

**FOUNDATIONS**

On completion of site strip ensure that site of proposed extension is level, and completely free from all vegetable soil and organic matter. Excavate to reduced levels.

Trial holes to be conducted by main contractor prior to commencement of works on site to ascertain ground conditions and existing garage foundations.

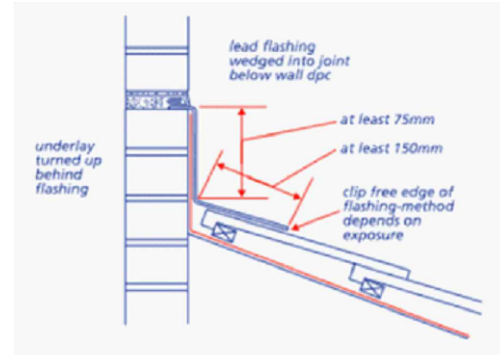
Size and depth of all concrete foundations to be agreed on site with the Building Inspector and Structural engineer, and to comply with Building Regulation A1-2, F2 and BS EN 1997-1:2004.

Foundations to external cavity walls to be concrete strip footings at 600mm x 225mm and to single leaf wall 450mm x 225mm at min 900mm below ground level on suitable bearing strata and constructed at the level of the existing house. Engineering advice to be sort if existing foundations above min depth or affected by trees and shrubs. All concrete to be min. grade C30.

All alternative non strip foundations and retaining walls to be to an approved design by Structural engineer.

Foundation to be taken below any drainage channels. Min 150 x 100mm concrete lintels to span opening to structural engineers approval.

For details refer to **Structural Design drawings and specification.**



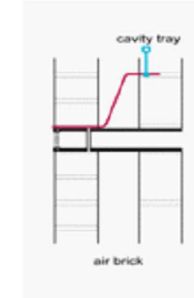
**SINGLE STOREY FRONT EXTENSION ROOF: LEAN TO**

New purlin to structural engineers calculations. 47 x 150mm treated softwood C24 rafters at max. 400mm ctrs. (max. span 3.21m) (slope of roof 15° or more but less than 22.5°) supported at eaves on wall plates fixed with ms galvanised straps 30 x 5 x 1200mm at 2m centres to at least 3 rafters turned down the inner leaf of the cavity wall. Rafters to be supported at abutment to existing dwelling via wall plate; rawl bolted to blockwork at 400mm centres. All wall plates to be treated C16 softwood 100 x 50mm unless specified differently by the Engineer. All abutments should be weatherproofed with code 4 lead flashings, and code 3 soakers. Flashings should be no more than 1500mm in length and dressed 25mm into a mortar joint. Install 100mm K107 Kingspan kooltherm pitched roof board between the rafters and 37.5mm K118 Kingspan kooltherm insulated plasterboard below with 3mm skim finish. Min. 50mm air gap to top of insulation to be maintained. Roof void to be ventilated and provide min. 25mm eaves ventilation.

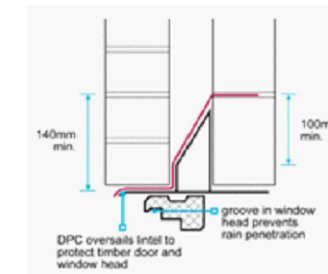
**CAVITY TRAYS**

Provide continuous horizontal cavity tray around the building perimeter, minimum of 150mm above the finished ground or paving level.

Joints to have 100mm laps and laid on a bed of mortar.

