



**Part Discharge of Condition 3 and
Discharge of Condition 5
of
Listed Building Consent, DC/22/02688**

for

Roof Repair Works

to

**Woodlands Farm
Bildeston Road
Ringshall
IP14 2LY**



RICS

14, Cornard Road
Sudbury
Suffolk CO10 2XA

Revised 20th October 2023

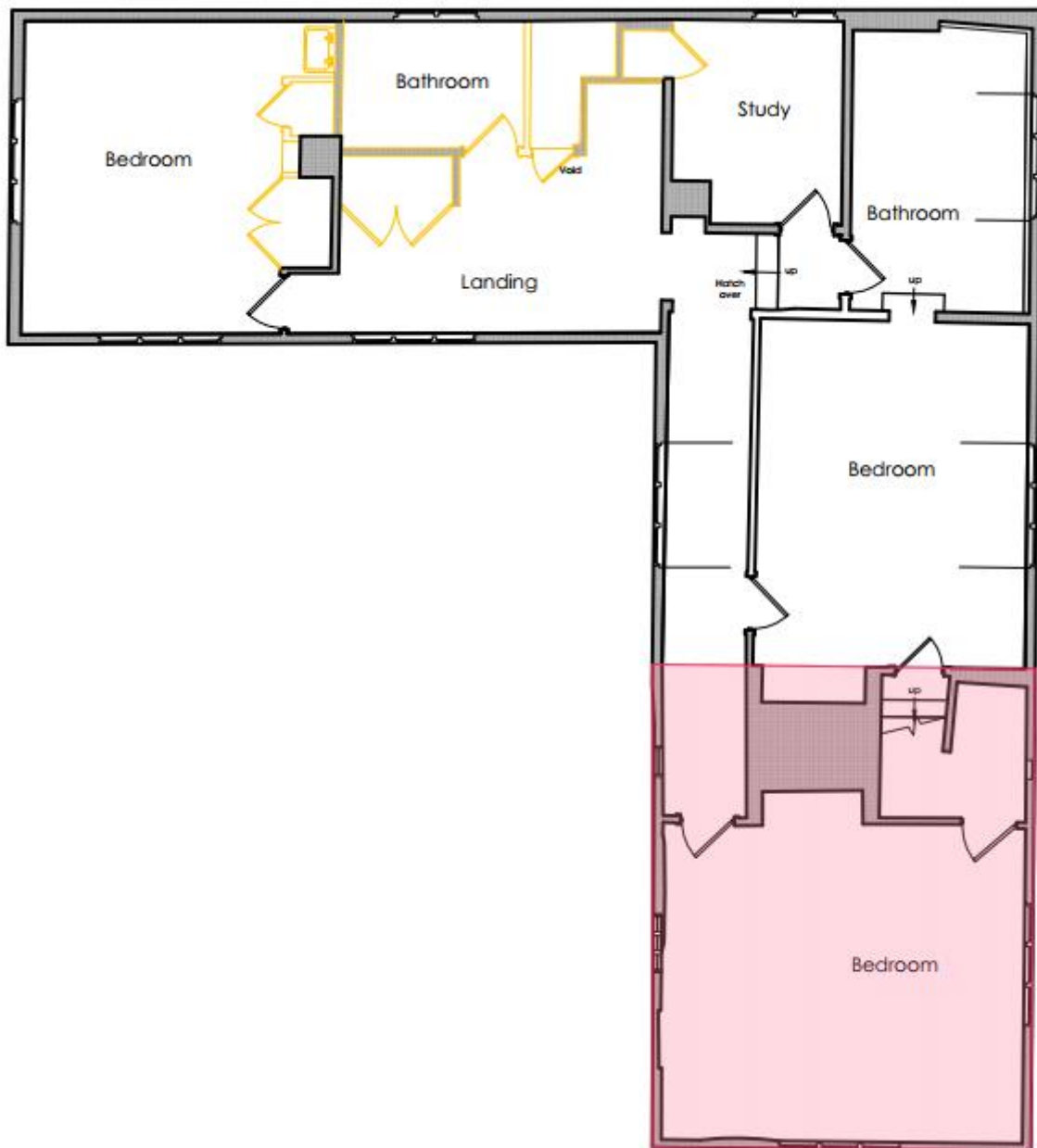
Condition 3

INTRODUCTION

This condition required details of repairs required to the existing roof structure to be agreed.

This application is concerned solely with the higher roof area, to the C17 Range.

Following removal of the existing clay peg tiles to this section the structure was found to be in moderate/poor condition. The affected area is shaded pink below:



EXISTING CONSTRUCTION

Following removal of the roof tiles the roof slope were found to have a bitumen felt underlining, as found on the lower roof section.

However, the roof structure to this part appears original with pairs of rafters, half lapped and pegged at the ridge. Rafters are cut onto the wall plate with shaped sprocket pieces added to the tops to form the rafter feet and roof overhang. There are C19/20 modifications with softwood levelling pieces fixed on to of the rafters.

