

FOR PLANNING PURPOSES ONLY

PRIOR TO COMMENCEMENT OF WORKS ON SITE AND WITH ADVANCED NOTICE, CLIENT-CONTRACTOR TO SUBMIT A BUILDING NOTICE APPLICATION TO BUILDING CONTROL. NO WORKS TO COMMENCE UNTIL APPROVALS GRANTED. FULL PARTY WALL AGREEMENT TO BE SUBMITTED BY CLIENT APPOINTED PARTY WALL SURVEYOR.

PROPOSED FINISHES LEGEND

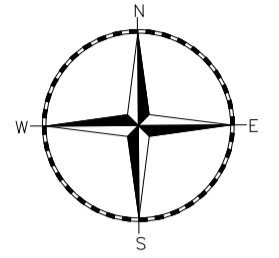
Roof Finish - Slates.
 External Walls - render & tiles.
 Fascia and soffits in white uPVC.
 External doors, windows and patio doors in white & grey uPVC units.
 Gutters and Downpipes - Black uPVC gutters and downpipes with matching fixings.

Prior to commencement works full discussion and agreement to be made with neighbors for confirmation of intended works to be carried out. Contractor must ensure full protection is provided to boundary. Client appointed party wall surveyor to confirm if party wall notice is required to be served.

NOTE : These drawings have been prepared for planning purposes only. Full building control approval to be obtained by the client/ contractor prior to commencement of works on site. All dimensions indicated to be checked on site prior to any fabrication of materials. note all dimensions indicated taken with standard tape measure for planning purposes. Full electronic station survey to be taken for complete accuracy.



LOCATION PLAN NTS



THE DRAWINGS RELATE TO THE PROPOSED EXTENSION WORKS AT 90 HEOL GABRIEL, WHITCHURCH, CARDIFF CF14 1JW.

FOR STRUCTURAL DETAILS PLEASE REFER TO CLIENT APPOINTED STRUCTURAL ENGINEERS DESIGN AND FULL SPECIFICATION.

THE DRAWING HAS BEEN PRODUCED FOR PLANNING PURPOSES ONLY.

CONTRACTOR MUST ENSURE A FULL BUILDING CONTROL APPLICATION IS SUBMITTED PRIOR TO COMMENCEMENT OF ANY WORKS ON SITE.

ALL DEMOLITION WORKS SUBJECT TO STRUCTURAL ENGINEERS APPROVAL AND FULL DESIGN AND SPECIFICATION.

ALL PLANNING CONDITIONS TO BE APPROVED PRIOR TO COMMENCEMENT OF RELATED WORKS.

DRAINAGE DETAILS ARE INDICATIVE ONLY. CLIENT APPOINTED SPECIALIST TO PROVIDE DESIGN AND TO BE APPROVED BY BUILDING CONTROL AND WELSH WATER - PRIOR TO INSTALLATION.

CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE, BEFORE COMMENCEMENT OF ANY WORKS. ANY ANOMALIES MUST BE REPORTED. DO NOT SCALE FROM DRAWINGS.

Rev A NH SF October 2023
 Red line to OS map adjusted.

REVISION NOTE:

DRAWING STATUS:

PLANNING

CLIENT:

MR NICK TATHAM

PROJECT:

