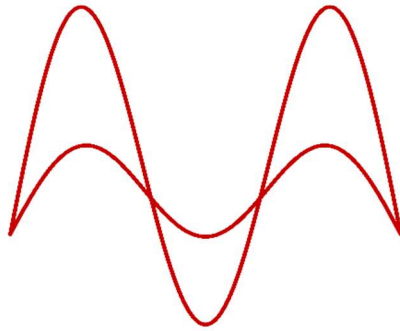


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Lime Tree Farm
Ipswich Road
Long Stratton
Norfolk

Design Access Statement

Document reference: 22-38-DAS-01-00

Revision:	Description:	Date:
00	Original Issue	14/02/2023

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1.0 Property Address

1.1 Lime Tree Farm
Ipswich Road
Long Stratton
Norfolk
NR15 2AX

3.0 Property Description

3.1 Lime Tree farm is situated approximately 1 mile due south of Long Stratton on the eastern side of the A140. The site is comprises several farm buildings, trees, gardens and the main farmhouse. The main farmhouse was constructed in two phases dating from 18th century and is grade II listed in 1976. Quoting from the Norfolk Heritage Explorer website the property is described as:

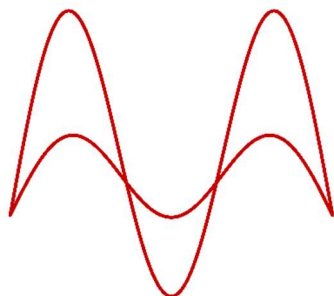
An early 18th century plastered clay lump house with an 18th or 19th century wing in painted brick. The house has brick chimney stacks and a 19th century pilastered doorcase.

Probably early 18th century. Plastered clay lump. Pantile roof with gable ends. Two storeys. Two widely spaced windows, three-light casements with later drip moulds, central early 19th century pilastered doorcase with panelled door. Adjoining south at right angles an 18/19th century wing, painted brick, brick dentil eaves, pantile hipped roof, two storeys, two windows facing south, casements, pilastered doorcase. Brick chimney stacks.

4.0 Proposed Works

4.1 The works the client wishes to carry out are summarised as follows:

1. Repairs to the timber frame section of the main farmhouse including under-pinning
2. Demolish and rebuild the lean-to bathroom on the eastern elevation to improve access and bring up-to current standards
3. Extend the kitchen on the eastern gable elevation
4. Construct a workshop/gym in the garden
5. Provide additional access from the A140



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5.0 Consultation

5.1 At present the client has consulted Mode Engineers relating to the condition of the existing property and the feasibility of the proposed developments. Prior to submission of the planning application relevant parties will be consulted.

6.0 Design & Access Components

6.1 The older timber framed part of the property is currently in state of disrepair with defects to the fabric and the structure which comprise its habitability presently and its structural stability going forward. Defects include but are not limited to:

- Compromised cross beam in the living (ref annex A)
- Absence of foundations and damp-proof course (ref annex A)
- Rotted timbers including the sole plate and tenoned timber posted (ref annex A)
- Impermeable OPC render causing cracking and damp ingress (ref annex A)
- Settlement to the north-west corner (ref annex A)

It's the owner's intention to carry out the remedial works for the items listed above. Clay lump infill would be replaced with hemp insulation and external carrier board rendered with a lime plaster. The external appearance would not be altered with existing features such as doors being repaired and windows replaced with matching alternative

6.2 The lean-to bathroom on the east elevation is a later addition, currently in state of disrepair and not performing its intended function. The lean-to is to be demolished and rebuilt with matching plan dimensions. Wider doorways providing disability access will be provided. Timber cladding, like that in place, will be used for the walls. The roof covering will be troughed metal sheeting, as is present.

6.3 The kitchen extension to the east gable elevation measures 4940 x 4040 mm on plan. Eaves height is 2500 mm, ridge height is 4380 mm and the roof pitch will match that of the existing roof. Material use will be sympathetic to the existing building; walls constructed of red flettons painted to match the existing property, clay pan tiles used for the roof. Opening between the existing property will be via existing window opening taken down to ground level.

6.4 Construction of a workshop and gymnasium in the garden beyond the rear of the property. The structure will be light-weight timber built off shallow foundations. Bounding dimensions are 7625 x 14285 mm, usable floor area of 72 m² and eaves height of 2790 mm. Vertical timber cladding with a section floor to ceiling glazing on the east elevation. Access for the delivery materials will provided via a new driveway. None of the tree on site will be affected.

6.5 Provision of new highway access to the south-east corner of the property on to the A140. The road is relatively straight along this section of the A140 with visibility in both directions. The hedge would be removed to create the access.

