

General Construction Notes

THESE ARE NOT WORKING DETAILS. They have been produced solely for the purpose of making Local Authority Applications and do not form part of any CDM requirements. Build to Plans are not the Principal Designers for the Works. Notes are to be read in conjunction with the details shown on Drawing 2023.39; Manufacturers' Specifications and on the separate Structural Engineer's Calculations and Design Details.

All work must be carried out in a proper workmanlike manner and in accordance with all British Standards, Codes of Practice and Manufacturers' specifications. All details and Dimensions to be checked and verified on site BEFORE commencement. DO NOT SCALE. Carry out all works necessary, associated and required to enable the completion of the works indicated on the drawings whether particularly included in these Construction Notes or not.

Enabling Works and Alterations
Remove the existing conservatory complete and cart away. Remove existing walls, form new openings as indicated on the drawing including new lintels and making good. New steel beams and support padstones to be designed and detailed by Structural Engineer. Steelwork to be encased in plasterboard and skim to provide min 30 minute fire resistance.

Foundations to New External Walls
Carry out a scan of the existing garden etc as required to establish any underground services prior to excavations and protect/divert as necessary. New concrete deep strip foundations; standard mix complying with current standards (min GEN 1) adequately compacted and laid on sound trimmed trench bottoms. Stepped to suit site levels. Min. widths 600mm to kitchen extension, 450mm to porch/wc. Depth to be confirmed on site with Building Inspector. Particular regard shall be paid to structure where there are trees on or near the site. Additional works in such cases shall be in accordance with NHBG chapter 4.2 and as agreed on site with the Building Inspector.

New Ground Floor Slabs (U value 0.18 W/m2K)
Fill, spread, level and compact crushed hardcore in max 150mm layers to suit site levels, bladed with sand. Cover with 1200g polythene DPM well lapped at joints and carried up against external walls to marry with DPC. Min. 100mm thick concrete sub-floor. Lay min. 100mm Celotex GA4100 insulation, covered with 500 gauge vapour as VCL. Min 65mm thick fibre re-inforced cement and sand screed. Floor level to match existing dwelling. Provide 25mm perimeter insulation to floor screed. Incorporate underfloor ducts to extend any existing floor ventilation.

New External Walls (U value 0.18 W/m2K)
Kitchen Extension: Cavity wall built off top of foundations in two skins of 100mm brickwork - external leaf in red brickwork. DPC to both skins min. 150mm above external ground levels. External levels to be adjusted as necessary. Cavity walls above DPC to consist of:- External leaf of 100mm facing bricks to side wall; rear wall to be of 100mm blockwork suitable for the applied external render finish. Internal leaf to be 100mm Celcon Solar 2.9N/m2 blocks or equal. Min. 115mm cavity insulated with full fill Celotex Thermaclass 21 installed strictly in accordance with manufacturer's specification. Extend insulated cavity construction to top of parapet wall and cap with creasing tile and brick on edge or concrete coping. Provide cavity tray across cavity of parapet wall with weepholes. Bond extension to existing with Furix (or similar) profiles. Build in stainless steel wall ties at 900mm centres horizontally and 450mm ctrs. vertically - staggered. Close cavity at reveals with insulated closer, vertical DPC and extra ties to each block course. Insulated steel lintel over bifold doors to be designed and confirmed by Structural Engineer including end bearings and cavity trays with weep holes as BS5628 pt. 2.

Roof to Kitchen Extension (U value 0.15 W/m2K) - to conform to BS6229:2003.
Timber wallplate fixed to top of walls and secured with galv straps at max. 1800mm centres. New 47 x 125mm C24 flat roof joists at 600mm centres. Provide trimming and insulated upstand to new rooflight. Joists to be securely fixed to new wallplates on new external walls. At abutment with the existing dwelling the joists are to be supported in joist hangers fixed to timber bearer bolted to existing external wall with M12 bolts at 600mm centres. Fix firming pieces to tops of new joists to provide min 180 falls for rainwater to discharge to new gutter on rear wall.

Roof to Porch/Wc Extension (U value 0.15 W/m2K)
roof construction to comprise:- Rafter 47x150mm at 600mm centres. Provide trimming to re roof window. Rafters to be fixed to timber wall plates with galv. clips. At abutment with the existing dwelling the rafters are to be supported in joist hangers fixed to timber bearer bolted to existing external wall with M12 bolts at 600mm centres. Provide new slates to match those on the existing dwelling laid on 50x25mm treated timber battens and Tyvek Supro breather membrane. Provide Code 4 lead flashing at abutment with the existing dwelling. Provide proprietary pvc continuous vent (Slideval) with equivalent 25 mm air gap to provide roof ventilation to all new roof areas. Provide vents to roofing at upper level for through ventilation.

