

**Bridesmaid's Cottage,
Halton Grove,
Corbridge**

Heritage Statement

Client: SIMON GLOVER

AB Heritage Project No: 62718

Date: 05/10/2023

Bridesmaid's Cottage, Halton Grove, Corbridge Heritage Statement

Client Simon Glover
Project Number 62718
Prepared By Daniel Dodds
Illustrated By Pighill Illustrations
Approved By Paul Cooke

| Rev Number | Description | Undertaken | Approved | Date |
|------------|-----------------|------------|----------|------------|
| 1 | Draft | DD | PC | 31/08/2023 |
| 2 | Final | DD | PC | 18/09/2023 |
| 3 | Revised Drawing | DD | PC | 05/10/2023 |

This document has been prepared in accordance with AB Heritage standard operating procedures. It remains confidential and the copyright of AB Heritage Limited. Any unauthorised reproduction or usage by any person other than the addressee is strictly prohibited.

Enquiries To:

AB Heritage Limited, North Office (Head Office)

102 Beach Road, South Shields

Tyne and Wear, NE33 2NE

Email: info@abheritage.co.uk

Tel: 03333 440 206



CONTENTS

| | | |
|-----|---|----|
| 1. | Introduction..... | 5 |
| 1.1 | Project Background | 5 |
| 1.2 | Site Location & Description..... | 5 |
| 1.3 | Overview of the Application Works | 5 |
| 1.4 | Planning Background & Consultation | 5 |
| 1.5 | Project Qualifiers | 6 |
| 2. | Aims & Methodology | 7 |
| 2.1 | Aims of Report..... | 7 |
| 2.2 | Methodology | 7 |
| 3. | Planning & Legislative Framework | 11 |
| 3.1 | Heritage Legislation | 11 |
| 3.2 | National Planning Policy Framework 2023 | 11 |
| 3.3 | Local Planning Policy – Northumberland Local Plan 2016 - 2036 | 11 |
| 4. | Heritage Review of the Site | 14 |
| 4.1 | Historic Development of the Site & Surrounding Area | 14 |
| 4.2 | Site Visit..... | 16 |
| 5. | Statement of Significance..... | 22 |
| 5.1 | Focus of Study..... | 22 |
| 5.2 | Former Shildon Cottage..... | 22 |
| 6. | Impact Assessment | 24 |
| 6.1 | Assessment of Change..... | 24 |
| 6.2 | Impact Assessment | 24 |
| 7. | Recommendations & Conclusions..... | 25 |
| 7.1 | Outline Recommendations | 25 |
| 7.2 | Conclusion..... | 25 |
| 8. | Bibliography & References | 26 |

FIGURES

| | |
|-----------|-----------------------------|
| Figure 1: | Site Location Plan |
| Figure 2: | Existing Site Plan |
| Figure 3: | Existing Floorplan |
| Figure 4: | Existing Elevations |
| Figure 5: | Proposed Elevations |
| Figure 6: | Proposed Plan and Roof Plan |

TABLES

| | |
|----------|------------------------------------|
| Table 1: | Examination of Appropriate Sources |
|----------|------------------------------------|

PLATES

| | |
|-----------|---|
| Plate 1: | 1 st Edition OS Six-Inch 1864 |
| Plate 2: | 2 nd Edition OS 25-Inch 1896 |
| Plate 3: | 1949 OS Six-Inch map |
| Plate 4: | 1966 OS map |
| Plate 5: | Car park with Farmhouse and ranges behind enclosure fence |
| Plate 6: | The Main Building |
| Plate 7: | View of the courtyard |
| Plate 8: | The compound |
| Plate 9: | The Woodland Bridal Cabin |
| Plate 10: | Listed Sundial in Main Lawn |
| Plate 11: | Shildon Cottage c. 2020 |
| Plate 12: | The Bridesmaid's Cottage |
| Plate 13: | The rear of the Bridesmaid's Cottage |

EXECUTIVE SUMMARY

AB Heritage Limited has been commissioned by Halton Grove to produce a Heritage Statement to support a retrospective planning application seeking consent for a rear extension (including replacing of storage sheds), to include a reclaimed slate roof with 6 rooflights (located in the unseen inner valley) and the addition of exterior, vertical timber cladding to an existing cottage providing ancillary accommodation for Halton Grove wedding venue. Corbridge, NE45 5PY.

This report builds on a Heritage Statement produced in 2020 for a scheme that was consented in July 2021 for the change of use at Shildon from residential, to the present use as guest accommodation and a wedding venue known now as Halton Grove (20/03388/FUL).

The applicant has carried out works to the former Shildon Cottage which is now known as the Bridesmaid's Cottage. The works have included an extension resulting in an increased footprint, taking the bungalow from two bed to a four bed accommodation, new fenestration and cladding of exterior elevation with European Larch timber.

The former Shildon Cottage dates from the mid-20th century and was an unremarkable bungalow cottage to house farm labourers in the agricultural boom that followed the war years. Later, Shildon Cottage was provided with a flat roof rear extension, and likely some interior modernisations, which indicates how original design was inadequate for the requirements of family living accommodation. This assessment in this report is that Shildon Cottage, prior to the works to convert it to the Bridesmaid's Cottage, was a heritage asset of very low significance.

The works enacted to create the Bridesmaid's Cottage have resulted in a change to the footprint and the exterior appearance of the Cottage. However, the architectural interest of the building was very low, and the works have not impacted the historical interest of the non-designated heritage asset. Considering the site as a whole, the appearance of the Bridesmaid's Cottage is in keeping with the architectural and material appearance of the other main buildings, and the quality of the work as well as the attractiveness of the finish is considered to have had No Impact to the significance of the Bridesmaid's Cottage / Shildon Cottage. No other heritage assets are affected by this work.

This report finds that the application proposal is in line with National and Local Planning Policies in the NPPF and the Northumberland Local Plan.

Based on the information in this report, no further heritage work is recommended for this application.

1. INTRODUCTION

1.1 Project Background

- 1.1.1 AB Heritage Limited has been commissioned by Halton Grove to produce a Heritage Statement to support a retrospective planning application to cover small scale works at Halton Grove, Corbridge, NE45 5PY.
- 1.1.2 This report builds on a Heritage Statement produced in 2020 for a scheme that was consented in July 2021 for the change of use at Shildon from residential, to the present use as guest accommodation and a wedding venue known now as Halton Grove (20/03388/FUL).
- 1.1.3 This report will provide additional information to accompany a planning application for the retrospective extension to the cottage and exterior cladding.