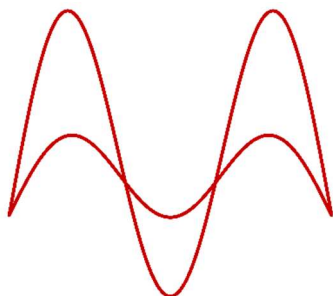
7.0 Historic Building Conservation

7.1 The failing oak beam in the living room, which is currently propped at mid span, will be replaced with a new oak beam. The original timber will be used elsewhere in the restoration of the property.

7.2 Conservation work to the timber frame will be carried out with due regard for the historic features of the property. The pilastered doorcase will be repaired and restored. Rotten timbers will be replaced with new timbers scarfed in. The introduction of a DPC will ensure the sole plate remains free from damp, which as been the cause of damage to the timber frame.

7.2 Introduction of a breathable building fabric will decrease damp in the property and seasonal variation in the moisture content of the timbers causing movement which damages finishes. Improved thermal performance will decrease the financial and environmental operating costs of the property.

7.4 Underpinning due to lack of substantive foundations will remediate the settlement in the north-west corner of the property and facilitate the introduction of an insulated floor slab.



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8.0 Annex A – Historic Building Record

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Record Details

NHER Number: 44398
Type of record: Building
Name: Limetree Farmhouse, Ipswich Road

Summary

An early 18th century plastered [clay lump](#) house with an 18th or 19th century wing in painted brick. The house has brick chimney [stacks](#) and a 19th century pilastered doorcase.

Images - none

Location

Grid Reference: TM 19331 90172
Map Sheet: TM19SE
Parish: [LONG STRATTON](#), SOUTH NORFOLK, NORFOLK

Full description

September 1976. Listed, Grade II.
Probably early 18th century. Plastered [clay lump](#). [Pantile](#) roof with [gable](#) ends. Two storeys. Two widely spaced windows, three-light casements with later dripmoulds, central early 19th century pilastered doorcase with panelled door. Adjoining south at right angles an 18/19th century wing, painted brick, brick [dentil](#) eaves, [pantile hipped roof](#), two storeys, two windows facing south, casements, pilastered doorcase. Brick chimney [stacks](#).
Information from (S1).
A. Cattermole ([NLA](#)), 13 April 2006.

Monument Types

- FARMHOUSE (17th Century to 21st Century - 1700 AD to 2100 AD)

Associated Finds - none

Protected Status

- Listed Building

Sources and further reading

--- Designation: Historic England. National Heritage List for England. List Entry 1153579.

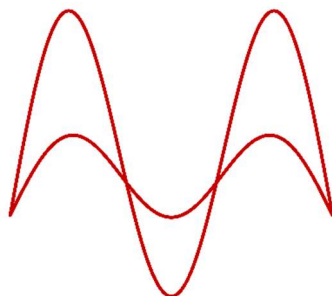
Related records - none

Find out more...

- [Parish Summary: Long Stratton \(Parish Summary\)](#)



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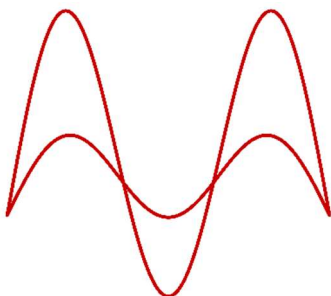
9.0 Annex B – Photographs



Figure 1 West Elevation



Figure 2 West Elevation



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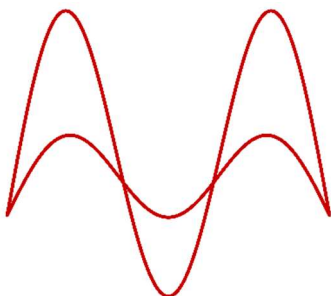
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Figure 3 East Elevation



Figure 4 East Elevation



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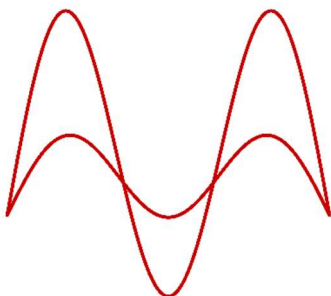
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Figure 5 North Elevation



Figure 6 South Elevation



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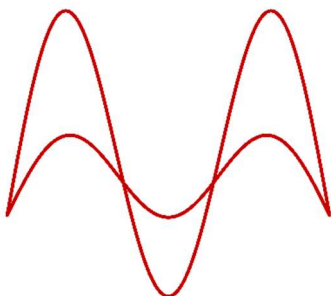
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Figure 7 Pilastered Door



Figure 8 Propped Beam



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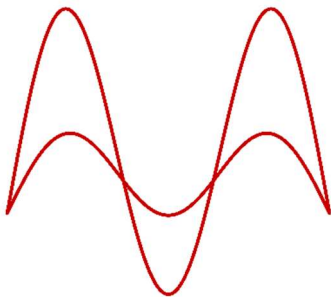
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Figure 9 Trial Pit - No Foundations



Figure 10 Cracking in North-West Corner



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