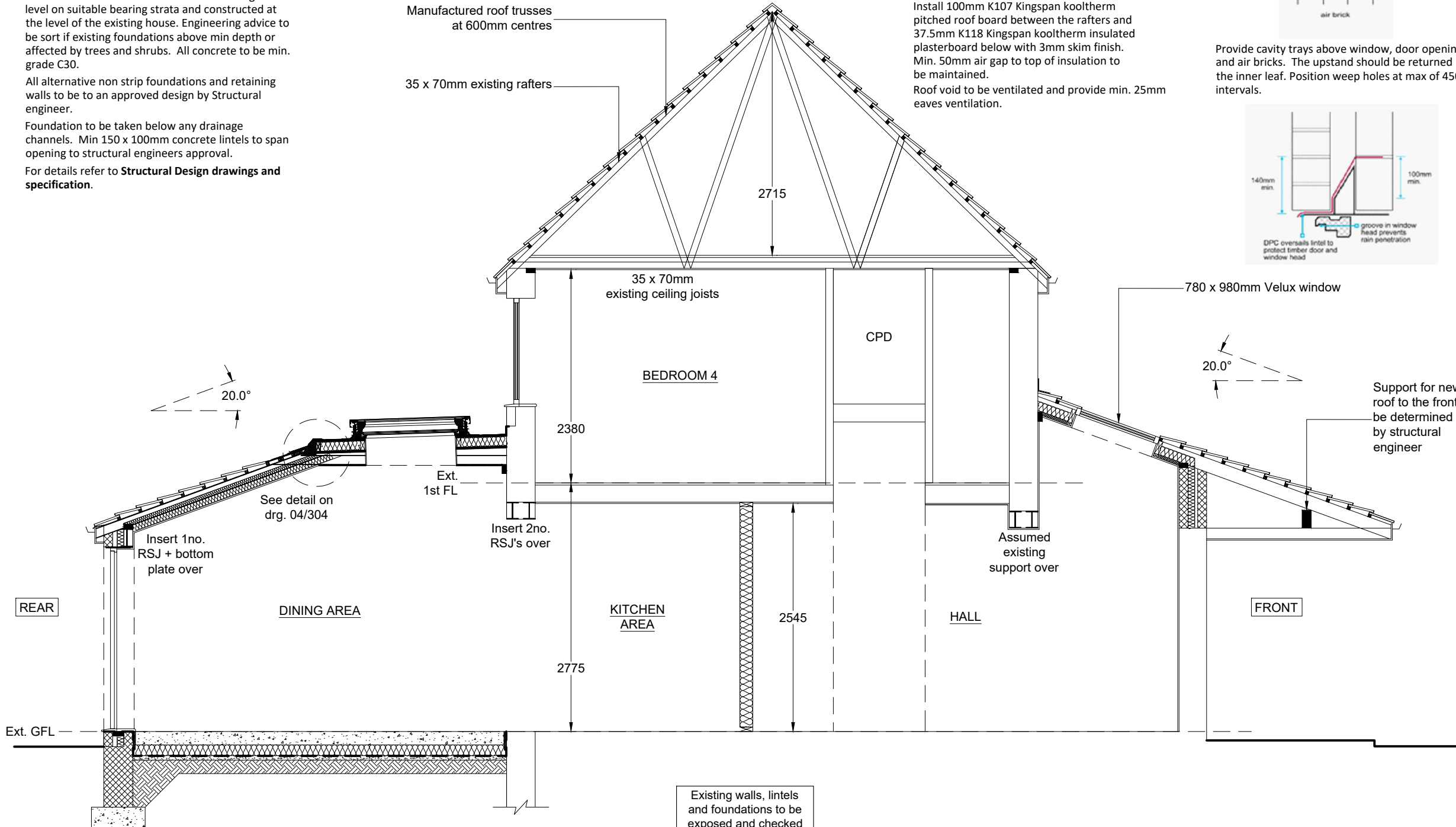


Provide cavity trays above window, door openings and air bricks. The upstand should be returned into the inner leaf. Position weep holes at max of 450mm intervals.



Manufactured roof trusses at 600mm centres

35 x 70mm existing rafters



**PROPOSED SECTION C-C**

**EXTERNAL STEPS**

Any external steps to have equal risers of between 155mm and 220mm used with goings of between 245 and 260mm. Maximum pitch 42°.

Handrail fixed at 900mm measured vertically above pitch line.

Maintain clear landings to top and bottom of stairs.

**NOTE:**  
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

**NOTE:**  
PLEASE DO NOT SCALE FROM THIS DRAWING.

**Party Wall Act**  
Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf

**Building Contract**  
It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

**CDM 2015 Regulations**  
The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

**GENERAL NOTES**  
Materials to match existing.  
  
These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV

01943878398

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**PROPOSED**

EXTENT OF PROJECT:  
**PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION; FORMING UTILITY AND OPEN PLAN KITCHEN / DINING / FAMILY AREA. PROPOSED FIRST FLOOR FRONT EXTENSION; FORMING BEDROOM. NEW ROOF OVER ENTRANCE. RENDER FINISH TO REAR ELEVATION.**

CLIENT DETAILS:  
**MRS S DON,  
14 ACORN WAY,  
POOL IN WHARFEDALE, OTLEY.  
LS21 1TY.**

DRAWING TITLE:  
**PROPOSED SECTION C-C.**

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