

Proposed Works to 27 Pinewood Road  
Hordle, Hampshire, SO41 0GN



Planning-Application Statement  
October 2023



## Proposed Works to 27 Pinewood Road



Ariel view of the site location-copyright Google

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## Proposed Works to 27 Pinewood Road

### 1.0 Background

#### 1.1 Summary

The property is located on the West side of Pinewood Road in the Built up area of Hordle. The property is neither Listed nor is it identified as a Key/Important Unlisted Building. The house is a bungalow designed using vernacular forms comprising facing brickwork, areas of timber cladding and a pitched roof finished with concrete tiles. The original windows have been replaced with white uPVC windows/doors and the rainwater goods are black. It is expected that the original cottage was built some time in the mid to later part of the twentieth century. The house occupies a reasonable size plot accessed from Pinewood Road where the entrance of the house is located. The property has been well maintained with various internal alterations and modifications. The front of the property has been sensitively landscaped with a combination of hard surfaces and planting. There is a paved driveway shared with the neighbouring house.

The character of the road has changed since the original construction and there have been alterations to many of the properties. The applicant wishes to improve the front of the house generating incremental improvements to the Entrance Hall and the Living Room. The changes proposed will allow the creation of more space to improve the Entrance Hall together including more storage space. The addition of the bay window to the Living Room will provide a small improvement to the internal space but allow more daylight into the Living Room. While the works proposed involve the remodelling of the exterior, this submission describes the sympathetic changes proposed that will improve the character of the property and enhance its setting in the Built up area. These changes are restricted to the front of the property and will not cause any material harm to neighbours.



Fig 3-View of East Elevation



Fig 4-View towards garage



Fig 1-East Elevation seen from Pinewood Road



Fig 2-East Elevation from North



Fig 5-Detailed view of gable wall



# Fitzgerald architecture

## Proposed Works to 27 Pinewood Road

### 1.2 Characteristics of Surrounding Area

The character of the road includes bungalows and two storey properties in different parts of the road. Since the original development was constructed the pattern of development has changed to include the alteration of many of the properties. Many of the largely gable fronted bungalows have been modified to incorporate various permutations of extension around the entrance to these homes. In addition, there is a pattern of change to other properties that have been modified using gable fronted extensions. This can be seen in a selection of images illustrated by the figures on this page.

The adjacent neighbours have undertaken alterations to the front gable of these dwellings. Following planning consent, 25 Pinewood Road has extended around 3m towards Pinewood Road from the gable front of this property. This is substantially further than is being proposed in this submission.

The changes proposed will neither have a material impact on the street scene nor harm the neighbouring properties because the proposals are consistent with how other properties within the existing street scene have been changed, projecting less distance than precedents from neighbouring properties.



Fig 8-View along Pinewood Road towards the North



Fig 9-Alterations to neighbouring properties



Fig 10-Alteration to neighbouring property



Fig 11-Two storey properties at South of Pinewood Road



Fig 6-View from East of Pinewood Road



Fig 7-Alterations to neighbouring properties



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## 2.0 Planning Issues

### 2.1 Planning Policy

Development Plan Designation-Built up area

Principal Development Plan Policies-Local Plan 2016-2036 part 1: Planning Strategy-Policy ENV3: Design quality and local distinctiveness  
National Planning Policy Framework-NPPF Ch. 12 - Achieving well designed places.

Relevant Supplementary Planning Guidance and Documents-SPD-Hordle Village Design Statement

### 2.2 Previous Planning History

N/A

### 2.3 Planning Issues-Summary

The property is a link bungalow constructed in the twentieth Century that has already been modified internally. It is neither Listed nor identified as being important by the Council. The house occupies a reasonable sized plot with hard and soft landscape at the East along the boundary with Pinewood Road used for at grade parking. It is mostly screened from view along the boundary with 25 Pinewood Road. The applicant proposes to extend the entrance, together with the creation of a replacement bay window and some minor alteration of the internal layout. The forms created will be subservient to the architectural character of the existing dwelling. While the public will be able to experience the proposed changes, with the modifications located alongside the existing boundary screening and with the neighbouring property already extended beyond the extension proposed in this application, they will not be affected by the proposed changes.

The rationalisation of the use of the accommodation drives the minor alterations to the layout. While the changes proposed will moderately increase the footprint of the existing property the modifications sought are consistent with the types of changes that are now commonplace in this road. This submission makes proposals for sustainable development using materials and designing to a high quality. The sensitive design of the proposals will not have an adverse impact on character of the area, the amenity of neighbours or the biodiversity/ecology of the natural environment.