1.2 Site Location & Description

- 1.2.1 Halton Grove (formerly Shildon) is c. 4.5 km to the north-east of Corbridge (Figure 1) and is centred at NGR NZ 02174 68127 at an elevation of 199 m Ordnance Datum.
- 1.2.2 The wider site presently includes the Main Building, a cottage known as the Bridesmaid's Cottage but formerly Shildon Cottage and converted stables which now accommodates the main space for the ceremony and wedding functions.
- 1.2.3 This report is concerned with the Bridesmaid's Cottage which lies to the north of the site carpark, and c. 45m north east of the main house (Figure 2). The cottage, in common with the rest of the site, is surrounded and amongst dense mature tree coverage.

1.3 Overview of the Application Works

- 1.3.1 A retrospective planning application seeking consent for a rear extension (including replacing of storage sheds), to include a reclaimed slate roof with 6 rooflights (located in the unseen inner valley) and the addition of exterior, vertical timber cladding to an existing cottage providing ancillary accommodation for Halton Grove wedding venue (Figs 3-6).

1.4 Planning Background & Consultation

- 1.4.1 Consent was granted in July 2021 for the change of use of Shildon from dwellinghouse and cottage (C3 use), to guest accommodation (C1 use), with rear extension and parking. Ref: 20/03388/FUL. The site is now called Halton Grove.
- 1.4.2 Consent was partially granted for variations to include a refuse store and cycle area, hard and soft landscaping.
- 1.4.3 During the planning process for 20/03388/FUL it was accepted by Northumberland County Council that Halton Grove is effectively screened from the Hadrian's World Scheduled Monuments, and World Heritage Site, to the extent that the site is outwith the setting of these internationally important heritage assets.

1.5 Project Qualifiers

- 1.5.1 This report has been prepared under instruction and solely for the use of Halton Grove, and any associated parties they elect to share this information with.
- 1.5.2 Measurements and distances in this report are approximations only and should not be used for detailed design purposes.
- 1.5.3 All work undertaken is based upon the professional knowledge of AB Heritage and relevant standards, technology and legislation at the time of writing. Changes in these areas may occur in the future, causing changes to the conclusions, recommendations or advice given. AB Heritage is not responsible for advising any parties on the implications of such changes.
- 1.5.4 This report utilises information obtained from third party sources. AB Heritage takes no responsibility for the accuracy of such information.
- 1.5.5 Where recommendations are provided these need to be approved by the Local Planning Authority and do not themselves comprise mitigation of impacts.

2. AIMS & METHODOLOGY

2.1 Aims of Report

2.1.1 Early assessment of the implications of proposed development on the heritage resource is key to informing reasonable planning decisions. Indeed, NPPF 194 requires local planning authorities to request descriptions on the significance of any heritage assets affected by a proposal, including any contribution made by their setting. This states that:

'The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance'.

2.1.2 This assessment therefore has the following objectives:

- To provide sufficient evidence on the heritage of the site and any potential impacts on such a resource, to inform the Local Planning Authority's decision-making process in relation to the current planning application; and
- To develop appropriate recommendations / mitigation responses, where necessary, to assist the work of the planning team.

2.2 Methodology

Standards & Guidance Used

2.2.1 The assessment has been carried out in line with the following guidance:

- *Standard and Guidance for Historic Environment Desk-Based Assessment* (ClfA, 2020).
- *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings and Structures* (ClfA, 2020).
- *Conservation Principles, Policies & Guidance for the Sustainable Management of the Historic Environment* (Historic England, 2008).
- *Understanding Historic Buildings* (Historic England, 2016).
- *The Setting of Heritage Assets* (Historic England, 2017).
- *Statements of Heritage Significance: Analysing Significance in Heritage Assets* (Historic England, 2019).

Selection and Assessment of Sources

2.2.2 In line with para 3.3.6 and Annex 1 of the Chartered Institute for Archaeologists' *Standard and Guidance for Historic Environment Desk-Based Assessment*, this report considers appropriate sources of information and a rationale behind their use. These have been detailed in Table 1:

Table 1: Examination of Appropriate Sources

| SOURCE | TYPE OF EVIDENCE | CONSULTED | COMMENT |
|---|--|------------|---|
| Northumberland Historic Environment Record | The primary source of information concerning the current state of archaeological, heritage and architectural knowledge in this area. Contains published and unpublished archaeological and historical sources, including any previous investigations undertaken within the study area. | 21/08/2023 | As a retrospective application affecting a single building, it is considered that HER data would not provide records that would affect the outcome of the application. No data was procured, with the agreement of Liz Williams, Heritage and HER Officer, Northumberland County Council. |
| Consult Northumberland County Council Senior Design & Conservation Officer | Early discussion with the Local Planning Authority Planning Archaeologist and / or Conservation Officer is key to understanding the significance of an area and creating a tailored approach most appropriate to assessment of a site. | 21/08/2023 | Val Robson, Senior Design & Conservation Officer, Northumberland County Council contacted by Daniel Dodds, Associate Director, AB Heritage by email. Ms Robson acknowledged the email and informed Mr Dodds that she would respond when the application is submitted. |
| Site Walkover | This task allows for development of a greater understanding of the on-site heritage resource, or any historic issues of the site, including information the general condition and setting of the area of proposed development and the site in which it stands. | 07/08/2023 | A site visit was undertaken by Daniel Dodds, Associate Director, AB Heritage. The visit identified the areas of works, and provided an opportunity to see how isolated and screened the application site is. |
| National Heritage List for England | Information on statutory and non-statutory designated sites, including Listed Buildings and Scheduled Monuments. | 21/08/2023 | |
| Northumberland Archive, Woodhorn | Readily accessible information on the site's history from readily available historic documentary sources, maps and photographs. | N/A | |

| SOURCE | TYPE OF EVIDENCE | CONSULTED | COMMENT |
|--------------------------|---|-----------|---------|
| Archaeology Data Service | The ADS is a digital repository for heritage records that supports the long-term digital preservation of such data to support future research, learning and teaching. | N/A | |

Assessment of Significance

- 2.2.3 Assessment of heritage significance is judged on various factors, including existing designation(s) and the perceived heritage interests or values of a feature and / or its setting in-line with criteria set out by English Heritage in '*Conservation Principles, Policies & Guidance for the Sustainable Management of the Historic Environment*' (2008) and Historic England's '*Advice Note 12*' (2019).
- 2.2.4 As a result, this report will assess significance against **Archaeological, Architectural, Artistic, Historic** and **Setting** interests. Each relevant category discussed will result in an overall level of significance being defined for the feature, in accordance with a five-point scale comprising Very High, High, Medium, Low and Uncertain.

Impact Assessment

- 2.2.5 The degree of impact upon the heritage resource is determined based on professional judgement as to the level of effect from a proposed development on the baseline conditions of the site and the cultural heritage resource identified. The criteria for assessing the level of impact will be expressed against a five-point scale comprising Very High, High, Medium, Low and Uncertain.
- 2.2.6 Overall, the degree of change will be assessed in terms of NPPF (as harmful or beneficial) and, where appropriate, against relevant local planning policy.