There is significant wet roof decay to rafter feet and supplementary levelling pieces, Decay to the wall plate and rafters is limited although there is evidence or wood boring insect infestations. Also around the chimney caused by long standing leaks.





REQUIRED REPAIRS

Advice from the structural engineers is that the existing roof framework is reasonably sound but requires strengthening. Their email advice dated 15th August 2023 is attached to this application.

Essentially this proposes new softwood rafters positioned beside the existing rafters, new horizontal softwood collars besides existing ceiling joists, together with steel strapping, diagonally across the rafters to both roof slopes.

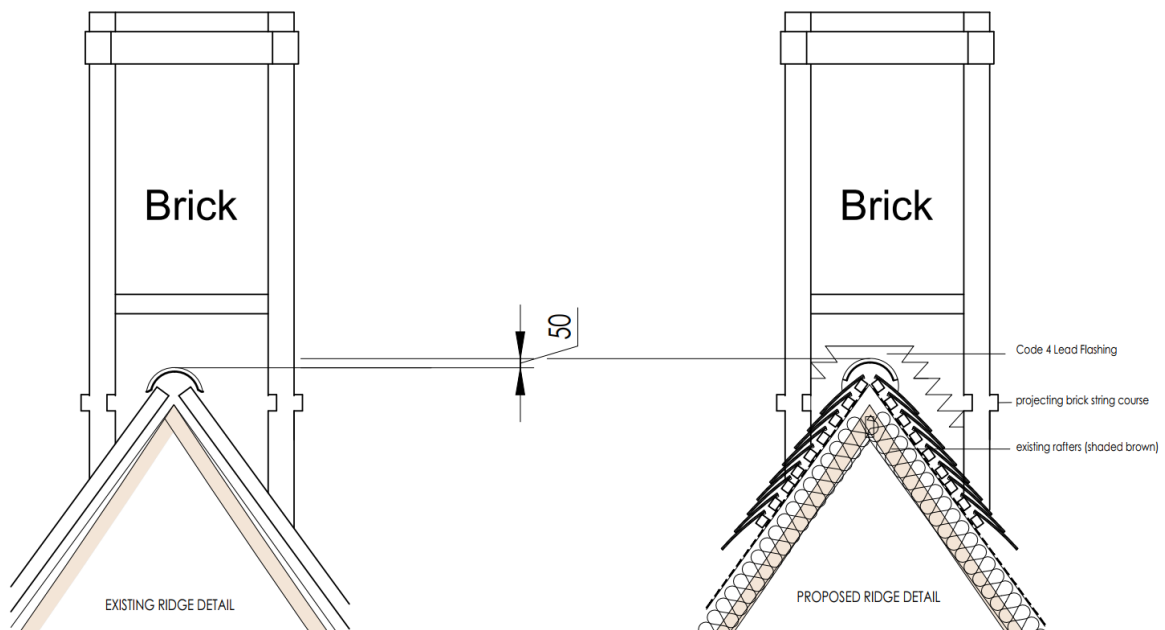
A new Code 5 lead flashing with Code 3 lead soakers will be provided to the roof abutment around the chimney stack.

Following comments from the Heritage Officer on application DC/23/03972, the engineer has provided additional justification. Email dated 19th October, attached to this revised application.

ROOF PROFILE

The existing roof profile was flat. The existing, 'deflected' rafters, had been levelled with softwood firring pieces placed on top. These were not continuous length, but pieced section, and suffered wet rot decay and rusted nail fixings. They were therefore not suitable for re-fixing tile battens.

Given the structural engineers advice, the new supplementary rafters ensure a safe, stable roof construction and fixing for the roof covering. Although the roof surface is marginally increased, this is estimated to be 50mm only.



This amounts to approximately 1 brick course so the chimney projecting string courses will remain unaffected and visible. This is currently approx 250mm above the existing roof ridge tiles. At the chimney abutment, approx. 450mm.

The existing, original roof structure remains in place and unaffected.

The new rafter depth is the minimum structural design requirement.

Condition 5

This required insulation details to be approved.

The attached drawing No 21/205-15A illustrates the eaves details including insulation placement. This is drawn for the C17 Range, higher roof part. This will be provided between sloping rafters, over horizontal attic ceiling and to eaves.

Insulation details to the lower roof will be identical.

Sheepswool Insulation is to be provided between rafters, 150mm thick Thermafleece Cosywool Slab. These have some rigidity to prevent slumping to rafter slopes.

Sheepswool, Thermafleece quilt, will be installed above the flat ceiling to the attic room and to eaves voids.

To the C17 Range, this will be placed above the existing lath and plaster ceiling which is to remain.

To the lower roof section it will be between rafters, although as this is a new roof, it will have a skimmed plasterboard ceiling, as other new linings in the building.