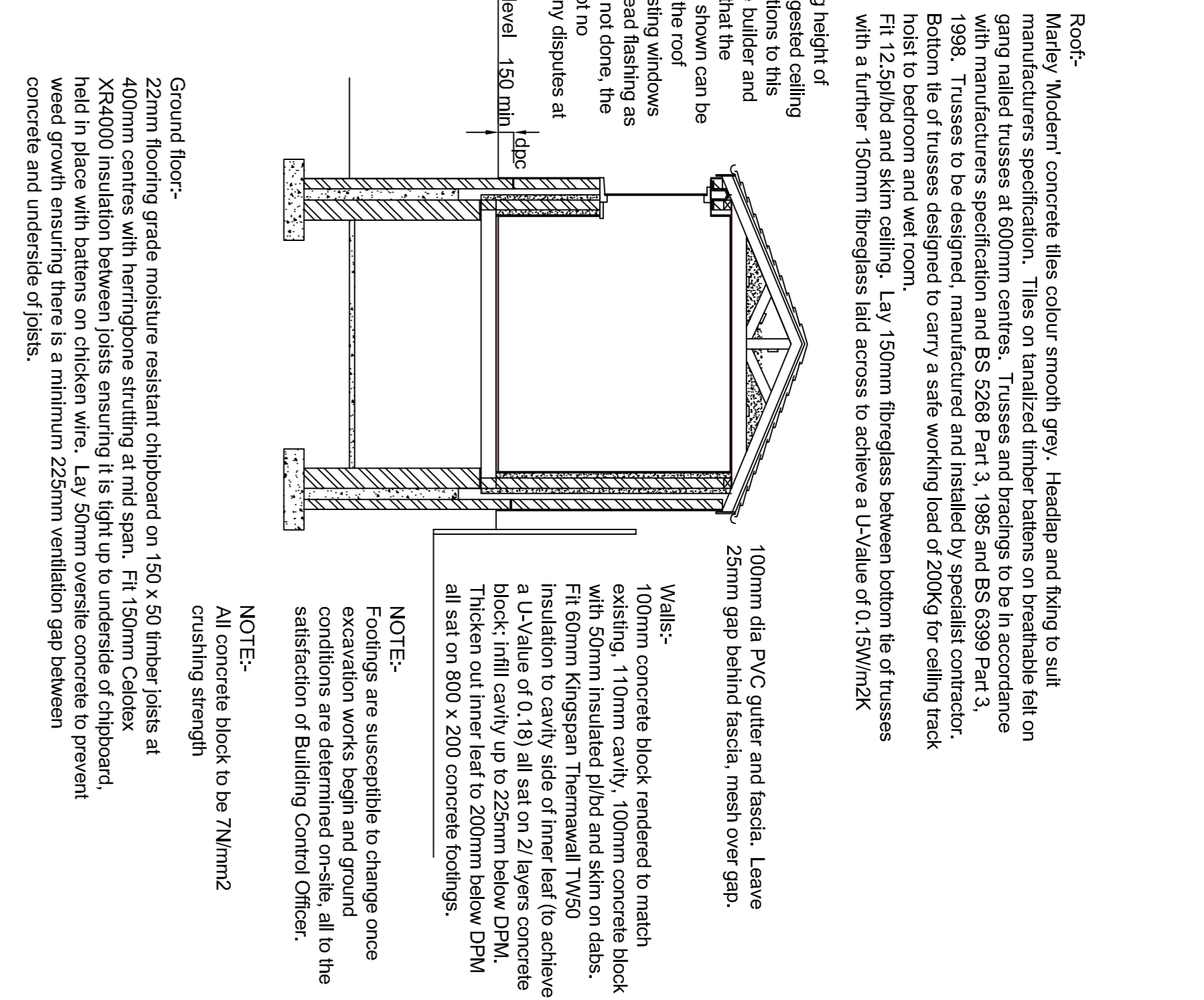
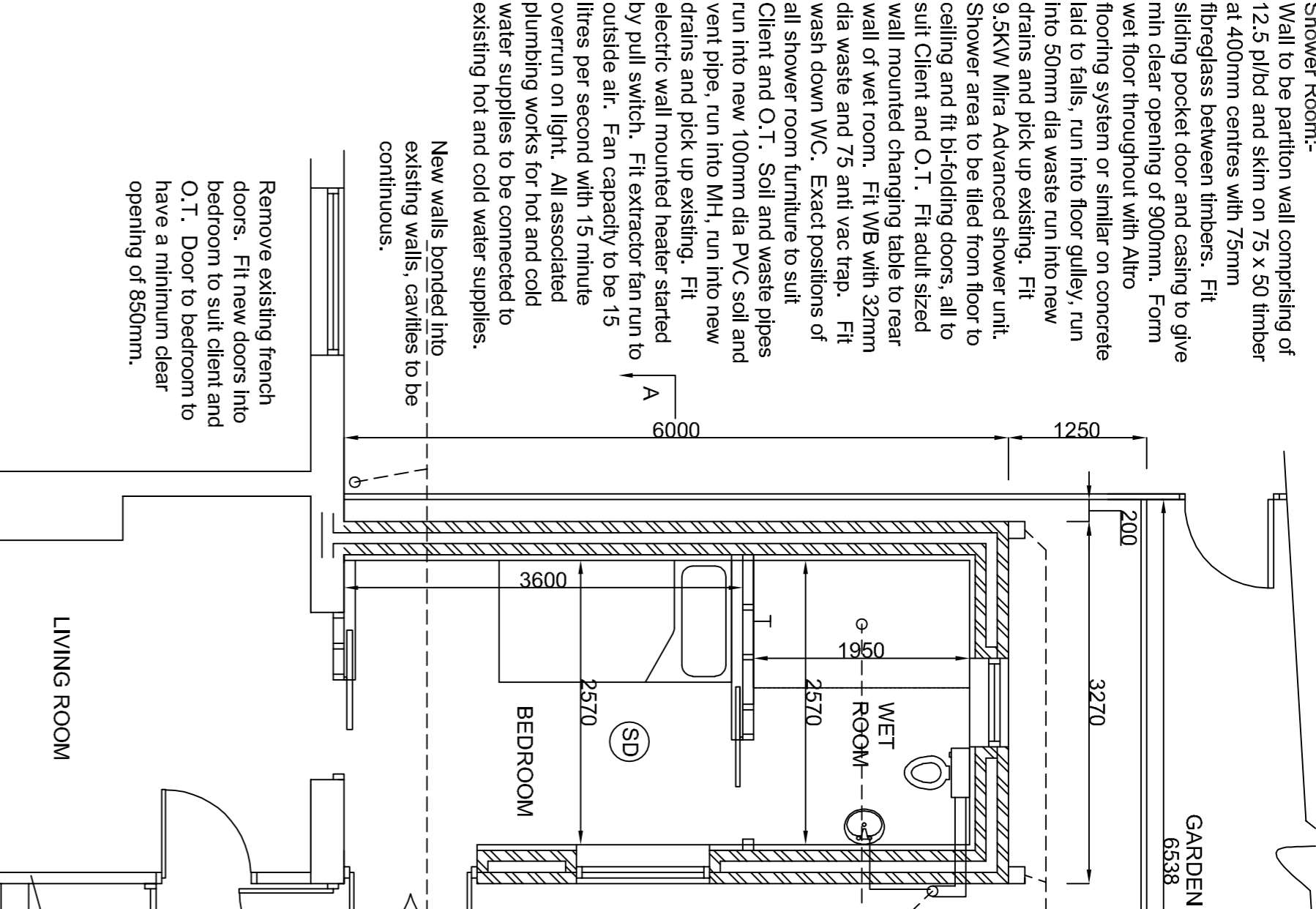


