

Our reference: 230259

New Forest District Council,
Planning Registration,
Appletree Court,
Lyndhurst,
SO43 7PA

Heritage Design & Access Statement
Mr & Mrs Wakefield
Barn Cottage,
Hordle Lane,
Downton,
Lymington
SO41 0LF



Barn Cottage viewed from Hordle Lane



Introduction:

This Heritage, design and access statement has been prepared in support of the planning application for the construction of a detached oak framed 2 bay garage at Barn Cottage, Hordle Lane, Downton, Lymington, Hampshire, SO41 0LF.

The Property is situated within the parish of Hordle, in the New Forest National Park.

Barn Cottage is a Grade II listed thatched cottage, sitting in an area of land of approximately 1/3rd of a hectare. The property was first listed on the 18th July 1972. The list entry number for Barn Cottage is 1221325.

Guidance for heritage, design and access statements emphasises the need for documents to be significant in length and information. The nature of the property, which encompasses several elements with different features, and the proposed works have determined the length of this document.

Property History:

In 1972, Barn Cottage was extended on the southern side with a series of single-storey extensions, comprising flat and shallow monopitched roof forms. These provide the larger part of the current accommodation of the dwelling, with there being just two small bedrooms and a bathroom in the upper part of the thatched cottage.

In June 1973 the neighboring tithe barn, attached to the Northern side of Barn Cottage, was destroyed in a fire. This fire destroyed much of the top half of Barn Cottage. Barn Cottage was then altered with a new cavity wall built along the boundary, and the chimney on the boundary was demolished. In 1975 the tithe barn (now known as The Barn) was replaced by a large chalet style two storey dwelling. Barn Cottage and The Barn are now connected by a single storey flat roof link, constructed in brickwork.

In July 2005 planning permission and listed building consent was granted for improvements, including a substantial extension of the cottage. However, this permission was not implemented, and the cottage has remained unaltered apart from a series of improvements and essential maintenance to the fabric of the building.

In 2018, planning permission was sought for extensions to the southern side of the property. This had similar elements to the 2005 permission. This application was refused, on the basis

that the extension was excessive and disproportionate to the traditional proportions of the thatched cottage.

In 2019 planning permission and listed building consent was sought for, and granted in 2020, for the renovation, extension and re-roofing of the modern (1972) part of the cottage. Those works were undertaken and completed in 2021.



Boundary of the Property – Barn Cottage

Planning History Obtained from The Planning Portal:

Renovation & single-storey side and rear extensions; (Application for Listed Building Consent)

Ref. No: 05/84829 | Status: Decided

Decision: Granted Subject to Conditions

Decision Issued Date: Mon 04 Jul 2005



Renovation of single-storey side and rear extensions

Ref. No: 05/84833 | Status: Decided
Decision: Granted Subject to Conditions
Decision Issued Date: Mon 04 Jul 2005

Single-storey rear extension; single-storey link extension; rooflights; cladding

Ref. No: 18/10553 | Status: Decided
Decision: Refused
Decision Issued Date: Thu 14 Jun 2018

Single-storey rear extension; single-storey link extension; roof lights; cladding (Application for Listed Building Consent)

Ref. No: 18/10554 | Status: Decided
Decision: Refused
Decision Issued Date: Thu 14 Jun 2018

Single-storey rear extension; single-storey link extension; rooflights; cladding; detached double garage

Ref. No: 18/11457 | Status: Decided
Decision: Refused
Decision Issued Date: Fri 04 Jan 2019

Single-storey rear extension; single-storey link extension; rooflights; cladding; detached double garage (Application for Listed Building Consent)

Ref. No: 18/11458 | Status: Decided
Decision: Refused
Decision Issued Date: Fri 04 Jan 2019

Extension and re-roofing of existing Living Room; Raising and re-roofing of existing flat roof areas over existing kitchen & dining room; fenestration alterations; Rooflights; Flue; Enclosing of small roofed area to form corridor.