3. PLANNING & LEGISLATIVE FRAMEWORK

3.1 Heritage Legislation

- 3.1.1 Current legislation, in the form of the Ancient Monuments and Archaeological Areas Act 1979, provides for the legal protection of important and well-preserved archaeological sites and monuments through their addition to a list, or 'schedule' of archaeological monuments.
- 3.1.2 Likewise, structures are afforded legal protection in the form of their addition to 'lists' of buildings of special architectural or historical interest, under the Planning (Listed Buildings and Conservation Areas) Act, 1990. This legislation also allows for the creation and protection of Conservation Areas by local planning authorities to protect areas and groupings of historical significance.
- 3.1.3 The categories of assets with some forms of legal protection have been extended in recent years, and now include Registered Parks and Gardens, and Historic Battlefields. While designation as a UNESCO World Heritage Site is not a statutory designation under English planning law, such a designation is regarded as a material consideration in planning decisions.

3.2 National Planning Policy Framework 2023

- 3.2.1 The NPPF sets out government policy on the historic environment, which covers all elements, whether designated or not, that are identified as 'having a degree of significance meriting consideration in planning decisions, because of its heritage interest'.
- 3.2.2 Paragraph 194 states that in determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail required in the assessment should be 'proportionate to the assets importance and no more than is sufficient to understand the potential impact of the proposal on their significance'.
- 3.2.3 Paragraph 201 explains that 'where a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss.
- 3.2.4 Paragraph 202 advises that where a proposal involve less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use. In weighing applications that affect directly or indirectly non designated heritage assets, Paragraph 203 states that a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

3.3 Local Planning Policy – Northumberland Local Plan 2016 - 2036

- 3.3.1 Adopted in 2022, The Local Plan includes the planning policies used to guide and determine future planning applications in Northumberland. It details the scale and distribution of new development and includes land allocations and designations.

ENV 7 – Historic Environment and Heritage Assets

- 3.3.2 Development proposals will be assessed, and decisions made that ensure the conservation and enhancement of the significance, quality and integrity of Northumberland's heritage assets and their settings.
- 3.3.3 Decisions affecting a heritage asset will be based on a sound understanding of the significance of that asset and the impact of any proposal upon that significance. Applicants will be required to provide a heritage statement; describing the significance of the asset and any contribution made to this significance by its setting. The level of detail should be proportionate to the asset's importance, but should make use of the Historic Environment Record, the Historic Landscape Characterisation Study, any relevant character appraisals or design guides, and/or other relevant records.
- 3.3.4 Development proposals, which will affect a site of archaeological interest, or a site which has the potential to be of archaeological interest, will require an appropriate desk-based assessment and, where necessary, a field evaluation.
- 3.3.5 Development proposals that would result in substantial harm to or total loss of the significance of designated heritage assets will not be supported unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that would outweigh that harm or loss, or all of the following apply:
- a. The nature of the heritage asset would prevent all reasonable uses of the site;
 - b. No viable use of the asset itself could be found in the medium term through appropriate marketing that would enable its conservation;
 - c. Conservation by grant-funding or some form of not for profit, charitable or public ownership would demonstrably not be possible; and
 - d. The harm or loss is outweighed by the benefit of bringing the site back into use.
- 3.3.6 Where development proposals would cause less than substantial harm to the significance of designated heritage asset, this will be weighed against the public benefits of the proposal, including securing the optimum use that is viable and justifiable.
- 3.3.7 Development proposals that affect the significance of non-designated heritage assets shall require a balanced judgement, taking into account the scale of any harm or loss and the significance of the heritage asset. In the case of a non-designated heritage asset of archaeological interest, the significance of which is demonstrably equivalent to that of a scheduled monument, the policy approach for designated heritage assets will be applied if it:
- a. Has not formally been assessed for designation;
 - b. Has been assessed as capable of designation, but not designated by the relevant Government agency;
 - c. Is not capable of designation under the Ancient Monuments and Archaeological Areas Act because of its physical nature.
-

- 3.3.8 If, following the above assessment, a decision is made that will result in the loss of all or any part of a heritage asset, or a reduction in its significance, developers will be required to record and advance understanding of the significance of the asset (wholly or in part) in a manner proportionate to its importance and the impact, through appropriate compensatory measures. The results of such measures should be made publicly accessible through appropriate archiving and publication. The ability to create full records in this way should not, in itself, be a factor in deciding whether such loss should be supported.

4. HERITAGE REVIEW OF THE SITE

4.1 Historic Development of the Site & Surrounding Area

- 4.1.1 Shildon appears on the 1st edition of the six inch OS map of 1864 (Plate 1). This shows the farmstead nestled south of a grove of trees screening the site from all directions bar the south. It was likely this was a measure to shield the farm from prevailing winds rather than to protect views to Hadrian's Wall and the associated features which is c. 500m to the north.



Plate 1. 1st Edition OS Six-Inch 1864 (NLS)

- 4.1.2 Plate 1 includes the Main Building which is the southern building on the site and oriented roughly east to west. The other ranges to the north-east likely included stables and a barn. At that time, Shildon Cottage (now Bridesmaid's Cottage) had not been constructed.
- 4.1.3 The farm had developed further by 1896, and Plate 2 is the 25-inch OS map of that year. It shows that that northern range had been given a west extension, providing the farmstead with a courtyard appearance. That new extension is now the main wedding venue and incorporates the former stables.



Plate 2. 2nd Edition OS 25-Inch 1896 (NLS)

- 4.1.4 The surrounding grove had noticeably expanded and matured, but Shildon Cottage was still to be constructed.

- 4.1.5 Shildon Cottage, which is now the Bridesmaid's Cottage, first appears on the OS map of 1949 (Plate 3) and is shown on the east boundary of the grove, aligned east - west.

