

TWO STOREY FRONT EXTENSION ROOF - OVER BEDROOM

To be constructed in roof trusses to specialist design and installation.

All perimeter wall plates fixed with MS galvanised straps 30 x 5 x 1200mm at 2000mm ctrs. Provide lateral restraint straps at maximum 2000mm ctrs.

Install 2 x 150mm Superglass Contract Mat 44 mineral insulation laid in 2 no. perpendicular layers of 150mm.

Maintain minimum 50mm ventilation gap over.

Roof void to be ventilated and provide min. 25mm eaves and ridge ventilation.

All roofs to achieve min. U-value of 0.15 W / m² K.

ROOF GENERAL

All roofs to achieve min. U-value of 0.15 W / m² K.

Roof voids to have min. 25mm eaves ventilation with ridge tile vents.

Ridge system should be a dry fix system or mechanically fixed and wet system. System to be installed in accordance with BS8612.

ROOF LIGHT

Install 1no. 780 x 980mm Velux centre pivot roof light to pitched roof complete with flashing kits, located as indicated with trimmers cut from rafters to head & foot, to be installed fully in accordance with manufacturer's instructions.

Double up rafters at sides of all roof lights.

DOORS AND WINDOWS

All new windows and external doors to be brown UPVC to match existing. Windows to be fully weather sealed, glazed with EPDM gaskets, locked with Espagnolette locking system and key dead locks.

Maintain 750mm high x 450mm wide escape windows - equalling o/a clear opening of 0.33m² and cill height between 800 - 1100mm from finished floor level .

All new internal timber doors to ground floor & first floor to have minimum 750mm clear openings.

EXTENSION GLAZING

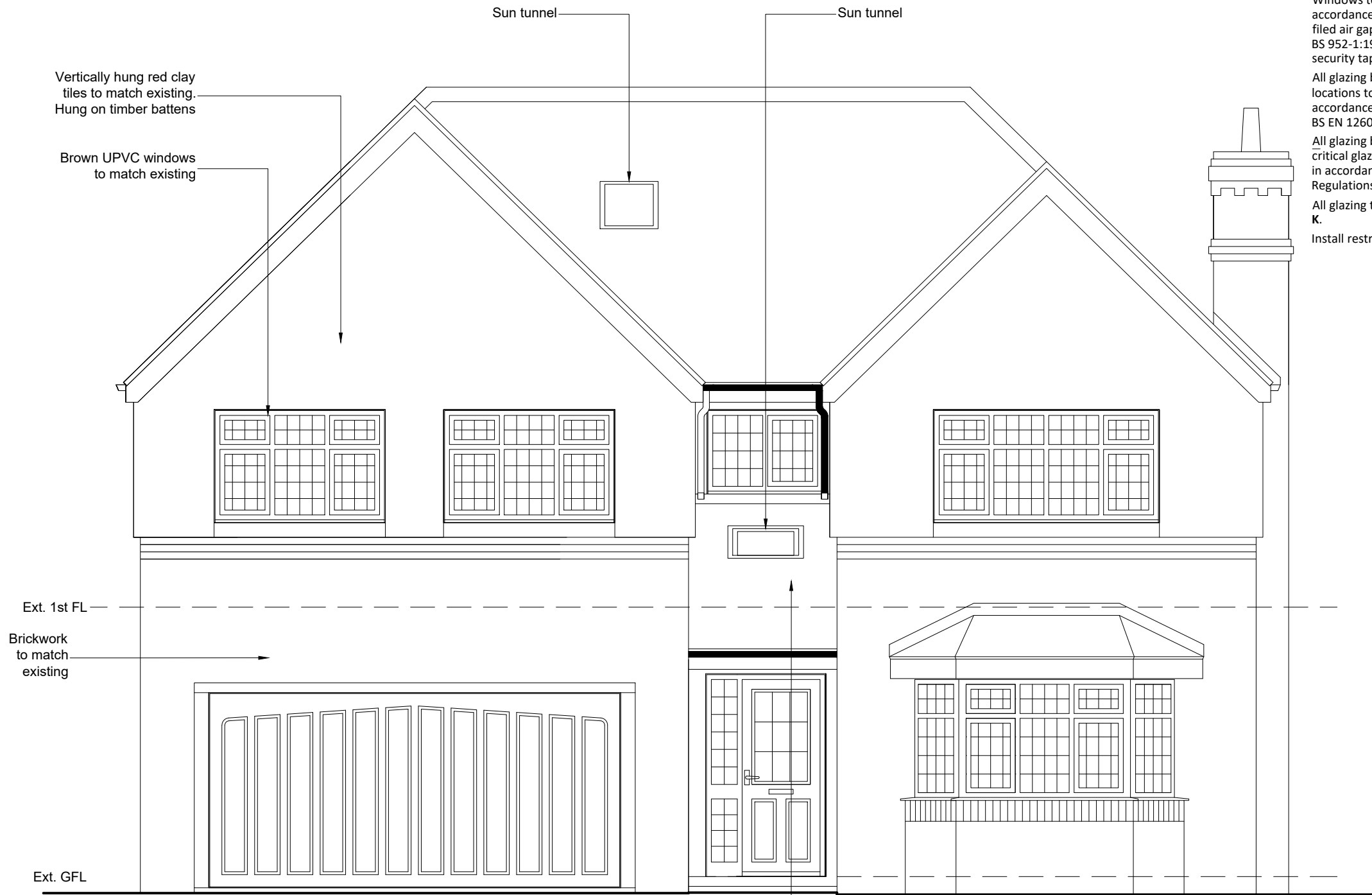
Windows to be Pilkington 'K' glass double glazed in accordance with BS 6262-4:2005, with 16mm argon filled air gap and soft low E coating, manufactured to BS 952-1:1995, factory fitted with double-sided security tape.

All glazing between FFL and 800mm in critical glazing locations to be toughened / laminated safety glass in accordance with Part K4 of the Building Regulations, BS EN 12600 and BS 6206.

All glazing between FFL and 1500mm in doors, in critical glazing locations to be toughened safety glass in accordance with Part K4 of the Building Regulations, BS EN 12600 and BS 6206.

All glazing to archive minimum U-value of 1.4 W/m² K.

Install restrictors where required.



PROPOSED FRONT ELEVATION

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf

Building Contract
It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV



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PROPOSED

EXTENT OF PROJECT:
PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION; FORMING UTILITY AND OPEN PLAN KITCHEN / DINING / FAMILY AREA. PROPOSED FIRST FLOOR FRONT EXTENSION; FORMING BEDROOM. NEW ROOF OVER ENTRANCE. RENDER FINISH TO REAR ELEVATION.

CLIENT DETAILS:
**MRS S DON.
14 ACORN WAY,
POOL IN WHARFEDALE, OTLEY.
LS21 1TY.**

DRAWING TITLE:
PROPOSED FRONT ELEVATION.

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