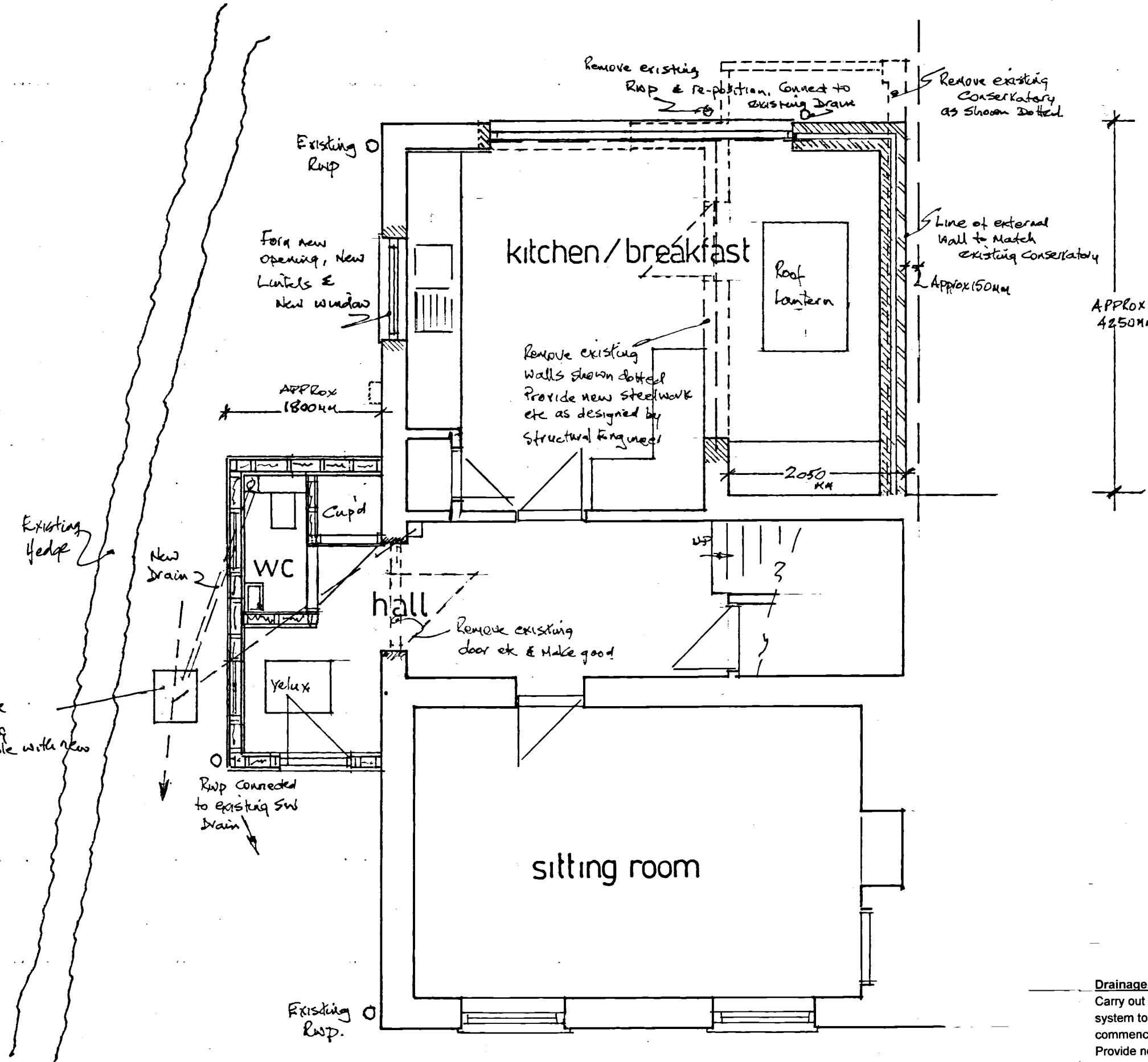
Internal Finishes
The cavity walls to the kitchen extension to have plasterboard on dabs internally with 15mm air space to ensure an adequate minimum u value. 15mm Plasterboard to extension ceiling. Skim coat plaster finish all round. Stainless steel angles to corners. Make good all areas disturbed by alterations etc. Existing walls in new extension to be dry lined and plastered.

Electrical
All new electrical work is to be designed, installed, inspected and tested in accordance with BS7671 (I.E.E. Wiring Regulations Latest Edition). The works are to be undertaken by an installer registered under a suitable electrical self-certification scheme, or alternatively by a suitably qualified person with a certificate of compliance produced by that person to Building Control on completion of the works. Electric sockets and switches to be positioned between 450mm and 1200mm above floor level. Provide low energy light fittings with luminous efficacy greater than 45 lumens/circuit watt to new areas. Ensure mains operated, interlinked smoke alarm (with battery backup) to hall and with interlinked heat detectors to kitchen.

Ventilation
Ensure mechanical ventilation to re-modelled kitchen to discharge into the external air at a rate of 30 litres/sec. Kitchen extract will be adjacent to cooker hood or upgraded to 60l/sec. Provide mechanical ventilation to new wc to discharge into the external air at a rate of 15 litres/sec.