Ref. No: 19/11383 | Status: Decided
Decision: Granted Subject to Conditions
Decision Issued Date: Mon 23 Dec 2019



Extension and re-roofing of existing Living Room; Raising and re-roofing of existing flat roof areas over existing kitchen & dining room; fenestration alterations; Rooflights; Flue; Enclosing of small roofed area to form corridor and creation of internal door (Application for Listed Building Consent)

Ref. No: 19/11384 | Status: Decided
Decision: Granted Subject to Conditions
Decision Issued Date: Mon 23 Dec 2019

Timber fence to fill gap in boundary
Ref. No: 19/11420 | Status: Decided

Decision: Granted Subject to Conditions
Decision Issued Date: Fri 10 Jan 2020

Listed Status Obtained from Historic England:

Official list entry

Heritage Category: Listed Building
Grade: II
List Entry Number: 1221325
Date first listed: 18-Jul-1972
List Entry Name: BARN COTTAGE
Statutory Address 1: BARN COTTAGE, HORDLE LANE

Location

Statutory Address: BARN COTTAGE, HORDLE LANE
The building or site itself may lie within the boundary of more than one authority.
County: Hampshire
District: New Forest (District Authority)
Parish: Hordle
National Grid Reference: SZ2692793560

Details

1. 5235 SZ 29 SE 10/139 18.7.72

HORDLE LANE (West Side) DOWNTON Barn Cottage



II GV

2. (Formerly thought to have been the Parsons' Cottage with attached Tithe Barn but fire June 1973 gutted 'The Barn'). Late mediaeval. Timber framed with red brick infill. Thatched roof, 1½ storeys. Tipper windows sashes with late C19 glazing, lower windows, early C19 casements with glazing bars.

The Barn Cottage forms a group with the Royal Gate Public House and the Forge and Jacks cottage, Lymington Road (buildings of local interest)

Listing NGR: SZ2692793560

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number: 413114

Legacy System: LBS

Legal

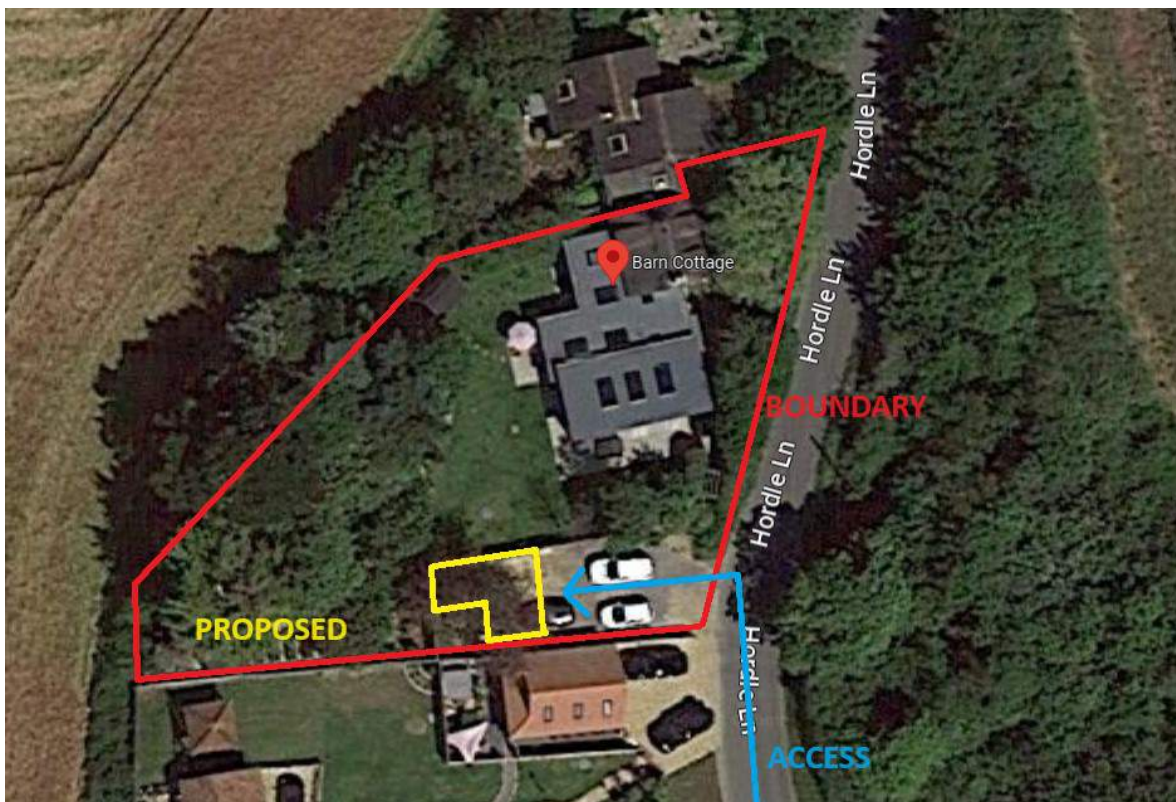
This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Information From Historic England Official List Entry