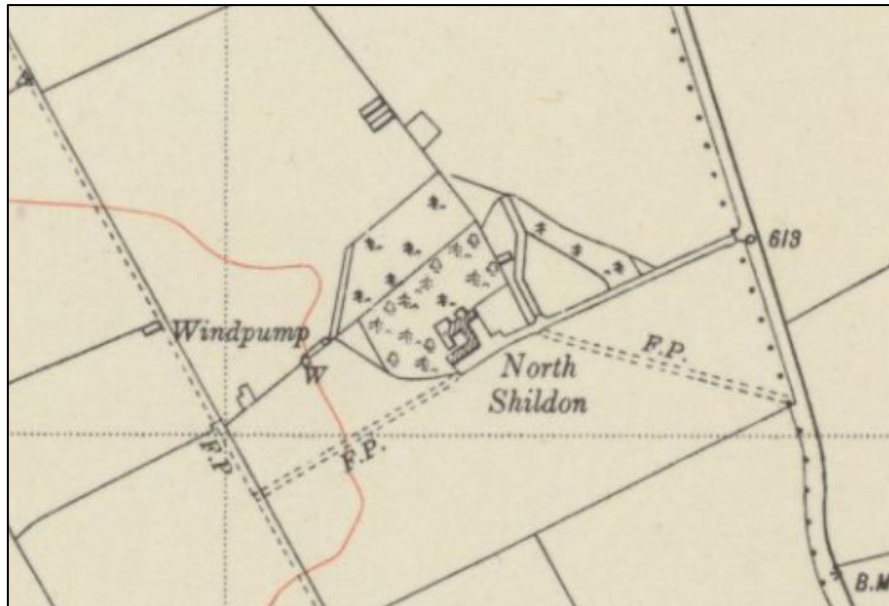


Plate 3. 1949 OS Six-Inch map (NLS)

- 4.1.6 The final historic map of note is the 1966 edition of the Ordnance Survey, which shows a small square building within the grove north of, and close to, the former stables at the north end of the farm (Plate 4).



Plate 4. 1966 OS map (Solstice Heritage, 2020)

- 4.1.7 The map progression above shows that the farmstead was established by the mid-19th century and developed slowly over the succeeding century. By the mid-20th century the farmstead included the components that are present today and which have been the subject of recent planning applications.

4.2 Site Visit

4.2.1 A site visit was conducted by Daniel Dodds (Associate Director, AB Heritage) on 7th August 2023. The conditions were very good.

General Site Layout and Character

4.2.2 Halton Grove is a relatively isolated former farmstead which was historically called Shildon, it is accessed from an unnamed road which joins either the B6321 which leads to Corbridge to the south west, or from the B6318 Military Road to the north. The site is distinctive in the landscape because of the density of the mature grove in an otherwise open pasture landscape.

4.2.3 On arrival at Halton Grove the first feature is the well-kept visitor car park on the east side of the site and nestled within the grove. The main buildings that comprise the present wedding venue, and that were formerly the Shildon farmstead lie c. 70m to the west of the visitor car park. The view from the car park on Plate 5, below, shows the enclosure that separates the car park from the rest of the site, but the shot also provides an indication of the state of the mature planting and the scale of the buildings that form the former farmstead.



Plate 5. Car park with Farmhouse and ranges behind enclosure fence

4.2.4 The Main Building forms the southern range that delineates the central courtyard that looks south across a small garden and past the fields beyond, and ultimately across the Tyne Valley.



Plate 6. The Main Building (looking NW)

4.2.5 The courtyard is paved and incorporates the Main Building, the converted stables which are now the main venue and the former farm range on the east side of the courtyard (Plate 7).



Plate 7. View of the courtyard. Rear of Main Building centre shot

4.2.6 If the visitor took the access past the Main Building, essentially off the right hand side of Plate 7, alongside the former stables is a new compound for storage and Air Source Heat Pumps, marked by a timber fenced enclosure (Plate 8). Beyond this the site is entirely within the woodland of the grove.



Plate 8. The compound

- 4.2.7 In the woods, accessed via a gravel footpath, and c. 40m west of the main courtyard buildings is a small, modern prefabricated cabin, known as the Woodland Bridal Cabin (Plate 9). This feature is entirely enclosed by the grove of mature trees. The dark colouration will also help this small, unobtrusive feature blend into the surroundings even during winter when the trees will have dropped their foliage. The Woodland Bridal Cabin forms part of a separate planning application.



Plate 9. The Woodland Bridal Cabin Looking west

- 4.2.8 To the east of the courtyard buildings is the main gravelled access drive, with the main lawns beyond. The lawn is fringed with roses and other ornamental plants in the borders. The borders are also the site of the Listed Sundial (Plate 10), which the official list entry describes:

'Sandstone. Moulded square base with dials inscribed "Rome, Italy", "Boardeaux" and "Mexico, Acapulca" carrying near-life-size figure of Father Time, lightly draped and holding winged hourglass. On back of figure broken wings and cartouche with scythe and self-swallowing serpent. Facetted block carried on head of figure with further dials, two inscribed "Madagascar" and "Ephesus, Asia"'.



Plate 10. Listed Sundial in Main Lawn

- 4.2.9 Despite being within 20m of the main farm buildings, the nature and the location of the sundial means that you only really notice it when you are virtually on top of it. Clearly, this feature is not native to the site, and how it got here is not recorded.

The Bridesmaid's Cottage

- 4.2.10 Finally, the former Shildon Cottage, now known as the Bridesmaid's Cottage, is located to the north of the visitor car park and the access drive, etc. This cottage first appeared on historic maps in 1949. Post-dating the construction of the Main Building by some time, the cottage was probably built to house labourers during the mid-20th boom in farming after the shortages brought about by war.
- 4.2.11 Plate 11 shows the rear of Shildon Cottage before it was recently extended and cladded and includes a flat roof extension. The cottage was probably brick built but was formerly rendered. Generally, the cottage is of a simple plan, under a steeply pitched roof with clay tiles. Despite the age, prior to the recent works the cottage appeared to be of very low heritage significance, especially as it was constructed substantially later than the rest of the farmstead.



Plate 11. Shildon Cottage c. 2020

4.2.12 Works to the cottage since 2021 have included a rear extension, which the applicant estimates has increased the footprint by 28%, and which essentially comprises a second pile to the building. All elevations have been clad with European Larch (Plates 12 & 13).



Plate 12. The Bridesmaid's Cottage

4.2.13 The rear of the Bridesmaid's Cottage includes a central bow window, and the European Larch cladding (Plate 13). The cottage as a whole has had the fenestration renewed and the roof

covered by slates and includes six small rooflights concealed by the roof valley. The main chimney stack has been demolished. Overall, the effect is very smart and while a departure from the original Shildon Cottage, the refurbished and extended Bridesmaid's Cottage has been executed with care and quality and fits very well into the clean and maintained surroundings. The location prevents any intervisibility with the Listed Sundial or the rest of the former farmstead.



Plate 13. The rear of the Bridesmaid's Cottage

5. STATEMENT OF SIGNIFICANCE

5.1 Focus of Study

- 5.1.1 In accordance with English Heritage guidance *Conservation Principles, Policies & Guidance for the Sustainable Management of the Historic Environment* (2008), and Historic England's Advice Note 12 (2019), Heritage Assets derive their significance from a defined range of interests or values. These are **Archaeological**, **Architectural** or **Artistic**, **Historic** and **Setting** Interest. This report will assess those factors relevant to the overall understanding of the importance of the feature under consideration.
- 5.1.2 The site is in proximity to the non-designated heritage assets of the courtyard farmstead, and the Grade II Listed Sundial. However, based on the site visit, and the consultation responses from this and the previous planning application, this report will focus on providing an understanding of the potential impacts to the former Shildon Cottage only.

