposals that wrap around the existing dwelling and involve complicated roof forms. This is likely to result in a bulky appearance.

Principle DES59: Respond to the design of the original dwelling Extensions should respond to the design of the original dwelling and applicants should demonstrate how local character has informed the design proposal. Applicants that do not use materials to match those of the existing dwelling should demonstrate the appropriateness of the alternatives proposed.

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Principle DES64: Car parking and garages Building extensions may reduce the potential for on plot car parking and result in this car parking being shifted onto the street. In many locations this will be unacceptable. Residential extensions that increase the impact of car parking through a reduction in the space available for landscaping that helps to soften this car parking should also be avoided. Where residential extensions are proposed to provide garages, these must be designed so that they appear to belong to the dwelling and to be subservient to it. This can be achieved through the use of similar materials and similar or steeper roof pitches and by stepping the garage back behind the building line of the dwelling.

### 6

#### SUMMARY AND CONCLUSIONS

- 6.1 This application seeks the approval from Buckingham Council (previously Aylesbury Vale District Council) for the replacement of barn with a garage, and the replacement of an existing annexe to be used in association with the main dwelling.
- 6.2 It is considered that the proposed replacement structures are appropriate within the locality, causing some improvement by exposing more of the principal elevation of the property and creating functional and usable spaces which can be supported by policies in the adopted local Plan.