



# Contents Page

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## 1.0 Introduction

1.1 Introduction

## 2.0 Site & Location

2.1 Overall Context

2.2 Proposal Site

## 3.0 Planning History

3.1 Planning History of the Proposed Site

3.2 Local Searches of the Proposed Site

## 4.0 The Proposals

4.1 Scale and Appearance

4.2 Impact on Neighbouring Properties.

## 5.0 Conclusion

5.1 Conclusion

## 6.0 Heritage Statement

6.1 Introduction

6.2 Site

6.3 Impact of Proposal on Surroundings

## Our Commitment

In recent years we understand that the LPA are currently experiencing significant challenges around their capacity and case-load in Development Management, Trees and Enforcement functions, whilst also preparing a new local plan. We understand that it is because of these factors, combined with the recent global pandemic and an increase in planning applications, projects within the planning system may take longer than the allocated time expected.

To work as efficiently as possible with the LPA, we will be actioning the following procedures:

- Responding to any queries from the planning officer or relevant parties, promptly.
- Meeting the planning officer on site to have an efficient project meeting.
- Providing only necessary information in our supporting planning documents.
- Following up with negotiations to address any concerns with planners following any pre-app response and prior to a householder or full planning application.

We endeavour, to do all we can to ensure the LPA and Mattinson Associates have a productive, helpful relationship and we respectfully ask that the LPA too adopts a similar ethos.

Lindsay Mattinson,  
Director of Mattinson Associates



## 1.0 Introduction

### 1.1 Introduction

A previous planning permission (Ref: 22/01214/HOU) was granted for a replacement roof at Ellacombe, Circular Road, allowing for additional living space on the second floor, including roof lights and recessed balcony. Following correspondences MA has had with Ann Braid, it was confirmed via an email Ann sent on the 7th of September that she was happy in principle 'for the roof lights they would be better on the front I think. Side facing roof-lights could be acceptable, ideally if they would comply with usual pd restrictions and were a) obscure glazed, and b) non-openable, unless the opening section was more than 1.7 metres above floor level.'

To address this issue MA proposes to locate the conservation roof-lights on the front of the roof, as it is the preferred location, as demonstrated in the adjacent drawings. This alteration significantly improves the living experience while preserving the existing level of privacy and ensuring that neighbouring properties are not overlooked.

Although these proposed changes are relatively minor, discussions with the planner have determined that a planning application is required, rather than a simple amendment to the existing application.

## 2.0 Site and Location

### 2.1 Overall Context

The property is located on Circular Road, Seaview, a coastal town located on the North East side of the Isle of Wight. Seaview is a unique village with extensive views across the sea and Solent.

### 2.2 Proposal Site

Ellacombe, a spacious and generously-sized detached house, is prominently situated on a plot set back from the road, offering a tranquil and private setting. Over time, the property has undergone extensions to the west and south (rear), expanding its living space to accommodate evolving needs.

## 3.0 Planning History

### 3.1 Planning History of the Proposed Site

Planning Reference: 22/01214/HOU

Proposed replacement roof to accommodate living accommodation at second floor level to include roof light and recessed balcony

Decision: Granted  
Decision Issue Date: 27th January 2023

### 3.2 Local Search of the Proposed Site

The local search conducted on the proposed site has revealed the following key findings:

- Conservation Area 11
- SPA-Buffer

- Flood Risk: the property is not in close proximity to any identified flood risk areas.

Overall, the local search does not indicate any significant adverse issues related to the property. However, it highlights the need to consider the conservation area status.

## 4.0 The Proposals

### 4.1 Scale and Appearance

Our proposal aims to enhance the living experience and optimize the amount of daylight entering the guest bedroom and guest bedroom/office location on the second floor. To achieve this, we propose changes to the roof design to include conservation roof lights located on the front of the roof. This alteration will ensure the privacy of the neighbouring properties and avoid any increased overlooking concerns.

It is important to emphasize that the proposed alterations are modest in nature and will have minimal impact on the character and appearance of the dwelling, and as already mentioned MA has had previous discussion with the planning officer Ann Braid who was happy in principle with the conservation roof-light to be located on the front of the roof.

### 4.2 Impact on Neighbouring Properties.

The proposed changes will have minimal impact on neighbouring properties, and the proposed location of the conservation roof-lights reduces potential overlooking concerns, ensuring privacy for the neighbours.



Fig 1: Proposed North East Elevation - Not to scale

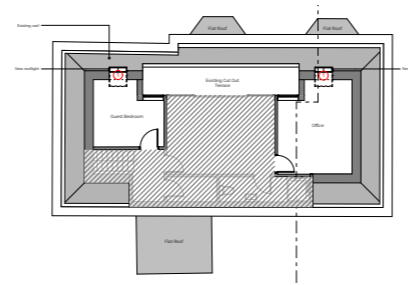


Fig 2: Proposed Second Floor Plan- Not to scale

## 5.0 Conclusion

### 5.1 Conclusion

Based on the comprehensive assessment outlined in this statement, it is evident that the proposed alterations have been carefully considered and designed to meet various criteria and constraints. We firmly believe that these criteria have been successfully addressed, and the proposed changes will make a positive contribution to the built environment and adhere to the planning officers previous comments.

The key points supporting this conclusion are as follows: Minimal Negative Impact: The proposal has been designed to ensure that there will be no increase in overlooking, and privacy of neighbouring properties will be maintained.

Aesthetically Pleasing and Positive Streetscape: The proposed conservation roof-lights are aesthetically pleasing and will have a positive impact on the overall street-scape.

Compliance with Planning Policies: The proposals align with the National Planning Policy Framework (NPPF) and contribute to the conservation and enhancement of the historic environment. Furthermore, they are in line with the Island Plan Core Strategy (IPCS), making a positive contribution to the local character and the surrounding environment.

It is important to highlight the modest nature of the proposed alterations and their limited impact on the character and appearance of the dwelling. By introducing the conservation roof-lights more natural light will enter the proposed second floor and create a pleasing living environment. Importantly, this will be achieved without compromising the privacy of neighbouring properties or significantly altering the original character and appearance of the dwelling.

## 6.0 Heritage Statement

### 6.1 Introduction

The purpose of this heritage statement is to outline the character of the property, Ellacombe, and the conservation area in which it is set. This statement will form part of the justification to install new conservation roof lights within the roof at Ellacombe Circular Road.

### 6.2 Site

6.2.1 Ellacombe is located on Circular Road in the Seaview Conservation Area, particularly the Historic Core. The proposed change is to install two new conservation roof lights within the roof.

6.2.2 The proposed new conservation roof-lights will be designed to be sympathetic to the existing property and the surrounding conservation area, without compromising the neighbours privacy.

### 6.3 Impact of Proposal on Surroundings

6.3.1 The proposal uses conservation roof-lights as per the image that are in keeping with those used in the conservation area, and all design decisions have been made to complement this beautiful traditional home.

6.3.2 The roof lights will be equipped with blinds to effectively minimise light pollution during the night-time hours.

6.3.3 The impact of the proposal on the surrounding area is negligible and the alteration would be sympathetic to the existing building and neighbourhood. It would not drastically change the current aesthetic of Ellacombe nor the environment in which it sits, while preserving the existing level of privacy and ensuring that neighbouring properties are not overlooked.



Fig 3: Conservation Roof-light