Listing National Grid Reference: SZ2692793560

2 Bay Garage Proposal:

This Proposal is for the construction of a single storey detached green oak framed 2 bay garage. The purpose of the garage is to provide the applicant with secure undercover parking for cars. The proposed garage and its materials have been selected to be sympathetic to the existing property and surrounding area. This proposal is sympathetic in that it would mirror the style of the renovated modern part of the cottage for which works were undertaken and completed in 2021, by having a mono-pitched roof and using the same cladding as that modern part, thus maintaining the distinction between the 1600's thatched element of the home, and at the same time use traditional materials. Further the proposed garage would 'wrap around' a large tree situated on the driveway which the owners are keen that remain in place.



Google Maps Photo of curtilage outline and approximate proposal location, with access from Hordle Lane.



Design Statement:

The design feature of the patented jointing system developed by Oakcraft allows the overall height of the building to be kept to a minimum.

The choice of traditional oak framed construction was decided upon because of:

- the natural beauty of the traditional oak
- the maximising of the bay width possible with an oak frame
- the lack of maintenance required for oak compared with other methods of construction
- the oak used by Oakcraft at Holmsley Mill is part of the sustainable forestry scheme. As such the choice of this form of construction is more in harmony with the environment than the more common forms of brick and cement construction

Schedule Of Works (all to comply with building regs):

The following descriptions relate to the works detailed on drawings PLA001, and PLA002.

Proposed materials are to be as follows:

Brick Plinth to be constructed using materials aesthetically similar to that used on the main property.

Structural frame is to be manufactured from sustainably sourced green oak.

Douglas Fir cladding is to be treated with clear pressure treatment 'Aqua Vacsol'. (Sample available)

Joinery items are to be manufactured from Pine and are to be stained with an oak stain

Cetol WF 9810-46-25

Roof covering is to be Single ply membrane, grey in colour.

Pictorial Record:



Existing parking area -proposed location for new garage - accessed from Hordle Lane



Other Considerations:

Oakcraft at Holmsley Mill are acting as agents on behalf of the applicant Mr & Mrs Wakefield, and we would ask you to kindly consider the following points:

The function of the proposed outbuilding will be to provide the applicants with secure undercover parking spaces for cars, whilst remaining sympathetic to its immediate environment.

The proposal will not harm any neighbouring amenity or have an adverse effect on neighboring properties or diminish privacy or natural light.

This proposed construction will have a L shaped footprint of approximately 6000mm wide x 5500mm/8000mm deep and with an overall height of approximately 2466mm from finished floor level.

With most of the oak joinery work being carried out off site at our mill in the New Forest the time for site related construction is minimal usually not exceeding 6 weeks from start of groundworks to tiling completion. This includes a period of inactivity on site following the groundwork completion and measurement whilst the oak is being cut.

No changes are proposed to the access points from the property to the highway for pedestrians or vehicles.

Conclusion:

For the reasons set out in this Heritage Design & Access Statement, the proposed oak framed garage will be compatible with the preservation of the listed building. As such, the proposal will comply with policies aimed at conserving and enhancing the historic environment.

If we can provide any further details or material samples, please do not hesitate to contact us.

Yours sincerely

Susan Mulford

Oakcraft