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3.0 Current Proposals

3.1 Design Brief

The front door has been recently replaced and it is proposed that it will be recycled into the proposed new works. The remodelling proposals for the exterior are intended to transform the outside of the house in a sustainable way achieving a contemporary appearance. While largely retaining the existing structural openings the refurbishment will facilitate improvement to thermal properties of the external walls, improve access to natural light for the Living Room and provide small but important improvements to the availability of storage space.

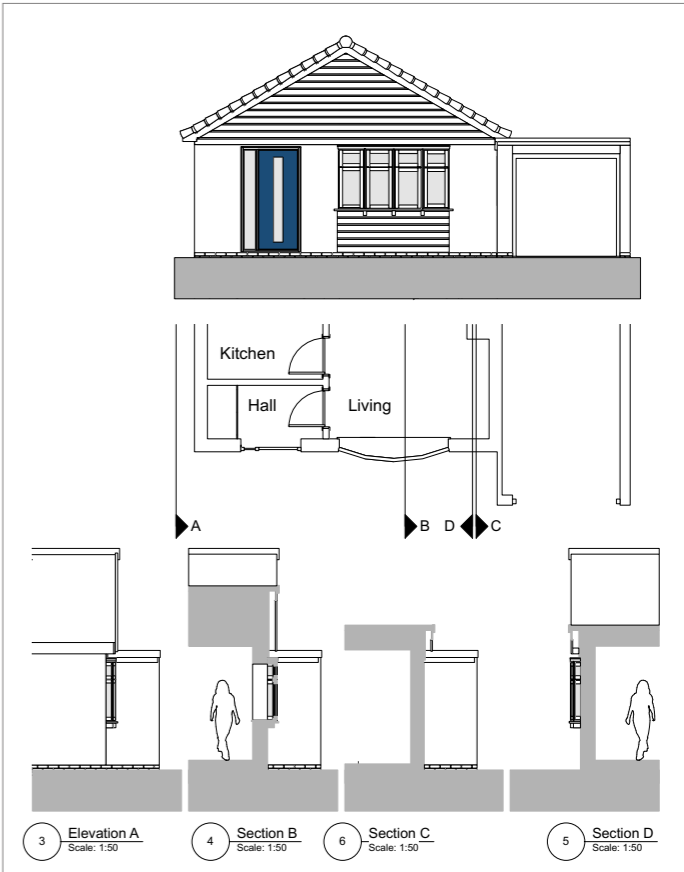


Fig 14-Sections-Existing



Fig 12-Plan/Elevation-Existing

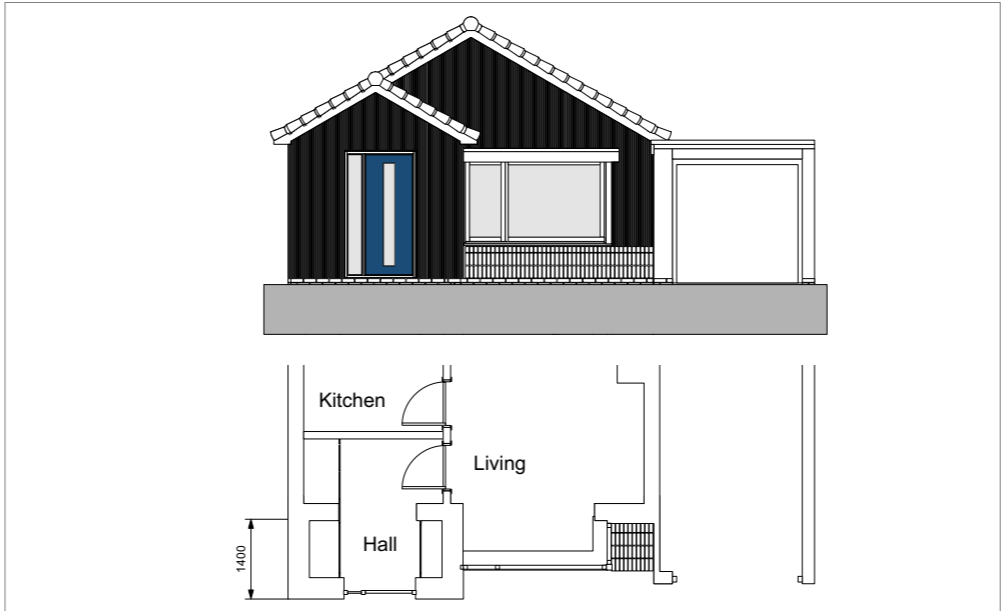


Fig 13-Plan/Elevation-Proposed

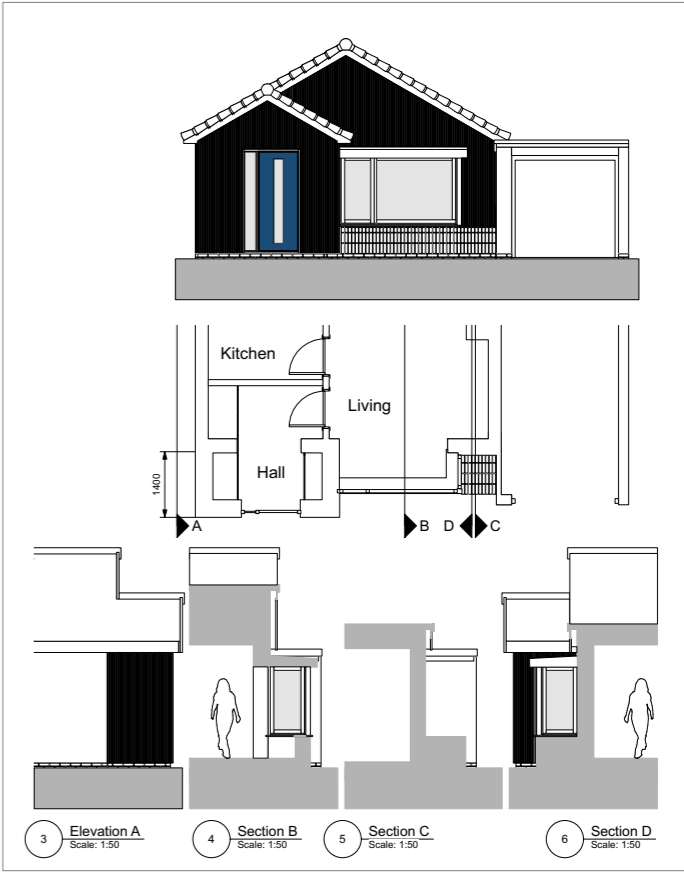


Fig 15-Sections-Proposed



Proposed Works to 27 Pinewood Road

3.2 Approach to Design-Context

The isometric view in Fig. 18 explains how the extensions proposed progressively expand the original bungalow to the East. Two extensions-a gable fronted projection enlarges the main entrance and the flat roofed bay window increases the size of the Living Room. Supporting the bay window on a new brickwork base provides the opportunity to match the retained brickwork of the garage and the main brick envelope of the bungalow. Recognising that achieving an exact match of the existing brick may not be easy, it is proposed that a similar colour and texture brick will be used to complement the original brickwork rotating the bonding to form a feature plinth. It is expected that this will accommodate the possibility that there may be some variation between the new and old materials. The drawings illustrate the use of a simple and limited pallet of materials that will both relate to the existing materials and incorporate new cladding to unify the facade. The changes at the front of the property are readily seen as subservient and contemporary additions applied to the original brick box of the bungalow.

The proposed design changes are driven by the combination of remedial works to resolve the performance of the external envelop, the opportunity to introduce more daylight and improve the entrance experience to the house. This allows remodelling of the front of the bungalow using a more contemporary language.