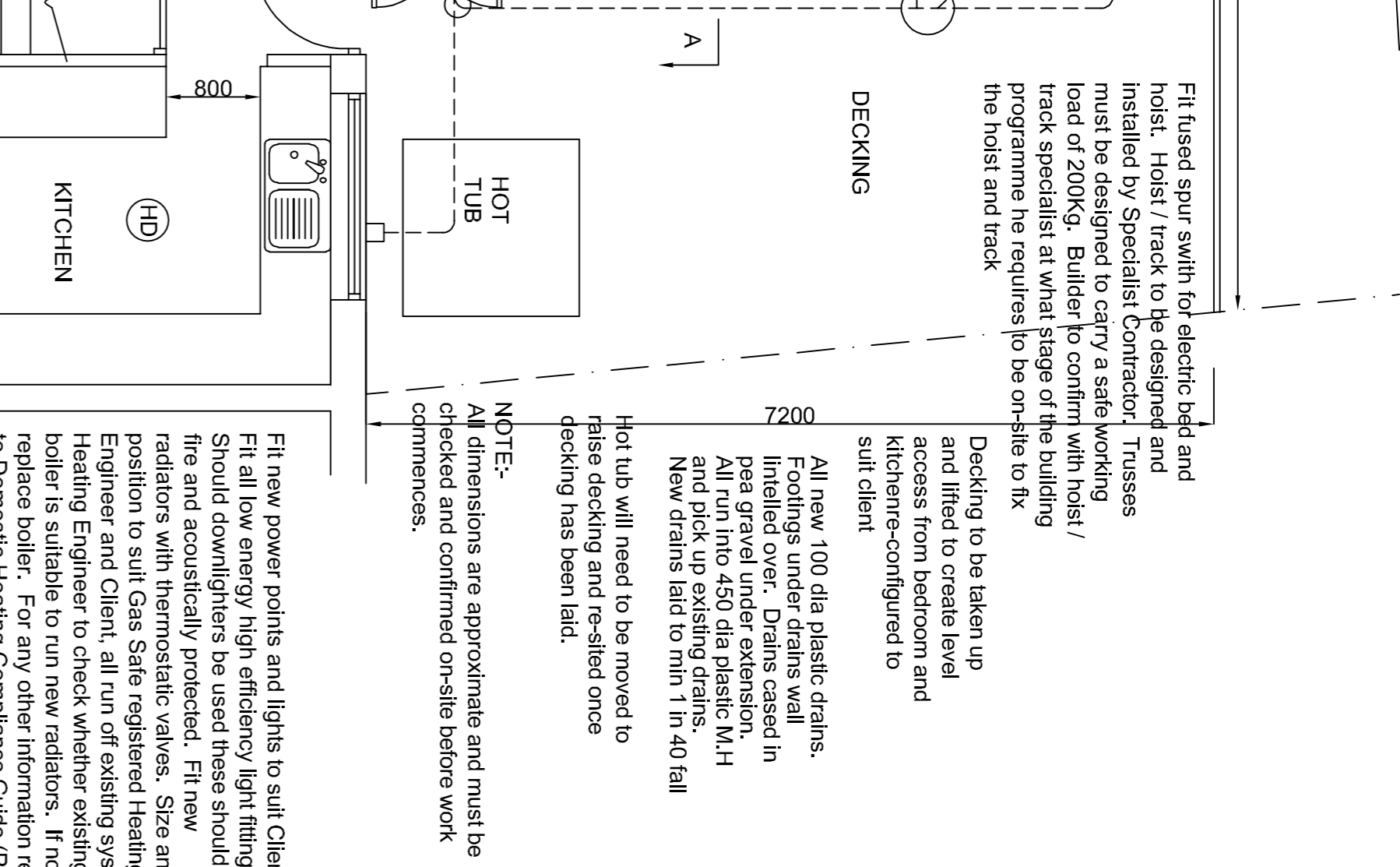
EXISTING GROUND FLOOR PLAN
SCALE 1:100



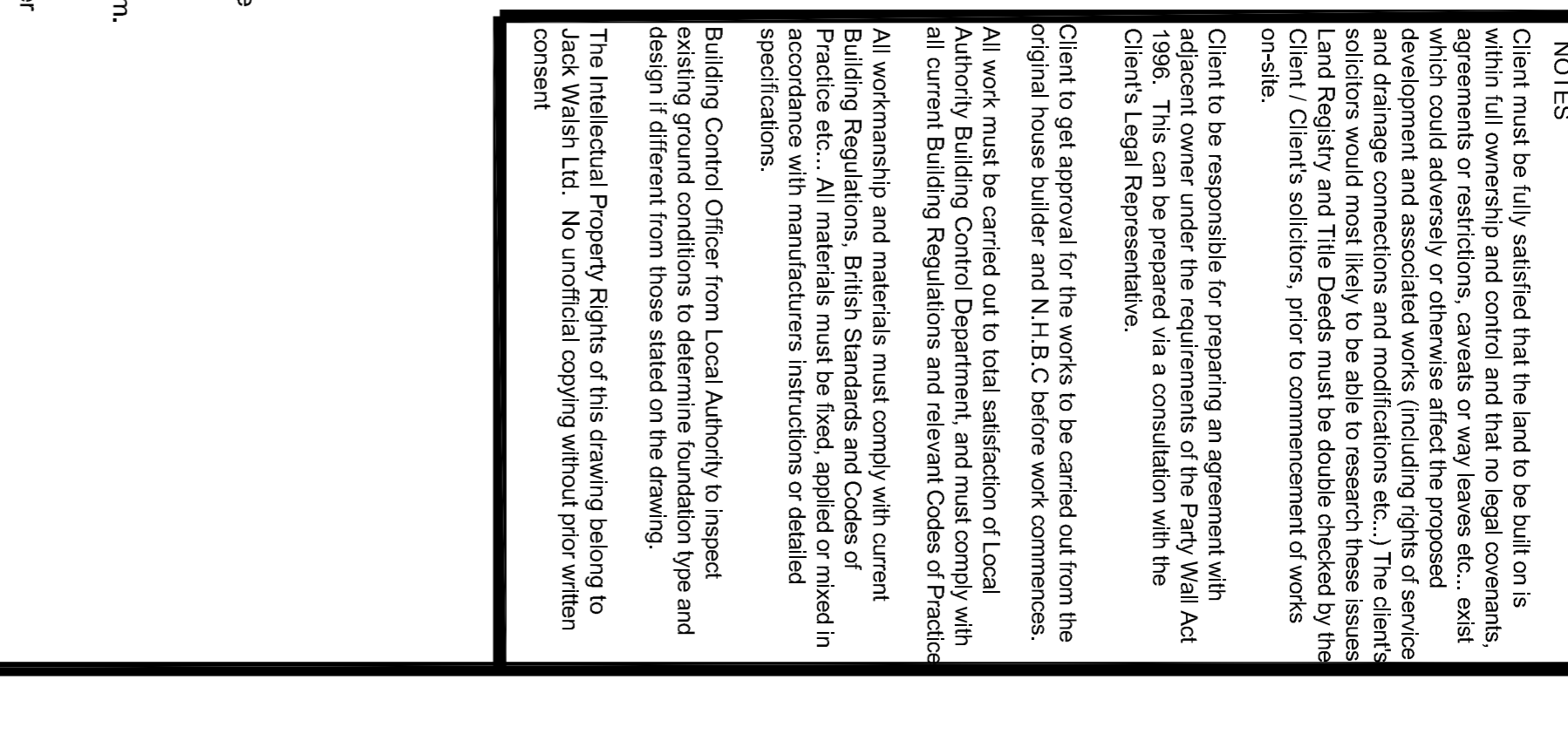
EXISTING REAR ELEVATION
(Roof over hot tub and seating area removed for clarity)
SCALE 1:100



