

FLAT GLAZED ROOFLIGHT:

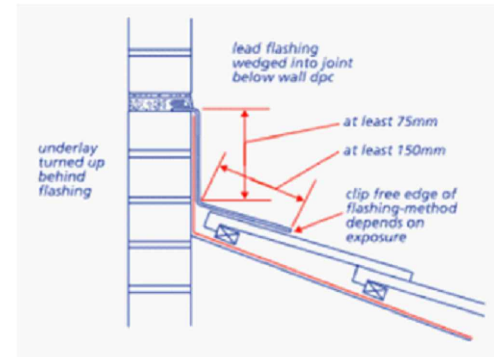
To specialist sub-contractor / manufacturers design. Including safety glass in accordance with Building Regulations - toughened outer leaf with laminated inner leaf. Double glazed argon filled units to achieve 0.16 U value. Conditional request for Building Regulation compliance.

BI-FOLDING DOOR:

Aluminium bi-folding door system to specialist subcontractors design / installation. Style to be to clients requirements. Laminated safety glass in accordance with BS 6206. 28mm argon filled cavity and soft low-e coating B and C glazing.

Anthracite smooth tiles to match existing in colour (min. pitch and overlap to match manufacturers recommendations)

Rendered finish



SINGLE STOREY REAR EXTENSION ROOF: LEAN TO

Also see detail on drg. 04/304 .
 47 x 100mm C16 rafters at 400mm centres.
 47 x 100 mm C16 flat roof joists @ 400mm centres.
 Timber bearer to structural calculations.
 New hip to structural engineers calculations.
 All timber sizes to structural engineers calculations and details.
 Provide lateral restraint straps at 2 metre centres.
 Provide 100 x 50mm wall plate, with holding down straps (30 x 5mm mild steel straps at 900mm centres).
 Install 50mm K107 Kingspan kooltherm pitched roof board between the rafters and 87.5mm K118 Kingspan kooltherm insulated plasterboard below with 3mm skim finish.
 Min. 50mm air gap to top of insulation to be maintained.
 Roof void to be ventilated and provide min. 25mm eaves ventilation.
 All roofs to achieve min. U-value of 0.15W/m²K.
 Tiles to match existing in colour, on 38 x 25mm battens, on roofing felt.
 Fascias and soffits to match existing.



PROPOSED REAR ELEVATION

NOTE:
 CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

NOTE:
 PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
 Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf

Building Contract
 It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
 The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
 Materials to match existing.
 These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV



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PROPOSED

EXTENT OF PROJECT:
PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION; FORMING UTILITY AND OPEN PLAN KITCHEN / DINING / FAMILY AREA. PROPOSED FIRST FLOOR FRONT EXTENSION; FORMING BEDROOM. NEW ROOF OVER ENTRANCE. RENDER FINISH TO REAR ELEVATION.

CLIENT DETAILS:
**MRS S DON.
 14 ACORN WAY,
 POOL IN WHARFEDALE, OTLEY.
 LS21 1TY.**

DRAWING TITLE:
PROPOSED REAR ELEVATION.

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