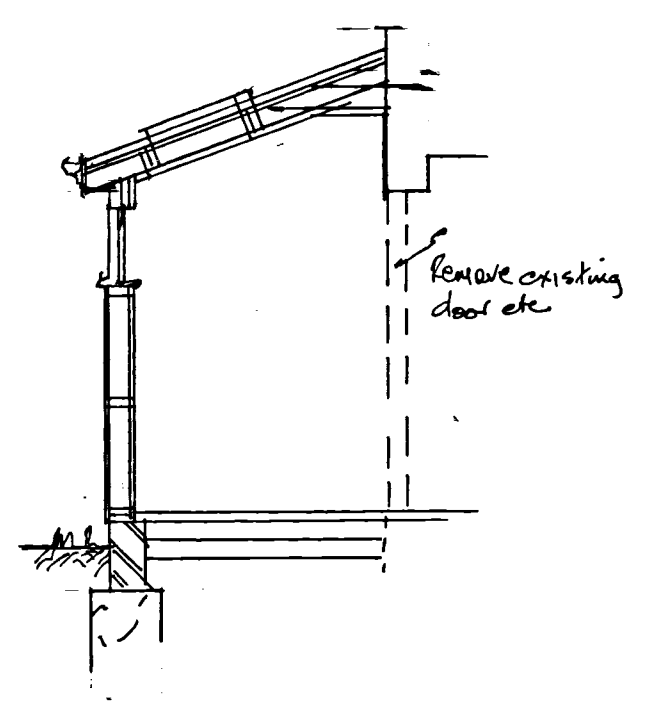
Heating and Plumbing
All alterations and new works are to be carried out by competent & fully qualified tradesmen in accordance with current regulations. Remove the existing Boiler. Provide a new boiler for space and water heating location and details to be confirmed. Full details including controls to be provided to Building Inspector before installation. Commissioning certificate to be issued on completion. Connect to the existing heating and extend into new extension. All radiators to be fitted with thermostatic radiator valves.

External Timber Frame Insulation (U value 0.18 W/m2K)
Incorporate 70mm Kingspan Kooltherm K12 insulation between studs maintaining 30mm cavity with 40mm insulation internal lining over the studs - or similar approved by Building Inspector. Windows/Doors Etc (min u value not less than 1.4 W/m2) To be double glazed and incorporating 8000 sq. mm draught-proof trickle ventilation. Glazing to comply with BS6206 & part K of Bldg. Rgs. Details to be provided by the supplier to show that they comply with a u value of 1.4 W/m2 or better. Windows to be fitted with a sticker to show that they comply with a WER rating of band C or better. Windows to provide rapid ventilation area min 1/20th floor area of room. Any glazing within 800mm of floor level to be of toughened or laminated safety glass. Glazing to doors and adjacent panels will be safety glazing where within 1500mm of floor level. New windows and doors to comply with PAS24:2012.

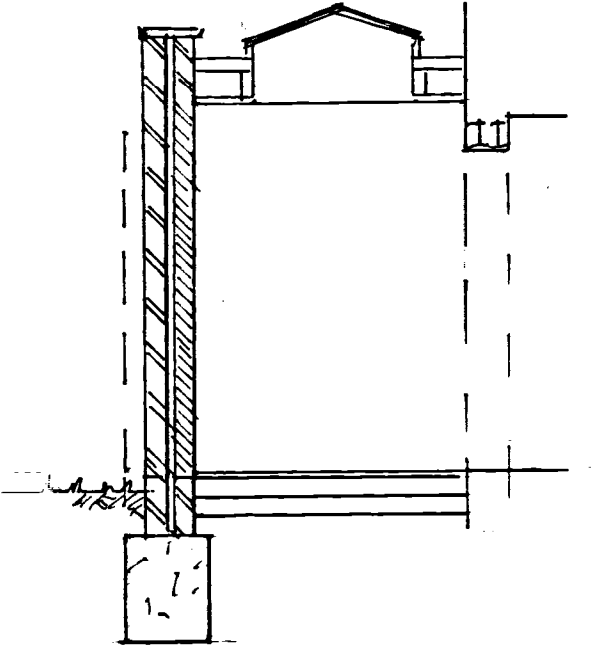


block plan 1:500

Drainage. (PROVISIONAL SUBJECT TO SURVEY)
Carry out full survey of the existing foul and surface water drainage system to establish and agree details with Building Inspector before commencing works. Expose the existing drains as necessary. Provide new drains as indicated to suit requirements connected to existing manhole. Surface water to be taken to new soakaways min 5m from building or connected to existing as agreed with Building Inspector on site. All new drains to be 100mm underground plastic laid to falls, bedded and surrounded in pea shingle and connected to existing. Drains passing through new foundations to be bridged with concrete lintels and wrapped in fibreglass.



typical sections 1:50



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Client:	Mr and Mrs Phillips
Site Address:	36 Cooper Road, Gosbeck IP6 9SW
Job Title:	Single Storey Extensions and Alterations to Dwelling
Drawing Title:	Plan, Elevations, Block Plan and Typical Section.
Drawing No:	2023.39
Scales:	As Shown @ A1 Date: 11th October 2023

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