5.2 Former Shildon Cottage

Description & General Condition

- 5.2.1 Prior to the recent work, this was a small bungalow cottage, with two bedrooms and a living room, built of brick under a simple pitched roof. The cottage first appeared in the historic record on the OS map of 1949 (Plate 3). Located at some considerable remove from the main farmstead, this building was probably constructed to house farm labourers to meet an increase in agricultural production in the mid-20th century, after years of shortage following war. Historic maps do not include the flat roof extension shown on Plate 11, so we must assume that this was a later addition, which included a back kitchen and bathroom, and which contributed nothing to the significance of the building.

Overview of Significance

Historical Interest

- 5.2.2 As a simple and unassuming building, located at some distance and tucked away from the main farm, it is likely that this cottage was accommodation for farm labour or labourers in the years following the World Wars of the 20th century; a time when agricultural production boomed in an effort to get the country back on its feet as quickly as possible. This specific post-war response provides the building with the key interest which provides a positive contribution to the significance.

Setting

- 5.2.3 Alongside the historical origin of the cottage, the setting, on the edge of the former farmstead, and in a rolling agricultural landscape is vital to how the heritage asset is experienced, understood and appreciated. As such it provides some positive contribution to the overall heritage significance.

Architectural Interest

- 5.2.4 From a design point of view, Shildon Cottage was a very simple and unimaginative bungalow. No doubt constructed to provide only the minimum of comfort and security for a tied worker,

and cottages of this period would have been more or less devoid of interest, architecturally speaking. The key architectural interest would have been the very simplicity which belies the whole reason for the building in the first place. The architectural interest would have added very little positively to the overall heritage significance. The added flat roof extension may illustrate just how inadequate the original cottage was for a family. However, the flat roof extension did detract from the simple architectural presentation of the original Shildon Cottage.

Assessment of Significance

- 5.2.5 This report has considered the development and the setting of the former Shildon Cottage, and has concluded that in its original state, prior to the flat roofed extension, this non-designated heritage asset would have been of Very Low significance, noteworthy only because of the circumstances which lead to it being built. However, in the final form prior to the present work, the extension and the apparent associated modernisation would have been detrimental to the significance of the building. However, changes to the built form would not have affected the associative historical interest.

6. IMPACT ASSESSMENT

6.1 Assessment of Change

- 6.1.1 Architecturally, Shildon Cottage was an outlier on the farmstead by both location and material design. The cottage lacked the sturdiness and materiality of the rest of the stone built farmstead and was purposely tucked away. As described in Section 5 above, the original Shildon Cottage was of very little, if any, architectural interest; rather the significance of the cottage was from the historical association with the change in agricultural output in the mid-20th century.
- 6.1.2 The demolition of the rear flat roofed extension, and a new rear extension under a pitched roof has resulted in a 28% larger footprint. Interior alterations are largely in the new extension, but in the older part of the building the side door has been blocked and the hallway converted to an en-suite bathroom. A similar en-suite bathroom has been provided for the other existing bedroom.
- 6.1.3 The rear extension now houses two other en-suite bedrooms and a lobby/waiting area. What is now the Bridesmaid's Cottage does not include a kitchen or any food preparation area, being now wholly serviced by the main wedding venue.
- 6.1.4 The extended building now appears as a double pile, with the pitched roofs under natural slate, which replaced the original clay tiles. One of the brick chimney stacks has been removed. The exterior elevations have been cladded with close board European Larch, and fitted with small, down-pointing exterior spot lights and the fenestration has been renewed throughout.
- 6.1.5 Despite the extension, the key original floor plan has been largely retained, and the extension mirrors the subdivision of that space. Beneath the timber cladding, the original building fabric remains intact, which means the most apparent changes are the increase in mass, and the exterior appearance from the cladding, the new roof and the loss of one of the chimneys.

6.2 Impact Assessment

- 6.2.1 It is considered that the changes described here have not impacted the key associative historical interest of the cottage and its place in the wider farmstead. While the architecture has changed, that interest was very low, and most of the architectural design is intact beneath the new finishes.
- 6.2.2 Considering the Bridesmaid's Cottage in the context of the wider wedding venue, which has replaced the farmstead, the cottage is now in keeping with the architectural theme and shares the very high quality of material and design finish apparent across the whole site including the grounds and access.
- 6.2.3 Overall, this report finds that the works to the non-designated heritage asset have No Impact to the significance of the building. Therefore the work is assessed to be in accordance with national and local planning policy.

7. RECOMMENDATIONS & CONCLUSIONS

7.1 Outline Recommendations

7.1.1 Based on the research and the site visit for this report, as well as the information provided during a previous planning application, no further heritage work is recommended for this application. The final decision regarding further work ultimately rests with the local planning authority.

7.2 Conclusion

- 7.2.1 AB Heritage Limited has been commissioned by Halton Grove to produce a Heritage Statement to support a retrospective planning application seeking consent for a rear extension (including replacing of storage sheds), to include a reclaimed slate roof with 6 rooflights (located in the unseen inner valley) and the addition of exterior, vertical timber cladding to an existing cottage providing ancillary accommodation for Halton Grove wedding venue at Halton Grove, Corbridge, NE45 5PY.
- 7.2.2 This report builds on a Heritage Statement produced in 2020 for a scheme that was consented in July 2021 for the change of use at Shildon from residential, to the present use as guest accommodation and a wedding venue known now as Halton Grove (20/03388/FUL).
- 7.2.3 The applicant has carried out works to the former Shildon Cottage which is now known as the Bridesmaid's Cottage. The works have included an extension resulting in an increased footprint, taking the bungalow from two bed to a four bed accommodation, new fenestration and cladding of exterior elevation with European Larch timber.
- 7.2.4 The former Shildon Cottage dates from the mid-20th century and was an unremarkable bungalow cottage to house farm labourers in the agricultural boom that followed the war years. Later, Shildon Cottage was provided with a flat roof rear extension, and likely some interior modernisations, which indicates how original design was inadequate for the requirements of family living accommodation. This assessment in this report is that Shildon Cottage, prior to the works to convert it to the Bridesmaid's Cottage, was a heritage asset of very low significance.
- 7.2.5 The works enacted to create the Bridesmaid's Cottage have resulted in a change to the footprint and the exterior appearance of the Cottage. However, the architectural interest of the building was very low, and the works have not impacted the historical interest of the non-designated heritage asset. Considering the site as a whole, the appearance of the Bridesmaid's Cottage is in keeping with the architectural and material appearance of the other main buildings, and the quality of the work as well as the attractiveness of the finish is considered to have had No Impact to the significance of the Bridesmaid's Cottage / Shildon Cottage. No other heritage assets are affected by this work.
- 7.2.6 This report finds that the application proposal is in line with National and Local Planning Policies in the NPPF and the Northumberland Local Plan.
- 7.2.7 Based on the information in this report, no further heritage work is recommended for this application.

