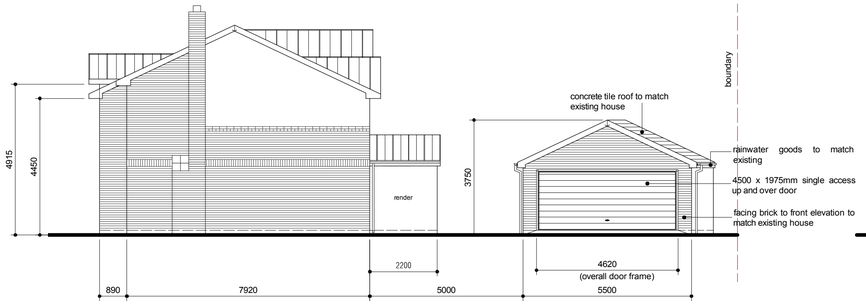
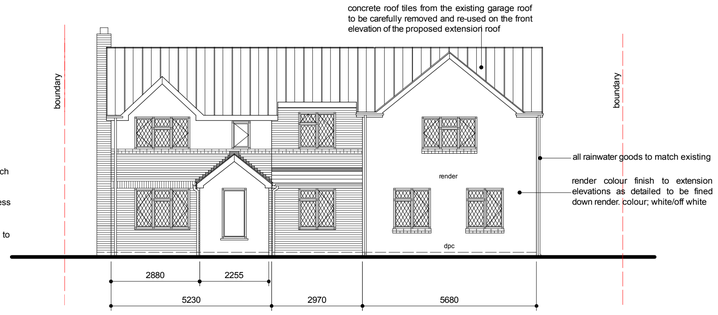


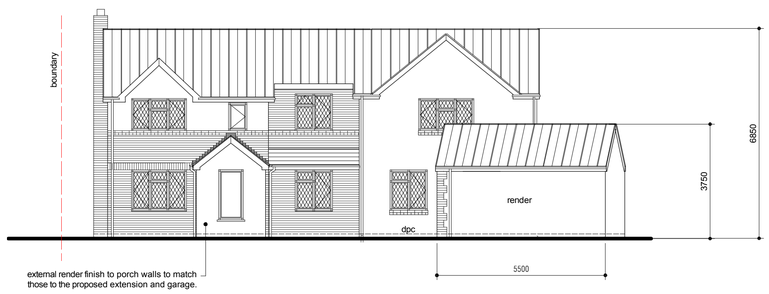
Proposed Side Elevation

Scale 1:100



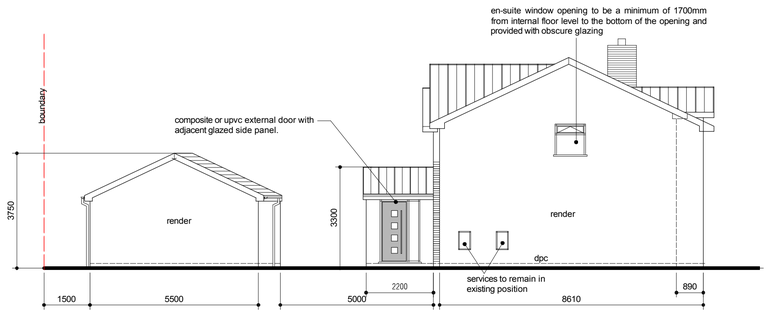
Proposed Front Elevation - (without garage)

Scale 1:100



Proposed Front Elevation - (with garage)