EXISTING SIDE ELEVATION
(Roof over hot tub removed for clarity)
SCALE 1:100



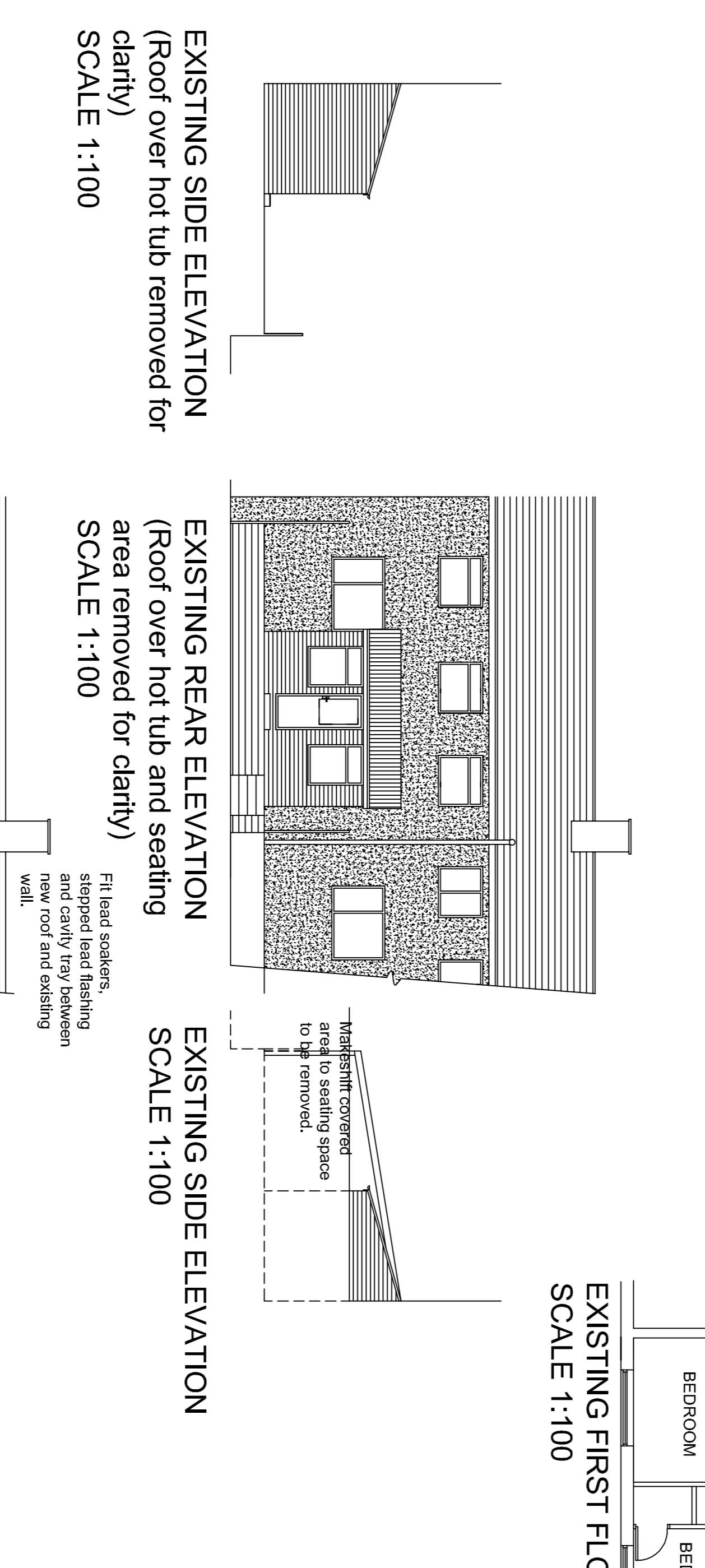
EXISTING SIDE ELEVATION
(Handrail to raised decked area omitted for clarity)
SCALE 1:100