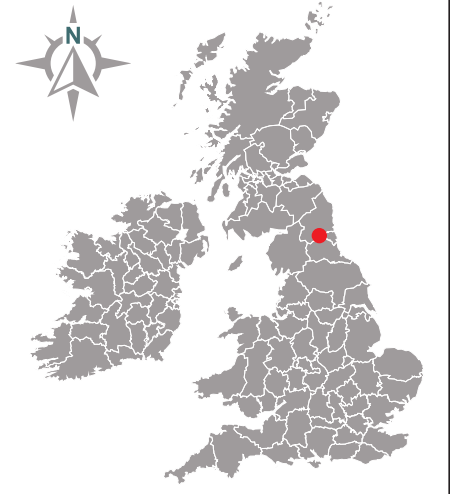
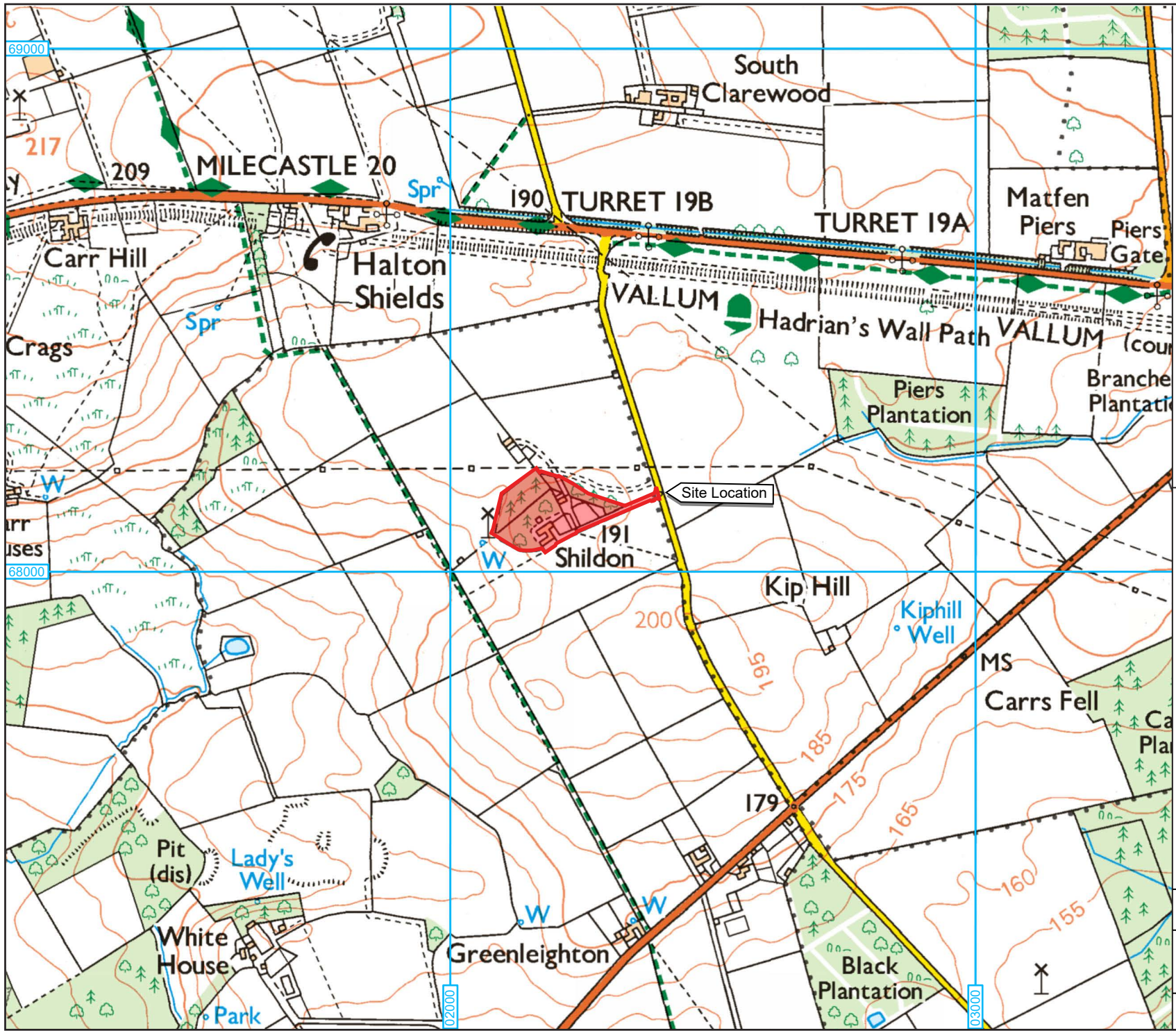
8. BIBLIOGRAPHY & REFERENCES

Cartographic Sources

- National Library of Scotland

Documentation & Online Sources

- Ancient Monuments and Archaeological Areas Act 1979.
<http://www.legislation.gov.uk/ukpga/1979/46/contents>
- Chartered Institute for Archaeologists, 2020. Standard and Guidance for Historic Environment Desk-Based Assessment.
https://www.archaeologists.net/sites/default/files/CIfAS%26GDBA_4.pdf
- Chartered Institute for Archaeologists, 2020. Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings and Structures.
https://www.archaeologists.net/sites/default/files/CIfAS%26GBuildings_3.pdf
- Historic England, 2008. Conservation Principles, Policies & Guidance.
<https://content.historicengland.org.uk/images-books/publications/conservation-principles-sustainable-management-historic-environment/conservationprinciplespoliciesguidanceapr08web.pdf/>.
- Historic England, 2014. An Archaeological Map of Hadrian's Wall (1:25,000)
- Historic England, 2015. Photographing Historic Buildings Notes 2015.
- Historic England, 2016. Understanding Historic Buildings: A Guide to Good Recording Practice. <https://historicengland.org.uk/images-books/publications/understanding-historic-buildings/>
- Historic England, 2017. The Setting of Heritage Assets, Historic Environment Good Practice Advice in Planning: 3. <https://historicengland.org.uk/images-books/publications/gpa3-setting-of-heritage-assets/>
- Historic England, 2019. Statements of Heritage Significance: Analysing Significance in Heritage Assets. Historic England Advice Note 12. <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/>
- Historic England, 2023. National Heritage List for England.
<https://historicengland.org.uk/listing/the-list/>
- Ministry of Housing, Communities & Local Government, 2021. National Planning Policy Framework. <https://www.gov.uk/guidance/national-planning-policy-framework>
- Planning (Listed Buildings and Conservation Areas) Act 1990.
http://www.legislation.gov.uk/ukpga/1990/9/pdfs/ukpga_19900009_en.pdf