Scale 1:100

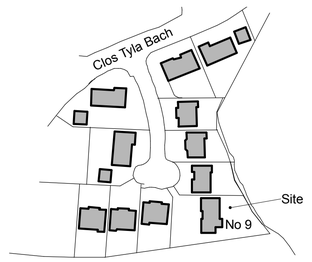


Proposed Side Elevation

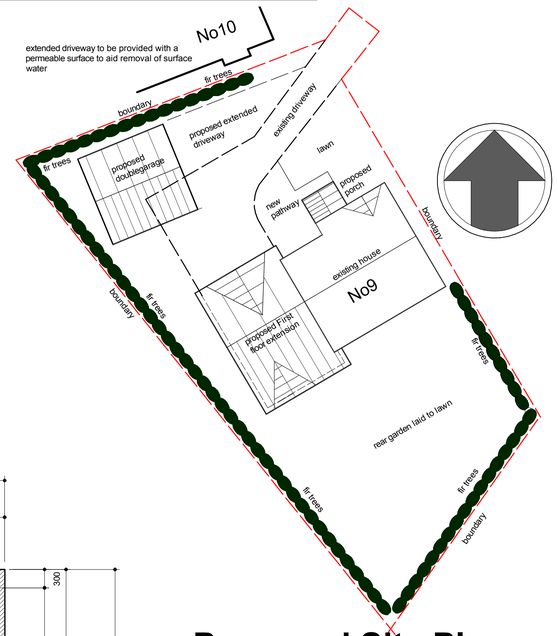
Scale 1:100

Proposed Rear Elevation

Scale 1:100

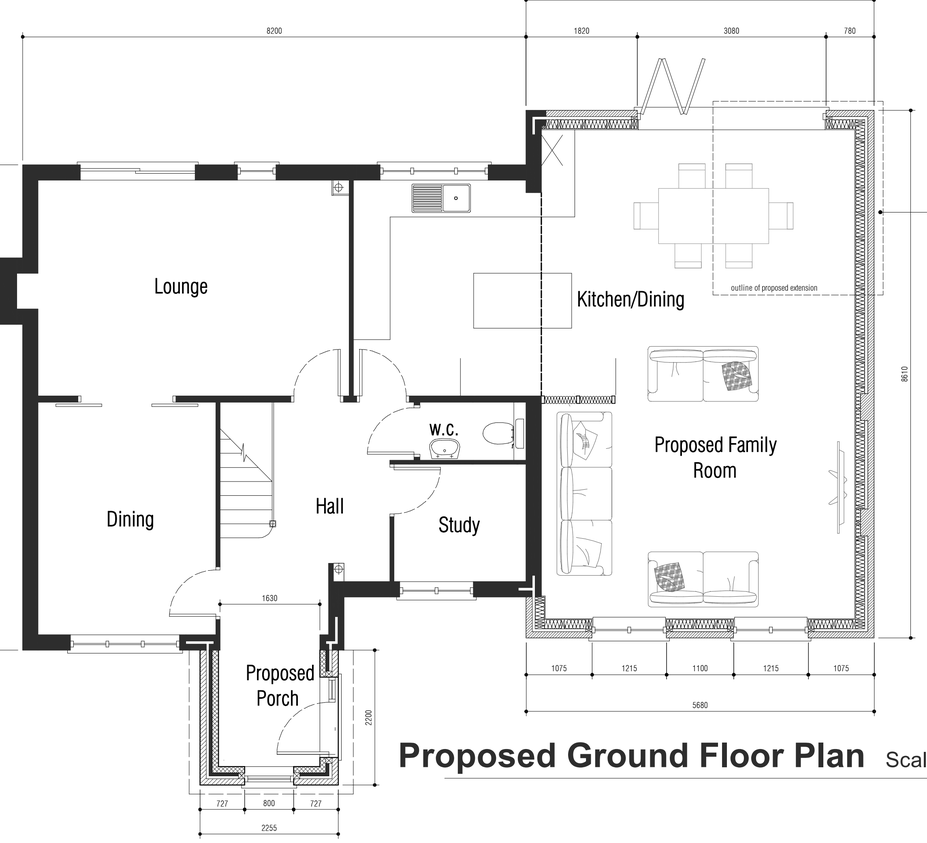


Location Plan Scale 1:1250



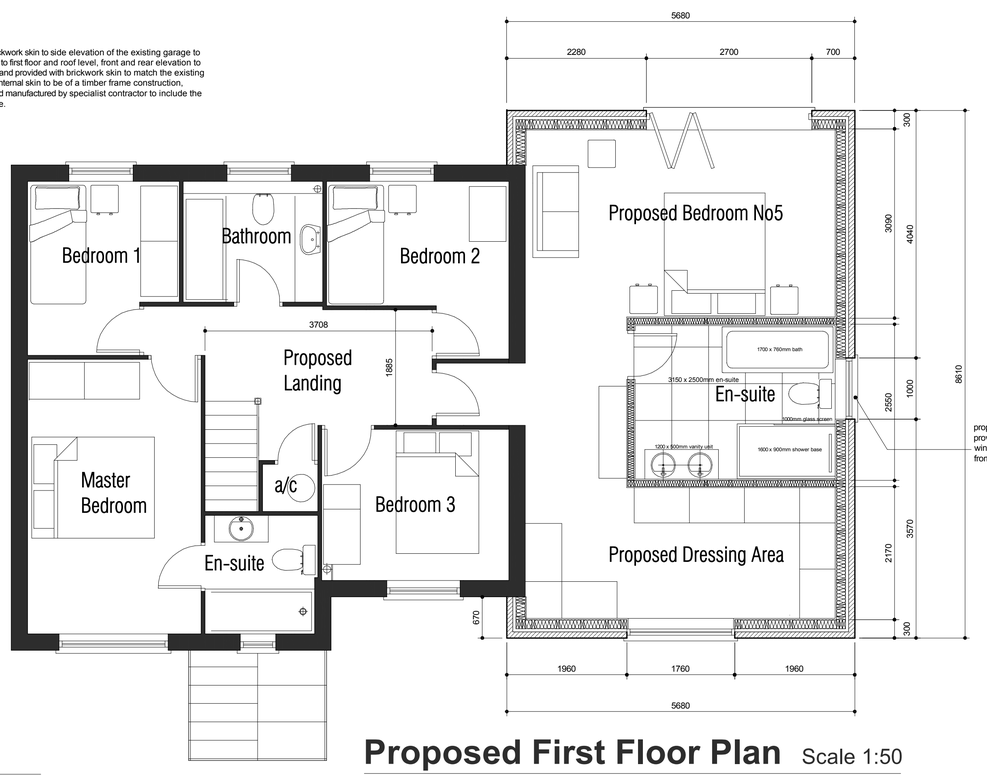
Proposed Site Plan

Scale 1:500



Proposed Ground Floor Plan Scale 1:50

External blockwork skin to side elevation of the existing garage to be extended to first floor and roof level, front and rear elevation to be removed and provided with brickwork skin to match the existing house. The internal skin to be of a timber frame construction, designed and manufactured by specialist contractor to include the roof structure.



proposed en-suite window to be provided with obscure glazing with window opening no less than 1700mm from internal floor level.

Proposed First Floor Plan Scale 1:50

B	depth of porch to be extended from 1750mm to 2200mm	25-08-2023
	reposition door to side elevation, provide window to front elevation, reduction to pitch of porch roof. all footprint and height dimensions to remain unchanged.	
A	ammendment to the proposed porch	14-03-2022
	Revision	Date

applicant
MR. S. KINNARD
9 CLOS TYLA BACH,
ST.MELLONS,
CARDIFF
CF3 0EJ

drawing: PROPOSED ELEVATIONS AND FLOOR PLANS

application address:
9 CLOS TYLA BACH,
CARDIFF.
CF3 0EJ

application:
PROPOSED PORCH AND DETACHED DOUBLE GARAGE
(OVER GARAGE EXTENSION AND GARAGE CONVERSION OMITTED FROM THIS APPLICATION).

drg. no. 02/SK/2022/B

date: September 2022