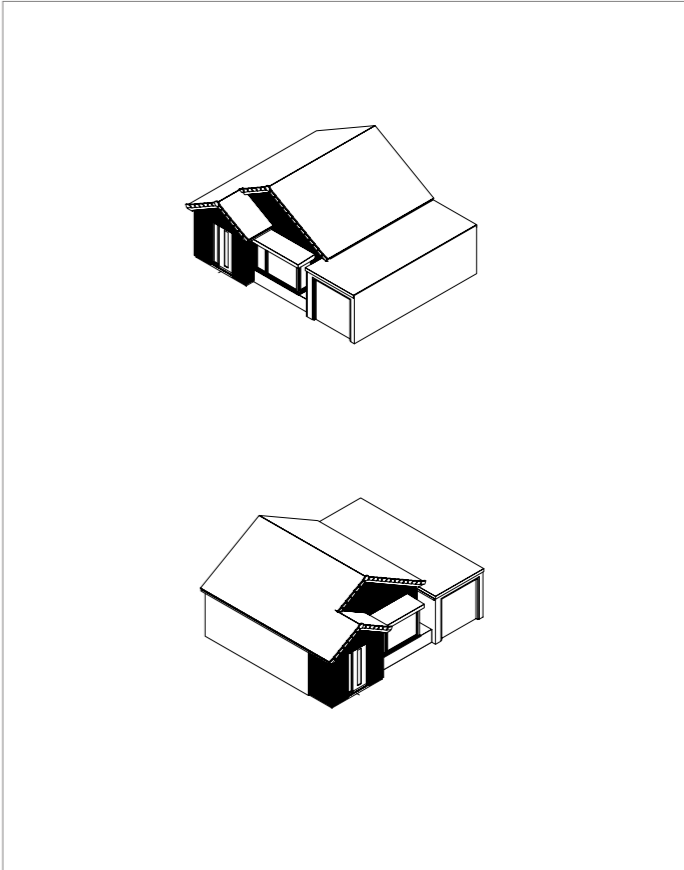


Fig 18-Isometric Views-Proposed



Fig 16-Perspective view from West-Existing

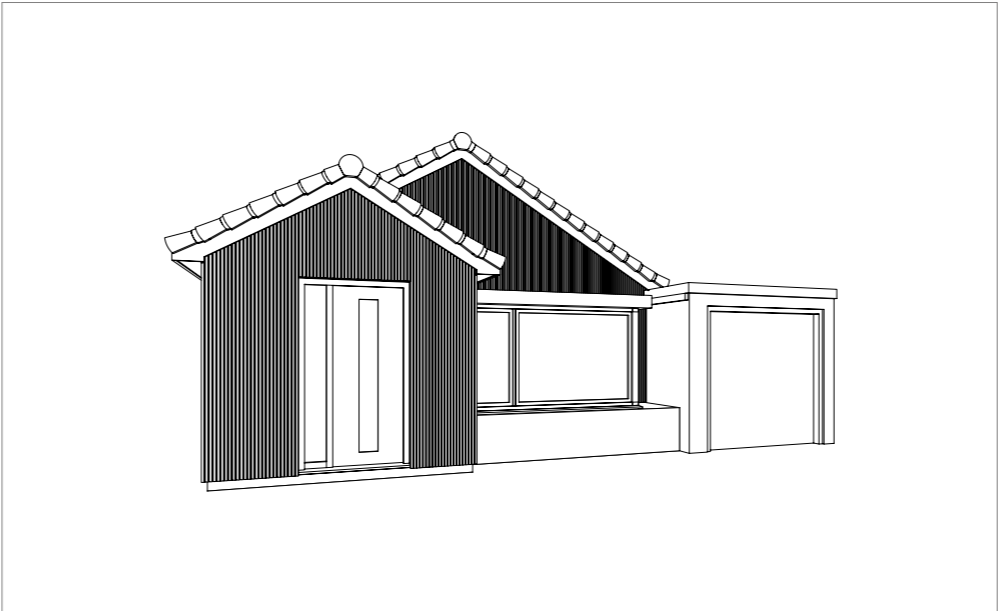


Fig 17-Perspective view from West-Proposed

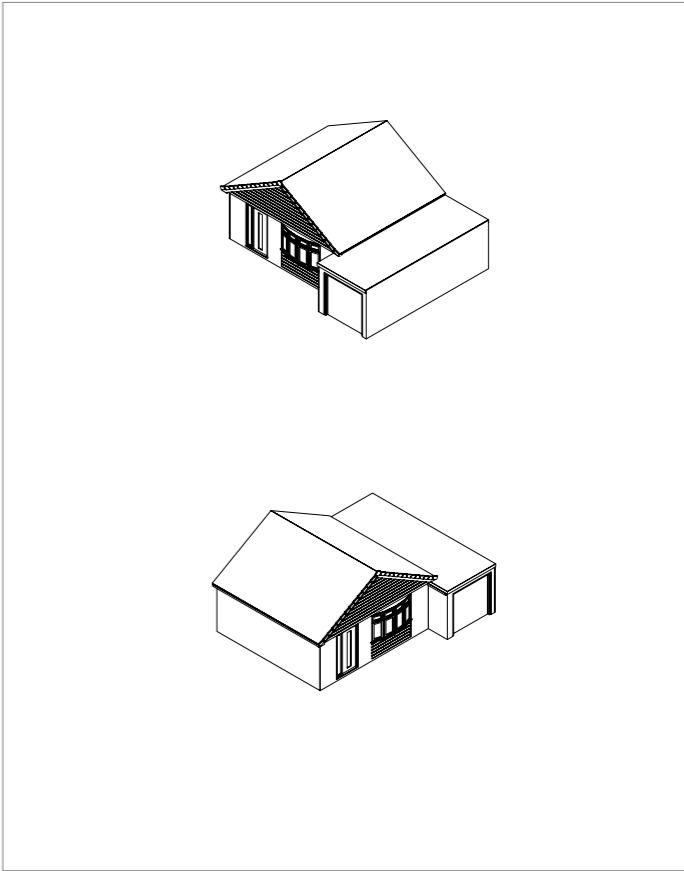


Fig 19-Isometric Views-Existing



## Proposed Works to 27 Pinewood Road

### 3.3 Approach to Materials

The clean lines of the remodelled facade will be defined by the contrast between the composite cladding, the new brickwork plinth and the proposed bay window. The materials are illustrated below.



Fig 22-Bay Window ( White Framing)



Fig 23-Feature soldier brickwork ( colour to match existing)



Fig 24-Recycle existing door



Fig 20-Detail view of composite cladding



Fig 21-Composite Cladding (Light Timber colour)





## Proposed Works to 27 Pinewood Road

### 4.0 Other Issues

#### 4.1 Sustainability

It is proposed that the remodelling of the front elevation together with the introduction of a small extension will permit the construction of new walls and the upgrading of other parts of the existing envelope to thermal values equivalent to contemporary standards. Replacing the bay windows with better performing glazing will be beneficial however, it is recognised that the (albeit better performing) windows will generate additional areas of glazing. This will be offset against the improved thermal performance of the envelope.

A sustainable form of cladding is proposed to be used that replicates natural timber cladding incorporating the use of reclaimed wood fibres and recycled plastic materials that is long lasting and low maintenance.

Where possible existing fabric will be re-used (door set/gable structure retained) and new products will be ethically sourced from sustainable sources.