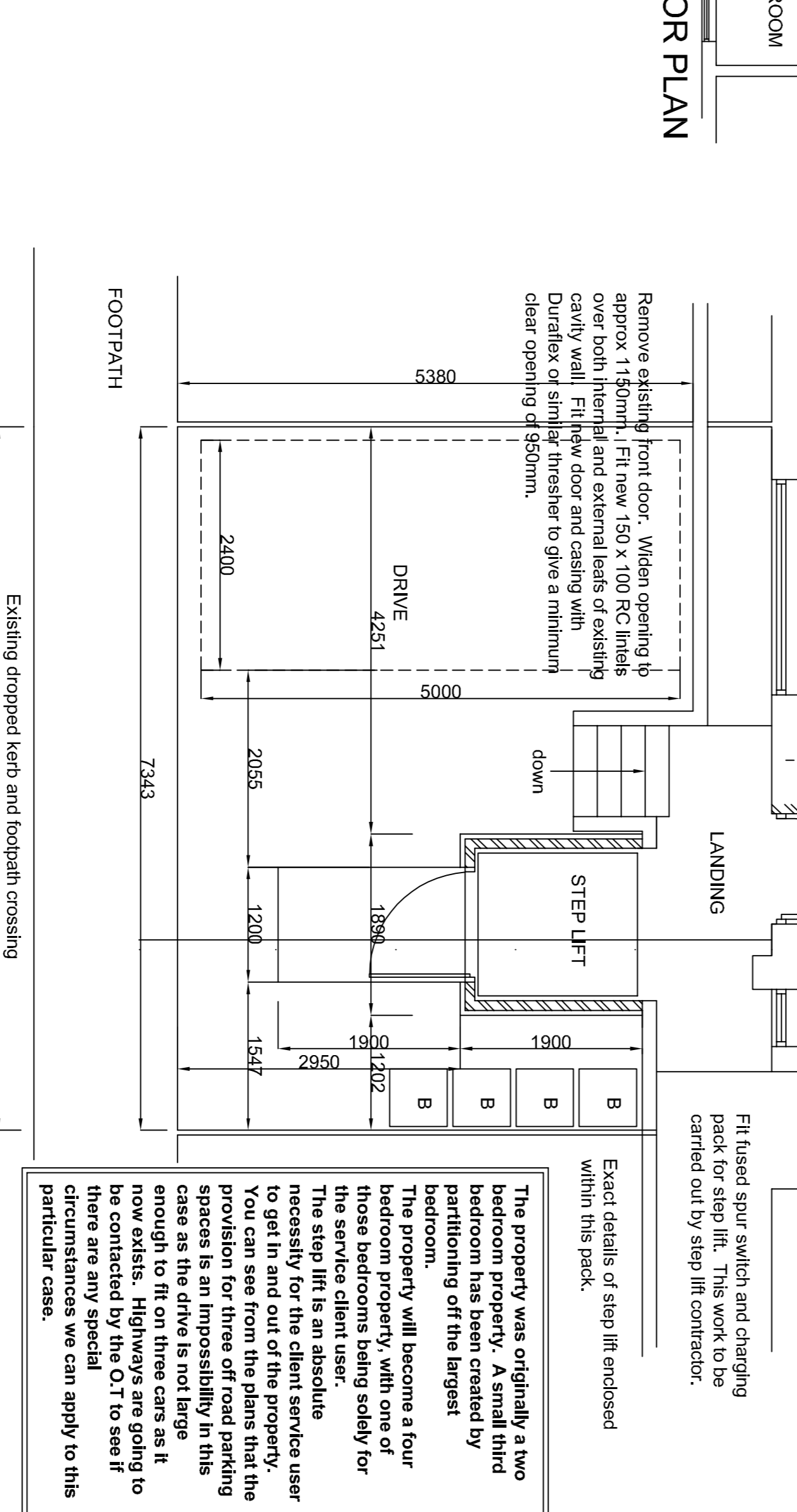
PROPOSED SECTION A-A
SCALE 1:50



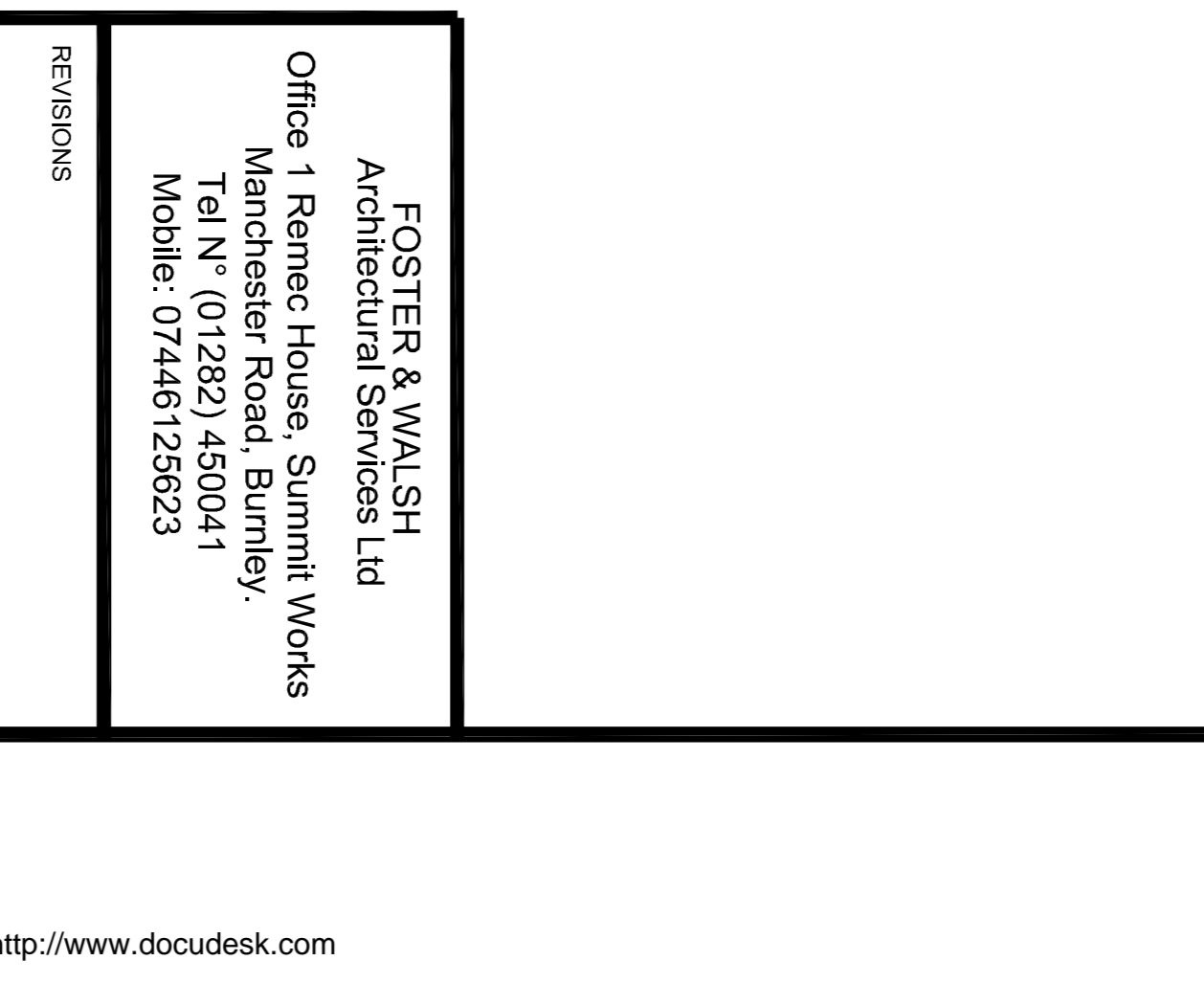
EXISTING FIRST FLOOR PLAN
SCALE 1:100



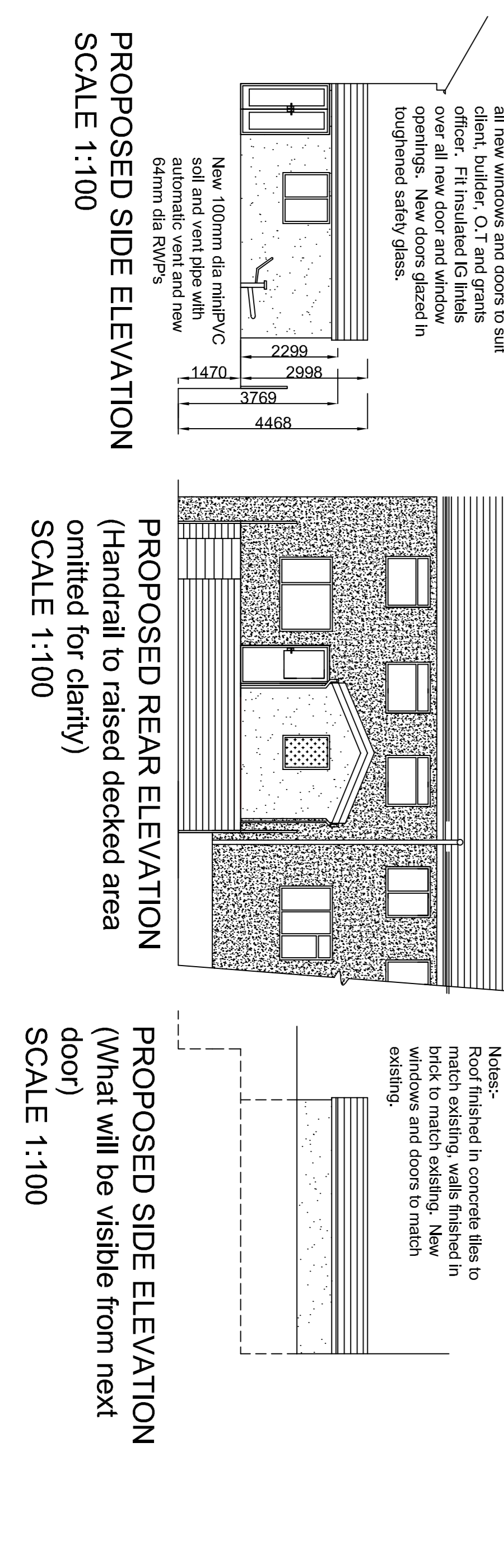
PROPOSED GROUND FLOOR PLAN
SCALE 1:50



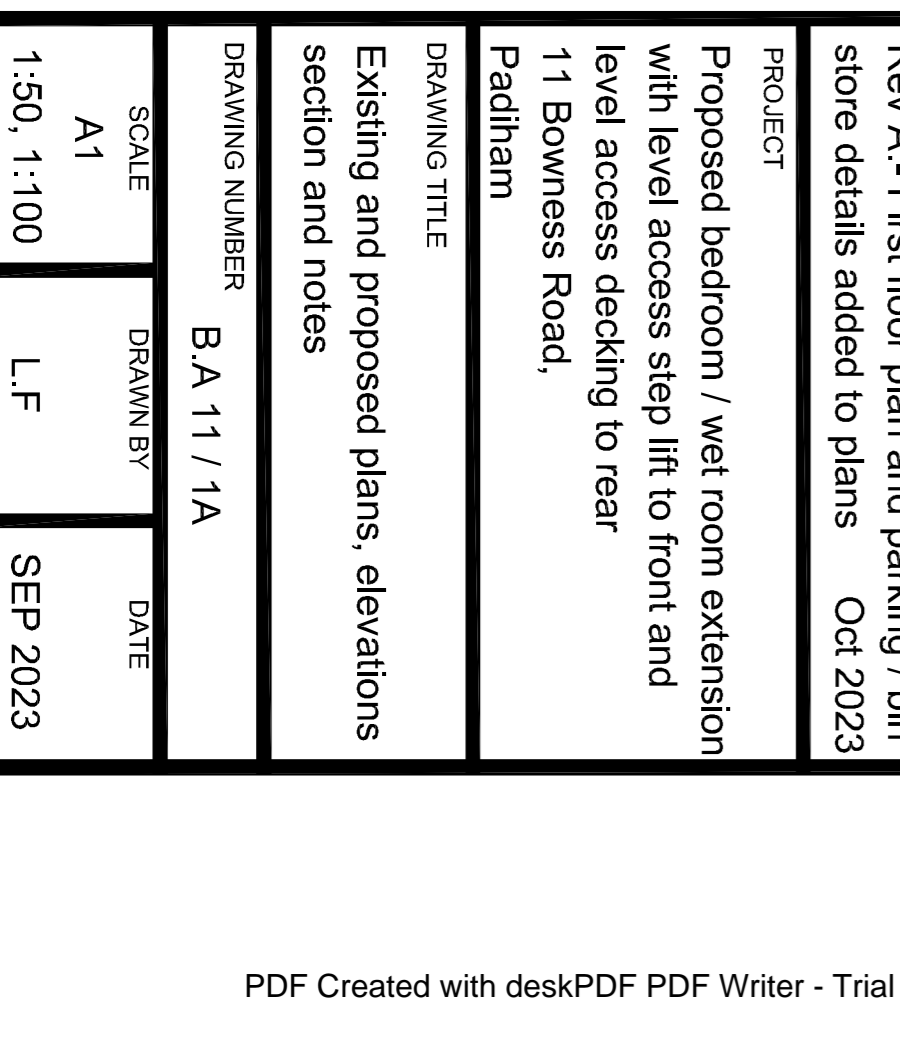
PROPOSED SIDE ELEVATION
SCALE 1:100



PROPOSED REAR ELEVATION
(Handrail to raised decked area omitted for clarity)
SCALE 1:100



PROPOSED SIDE ELEVATION
(What will be visible from next door)
SCALE 1:100



PROPOSED FIRST FLOOR PLAN
SCALE 1:100

NOTES

Client must be fully satisfied that the land to be built on is within full ownership and control and that no legal covenants, agreements or restrictions, easements or way leaves etc., exist which could adversely or otherwise affect the proposed development and associated works (including rights of service and drainage connections and modifications etc...). The client's solicitors would most likely be able to research these issues. Land Registry and Title Deeds must be double checked by the Client / Client's solicitors, prior to commencement of works on-site.