90 HEOL GABRIEL, WHITCHURCH
 CARDIFF CF14 1JW

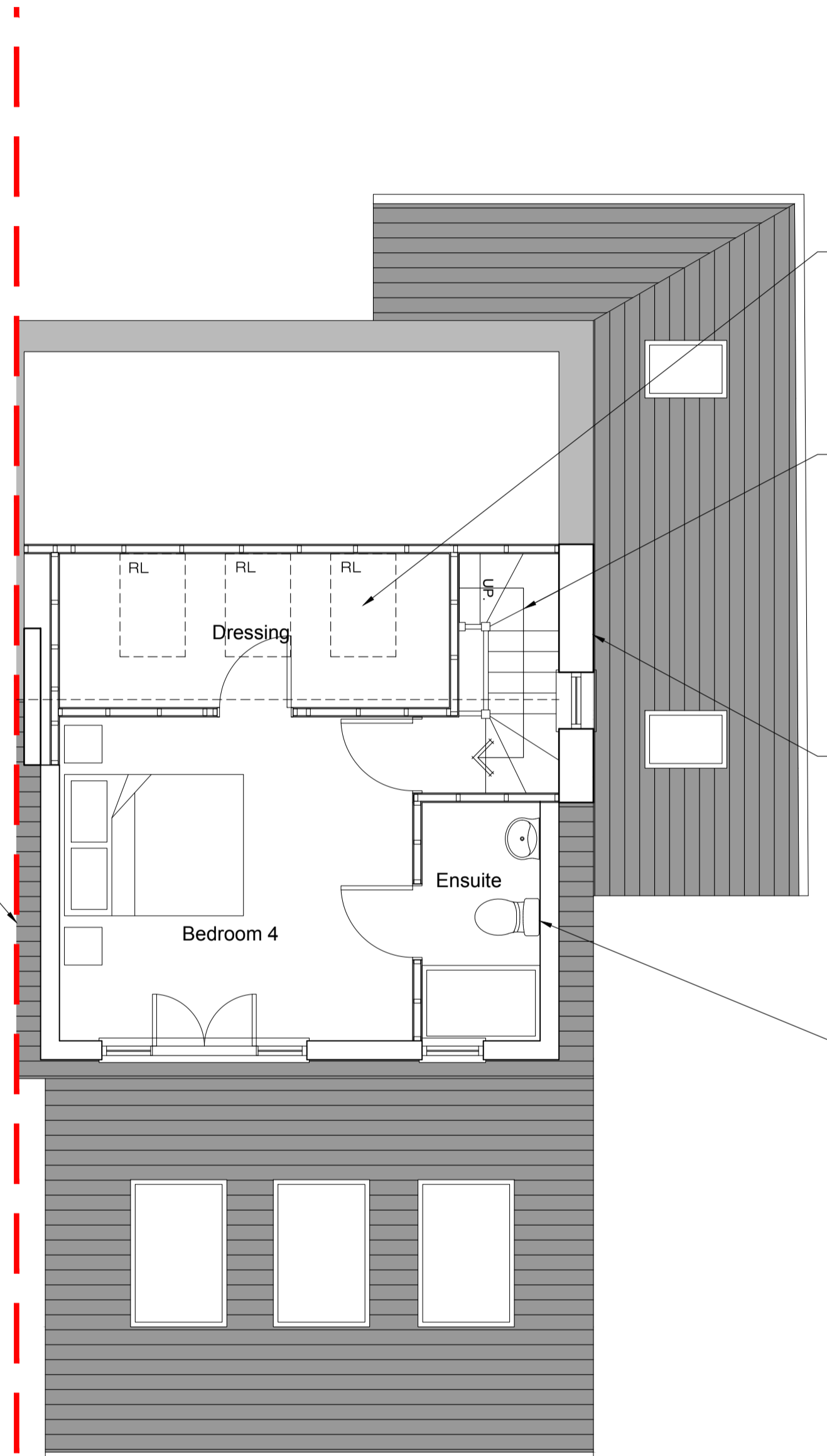
franks + toms
ARCHITECTS

DRAWING TITLE:

SECOND FLOOR PLAN & SECTION
 AS PROPOSED

JOB NUMBER: 4136	BY: NH	CHK: SF	DATE: SEPT 2023
DRAWING NUMBER: (23) 201	REV: A	SCALE: 1:50 @ A1	

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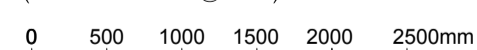
Assumed line of boundary. prior to commencement of works on site full confirmation to be obtained from deed plans and clients solicitor.
 Prior to commencement works full discussion and agreement to be made with neighbours for confirmation of intended works to be carried out. Contractor must ensure full protection is provided to boundary. Client appointed party wall surveyor to confirm if party wall notice is required to be served.

Note: Dimensions indicated nominally and are subject to structural engineers design and contractors preference of insulation specification to comply with Building Regulation Requirements.

Note: Layout indicated maybe adjusted to suit Client Requirements and space available within roof space. Full discussions to be had with contractor during construction works.

PROPOSED SECOND FLOOR PLAN

(Scale 1:50 @ A1)



ALL DIMENSIONS INDICATED TO BE CHECKED ON SITE

Proposed roof lights. All necessary trimmers in compliance with structural engineers design and specification. Size and location to suit client requirement.

Prior to commencement of works contractors specialist joiner to carry out full survey of stairwell area to ensure minimum clearance for headroom of 2m for new staircase.

Position of proposed staircase may be adjusted to ensure minimum clearance for headroom of 2m for new staircase. Bedroom 03 reduced to accommodate stairs - dimension indicated to adjusted to suit site conditions.