#### 4.2 Access, Parking & Cycle storage

The proposals will not change the requirements for access, car parking and cycle storage that are already in place.

#### 4.3 Refuse

The proposals will not affect current arrangements for refuse.

#### 4.4 Drainage

The disposal of the surface water will remain similar to existing and so it is not expected that new soak-ways will be constructed. Where changes to the surface water drainage become necessary they will be designed in accordance with BS EN 752-4 and Part H of the building regulations.

#### 4.5 Biodiversity

It is not expected that the works will give rise to any conflicts with biodiversity and a Biodiversity Checklist accompanies this application. The site is not in close proximity to Protected Areas and so the proposals will not result in any harm. From inspection of the eaves for the existing property the fascias and soffit boards are sealed and visual inspection of the interior of the existing roof does not suggest the presence of protected species. Taking these issues into consideration we believe that the property has a low/negligible potential for roosting bats.

#### 4.6 Flood Protection

The site location is not close to significant watercourses that are likely to be an issue for flooding. Initial research via the Environment Agency website indicates that for planning purposes the site is in a flood zone 1-Fig 27. As the site is considered a low risk of flooding it does not require a flood risk assessment for planning purposes. No special measures to accommodate flooding are required to be undertaken for the changes that are currently being proposed for the property.



Fig 25-Eaves including closed boarding



Fig 26-Sustainable composite cladding

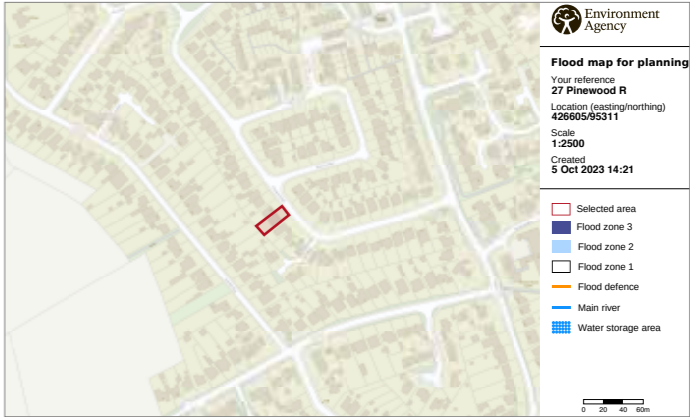


Fig 27-Flood map for planning