Client to be responsible for preparing an agreement with adjacent owner under the requirements of the Party Wall Act 1996. This can be prepared via a consultation with the Client's Legal Representative.

Client to get approval for the works to be carried out from the original house builder and N.H.S.C before work commences.

All work must be carried out to total satisfaction of Local Authority Building Control Department, and must comply with all current Building Regulations and relevant Codes of Practice.

All workmanship and materials must comply with current Building Regulations, British Standards and Codes of Practice etc... All materials must be fixed, applied or fixed in accordance with manufacturers instructions or detailed specifications.

Building Control Officer from Local Authority to inspect existing ground conditions to determine foundation type and design if different from those stated on the drawing.

The Intellectual Property Rights of this drawing belong to Jack Walsh Ltd. No unofficial copying without prior written consent.

Fit fused spur switch for electric bed and host. Host / track to be designed and installed by Specialist Contractor. Trusses must be designed to carry a safe working load of 200kg. Builder to confirm with track specialist at what stage of the building programme he requires to be on-site to fix the host and track

Decking to be taken up and filled to create level access from bedroom and kitchen - confirmed to suit client

All new 100 dia plastic drains. Footings under drains wall installed over. Drains cased in pea gravel under extension. All run into 450 dia plastic M.H and pick up existing drains. New drains laid to min 1 in 40 fall

Hot tub will need to be moved to raise decking and re-sited once decking has been laid.