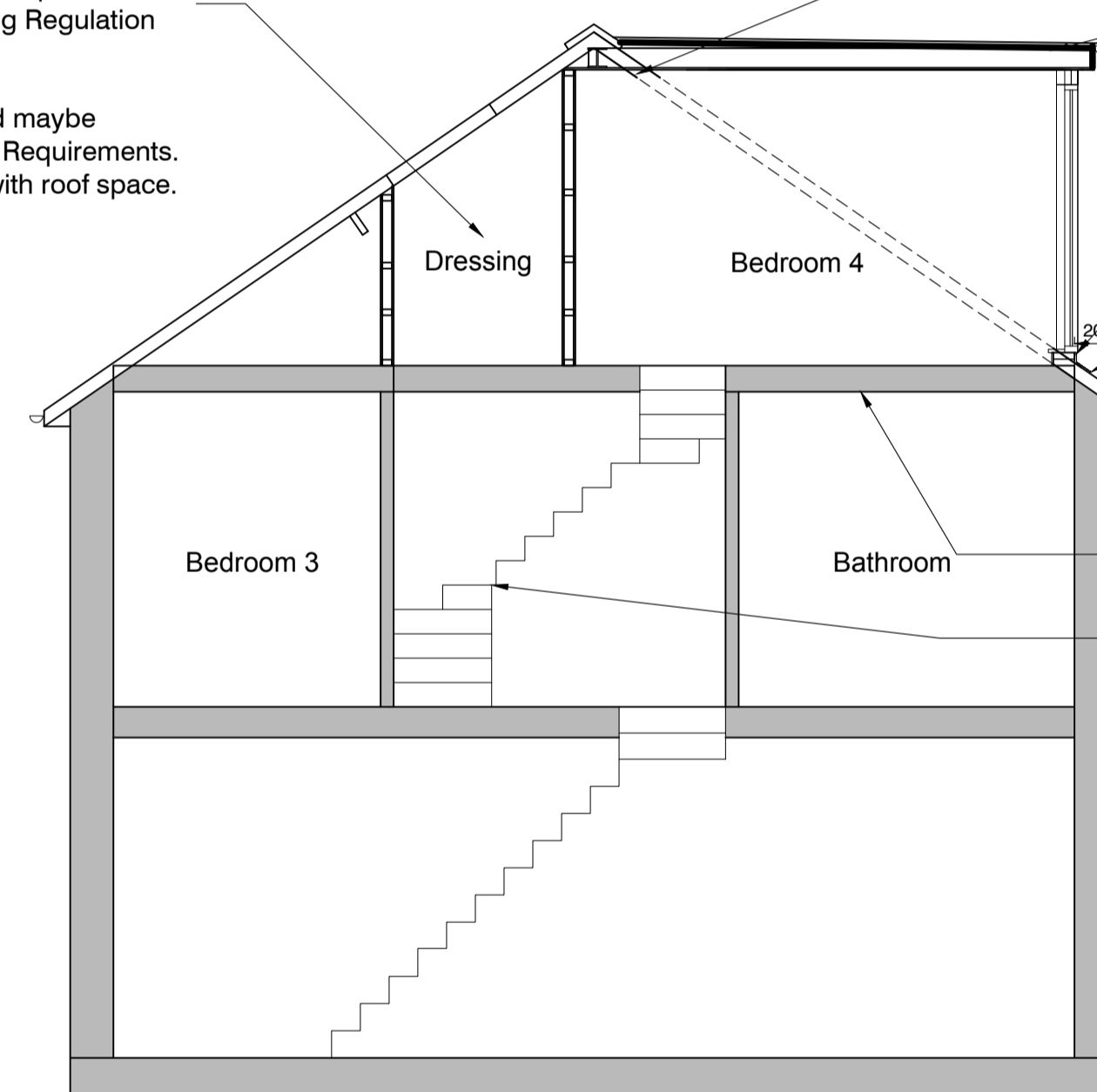
Proposed gable end roof with proposed 325mm cavity wall construction to achieve latest requirements for u value in compliance with building control requirements (0.18w/m2k) tbc.

NOTE: Mechanical ventilation ensuite by specialist contractor.

NOTE: Drainage from ensuite connected into existing SVP. All in accordance to drainage engineer's design and spec.

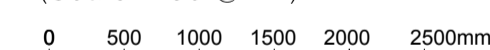
Note: Heights indicated nominally and are subject to structural engineers design and contractors preference of insulation specification to comply with Building Regulation Requirements.

Note: Layout indicated maybe adjusted to suit Client Requirements. And space available with roof space.



PROPOSED ILLUSTRATIVE SECTION

(Scale 1:50 @ A1)



ALL DIMENSIONS INDICATED TO BE CHECKED ON SITE

Proposed new steel beams to be installed all in compliance with structural engineers design and specification. Steel enclosed with plaster board & skim to achieve min 30 min fire resistance.

Proposed flat roof with sika sarnafil single membrane roofing felt by specialist contractor. Joist sizes and centers as per structural engineers design and specification.

Minimum 150mm code 4 lead flashing upstand maintained at roof abutment.

Critical dimension for LPA permitted development to be 200mm from line of existing wall as per latest lpa policy.

Proposed floor joists and steel support to be designed by structural engineer.

Prior to commencement of works contractors specialist joiner to carry out full survey of stairwell area to ensure minimum clearance for headroom of 2m for new staircase.

Position of proposed staircase may be adjusted to ensure minimum clearance for headroom of 2m for new staircase. Bedroom 03 reduced to accommodate stairs - dimension indicated to adjusted to suit site conditions.