KEY

- Site Boundary
- Site Location

0 500m
1:10,000

Figure 1: Site Location

Project:
Halton Grove, Corbridge

Date: 24/08/23 Job No: 62718



KEY

 Site Boundary

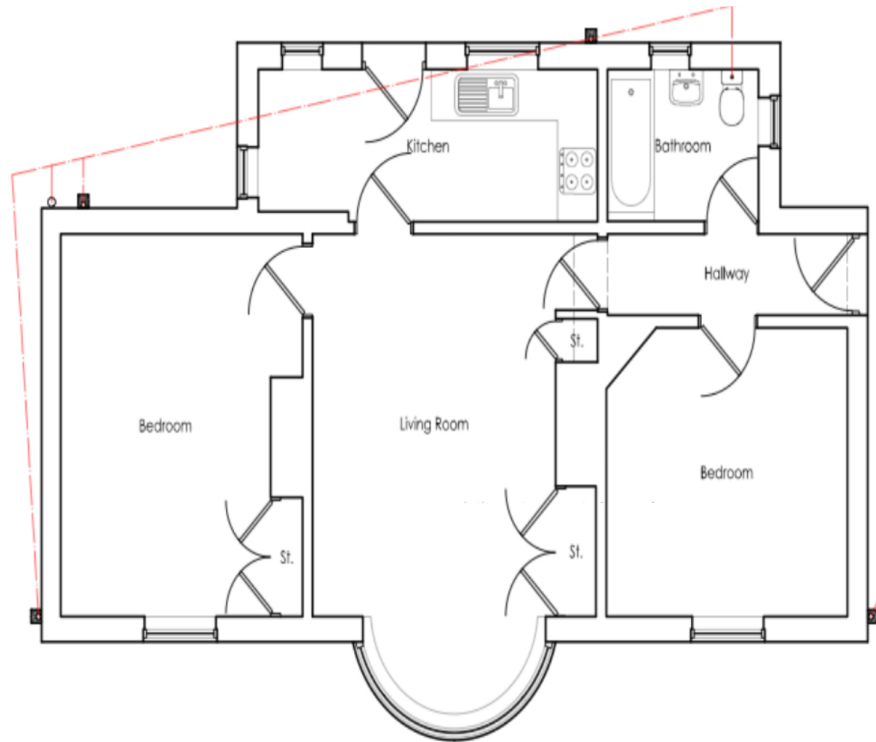


Figure 1: Key Features

Project:
Halton Grove, Corbridge

Date: 05/10/23

Job No: 62718



| | |
|-----------------|---|
| Project: | Proposed Rear Extension @ Skilton, Corbridge, NE46 5PY. |
| Drawing Title: | Existing Details |
| Designer: | Me |
| Date: | May 2021 |
| Scale: | |
| Job Number: | SH12021 |
| Drawing Number: | .001 |
| Revision: | n/a |

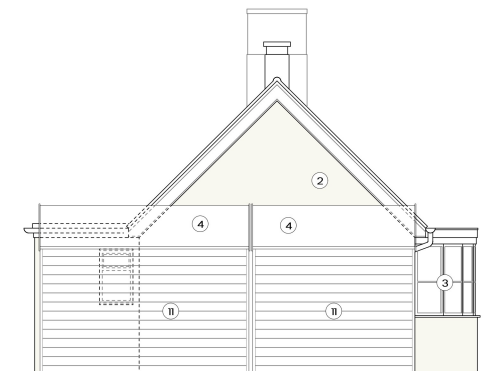
This is for information only and is not intended for precise dimensions. Do not scale from drawing for site purposes

Scale bar:



Revisions:

No Date Notes



Existing Gable Elevation



Existing Front Elevation

Materials Key

- ① Existing slate roof
- ② Existing cream render
- ③ Existing white PVC windows and doors
- ④ Felt roof
- ⑤ Proposed slate roof using reclaimed Welsh slate
- ⑥ Proposed European larch cladding
- ⑦ Proposed white framed doors and windows
- ⑧ Dark grey rainwater goods
- ⑨ Dark grey up/down wall lights
- ⑩ Dark grey framed rooflights
- ⑪ Timber boarded cladding

Project: Halton Grove

Address: Shildon House
Corbridge
NE45 5PY

Client: Thirty Three Management Ltd.

Drawn by: AE

Date: 03/08/2023

Scale @ of: 1:50

Status: Planning

Title: Existing Elevations

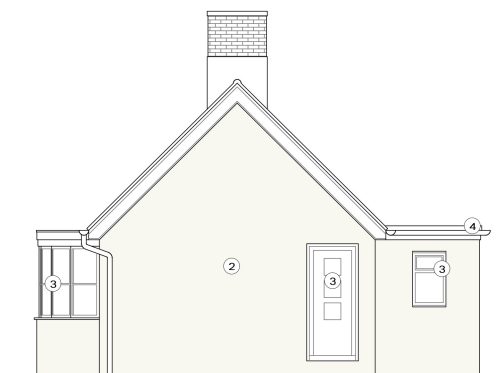
Dwg No: 15119-EDA-XX-XX-DR-A-1101

Rev:

Location: Northumberland Office
The Kings Head
85 Bridge Street
Blyth
Northumberland
NE24 3AE

Tel: 01670 361 856

Email: studio@edablearchitecture.co.uk



Existing Gable Elevation



Existing Rear Elevation

This is for information only and is not intended for precise dimensions. Do not scale from drawing for site purposes

Scale bar:



Revisions:

| No | Date | Notes |
|----|------|-------|
| | | |

Materials Key

- ① Existing slate roof
- ② Existing cream render
- ③ Existing white PVC windows and doors
- ④ Felt roof
- ⑤ Proposed slate roof using reclaimed Welsh slate
- ⑥ Proposed European larch cladding
- ⑦ Proposed white framed doors and windows
- ⑧ Dark grey rainwater goods
- ⑨ Dark grey up/down wall lights
- ⑩ Dark grey framed rooflights
- ⑪ Timber boarded cladding

Project: Halton Grove

Address: Shildon House
Corbridge
NE45 5PY

Client: Thirty Three Management Ltd.