NOTE:- All dimensions are approximate and must be checked and confirmed on-site before work commences.

Remove vesitable door and cut out wall. Fit 150 x 100 RC lintel over and make good where required. Form new vesitable door and casing using partition work. Door to have min clear opening of 900mm.

Remove existing french doors. Fit new doors into bedroom to suit client and O.T. Door to bedroom to have a minimum clear opening of 850mm.

New walls bonded into existing walls, cavities to be continuous.

Shower room:- Wall to be partition wall comprising of 12.5 plibd and skim on 75 x 50 timber at 400mm centres with 75mm fibreglass between timbers. Fit sliding pocket door and casing to give min clear opening of 900mm. Form wet floor throughout with Altro flooring system or similar on concrete laid to falls. run into floor gully, run into 50mm dia waste run into new drains and pick up existing. Fit 9.5KW Mira Advanced shower unit. Shower area to be lifted from floor to ceiling and fit bi-folding doors, all to suit Client and O.T. Fit adult sized wall mounted changing table to rear wall of wet room. Fit W.B with 32mm dia waste and 75 anti vac trap. Fit wash down W.C. Exact positions of all shower room furniture to suit Client and O.T. Soil and waste pipes run into new 100mm dia PVC soil and vent pipe, run into W.H, run into new electric wall mounted heater started by pull switch. Fit extractor fan run to outside air. Fan capacity to be 15 litres per second with 15 minute overrun on light. All associated plumbing works for hot and cold water supplies to be connected to existing hot and cold water supplies.

Fit new power points and lights to suit Client. Fit all low energy high efficiency light fittings. Should downlighters be used these should be fire and acoustically protected. Fit new radiators with thermostatic valves. Size and position to suit Gas Safe registered Heating Engineer and Client, all run off existing system. Heating Engineer to check whether existing boiler is suitable to run new radiators. If not replace boiler. For any other information refer to Domestic Heating Compliance Guide (Par 35/39 Inc.)

Fit new smoke detection at first floor landing if not already present

Fit fused spur switch and charging pack for step lift. This work to be carried out by step lift contractor.

Exact details of step lift enclosed within this pack.

The property was originally a two bedroom property. A small third partitioning off the largest bedroom. The property will become a four bedroom property, with one of those bedrooms being solely for the service client user. The step lift is an absolute necessity for the client service user to get in and out of the property. You can see from the plans that the provision for three off road parking spaces is an impossibility in this case as the drive is not large enough to fit on three cars as it now exists. Highways are going to be contacted by the O.T to see if there are any special circumstances we can apply to this particular case.

Notes:-
Wallplates strapped down with 30 x 5 m.s galvanized bent straps at 1200mm centres. Vertical leg of strap fixed to wall with M8 screws and plugs. Rafter and trusses fixed securely to wallplates.
Fit 30 x 3 m.s galvanized bent straps at 1200mm centres to either rafters or trusses and floor joists, minimum 4N° with noggin between and up to gable wall. Vertical leg of strap fixed to wall with M8 screws and plugs.
Fit cavity trays with weepholes over external openings.
Fit vertical and horizontal insulated DPC's to external openings.
Close cavities with brick on edge.
All new windows and rooflights to have a U-Value of 1.4W/m²K. Argon filled and to be double glazed with minimum 16mm gap, glazed with Pilkington K glass. Fit O.L's 1/20th floor area. All windows, doors and glazed partitions to be glazed in toughened safety glass as shown in Approved Document K.
Cavity ties to wall to be 6's double triangle suitable for 110mm cavity with min 50mm embedment to each leaf. Maximum 750mm horizontal centres and maximum 450mm vertical centres, maximum 300mm vertical centres at reveals.
All electrical work must be designed, installed, inspected and tested by a qualified electrician, qualified up to City and Guilds 2391 (18th Edition). An electrical installation certificate will be required.
(SD) denotes smoke detector wired to mains with battery backup. All smoke detectors to be interconnected.
(HD) denotes heat detector wired to mains with battery backup and interconnected to smoke detectors. Heat detector located remote to any heat source.
(FD) denotes half floor self closing fire door and casing with intumescent strips.
Building Inspector will require types of fans and locations in walls and ceilings to accord Approved Document Part F (2021 Edition).
Steel beams and angles to be cased in 2 layers 12.5 Gyproc. Fritlane board and skim.

Notes:-
Roof finished in concrete tiles to match existing walls finished in brick to match existing. New windows and doors to match existing.

Notes:-
Roof finished in concrete tiles to match existing walls finished in brick to match existing. New windows and doors to match existing.

Notes:-
Roof finished in concrete tiles to match existing walls finished in brick to match existing. New windows and doors to match existing.

Notes:-
Roof finished in concrete tiles to match existing walls finished in brick to match existing. New windows and doors to match existing.