Drawn by: AE

Date: 03/08/2023

Scale @ a1: 1:50

Status: Planning

Title: Proposed Elevations

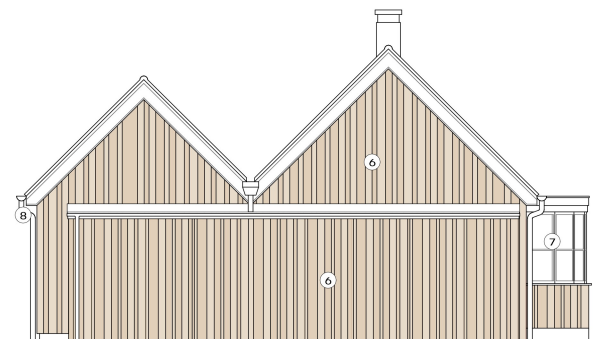
Dwg No: 15119-EDA-XX-XX-DR-A-1201

Rev:

Location: Northumberland Office
The Kings Head
85 Bridge Street
Blyth
Northumberland
NE24 3AE

Tel: 01670 361 856

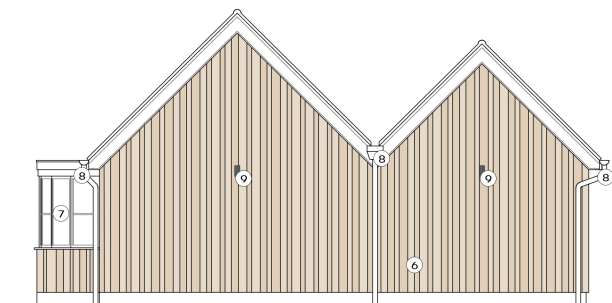
Email: studio@edablearchitecture.co.uk



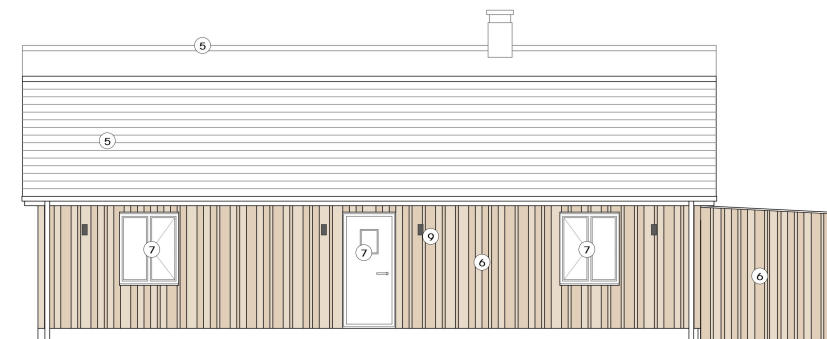
Proposed Gable Elevation



Proposed Front Elevation



Proposed Gable Elevation



Proposed Rear Elevation



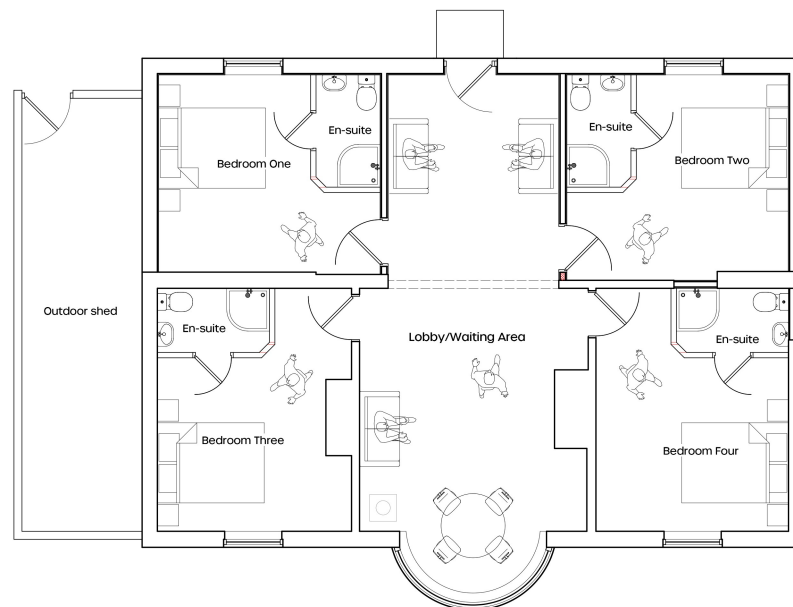
This is for information only and is not intended for precise dimensions. Do not scale from drawing for site purposes

Scale bar:



Revisions:

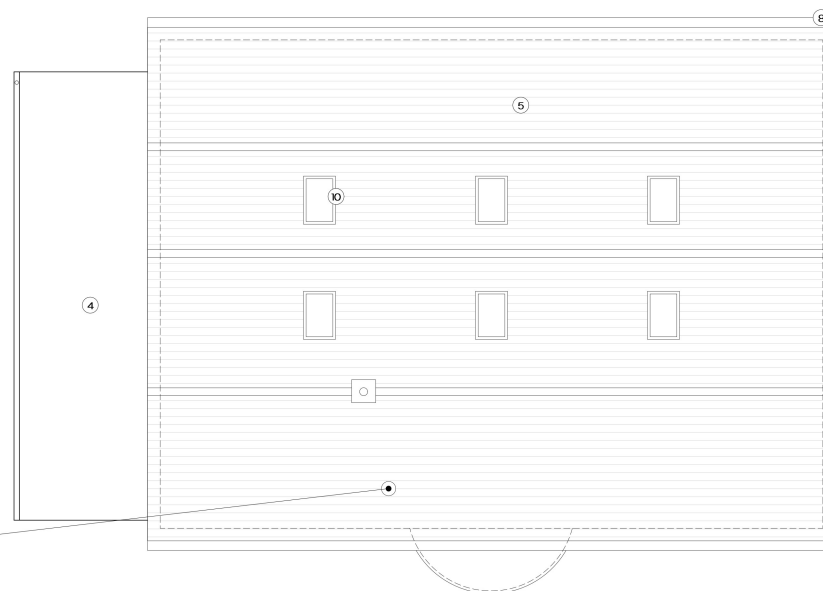
No Date Notes



Proposed Ground Floor Plan

Materials Key

- ① Existing slate roof
- ② Existing cream render
- ③ Existing white PVC windows and doors
- ④ Felt roof
- ⑤ Proposed slate roof using reclaimed Welsh slate
- ⑥ Proposed European larch cladding
- ⑦ Proposed white framed doors and windows
- ⑧ Dark grey rainwater goods
- ⑨ Dark grey up/down wall lights
- ⑩ Dark grey framed rooflights
- ⑪ Timber boarded cladding



Proposed Roof Plan

Project: Halton Grove

Address: Shildon House
Corbridge
NE45 5PY

Client: Thirty Three Management Ltd.

Drawn by: AE

Date: 03/08/2023

Scale @ a1: 1:50

Status: Planning

Title: Proposed Plan and Roof Plan

Dwg No: 15119-EDA-XX-XX-DR-A-1200

Rev:

Location: Northumberland Office
The Kings Head
85 Bridge Street
Blyth
Northumberland
NE24 3AE

Tel: 01670 361 856

Email: studio@edablearchitecture.co.uk



AB Heritage Limited
North Office (Head Office)
102 Beach Road, South Shields
Tyne and Wear, NE33 2NE
Tel: 03333 440 206
e-mail: info@abheritage.co.uk