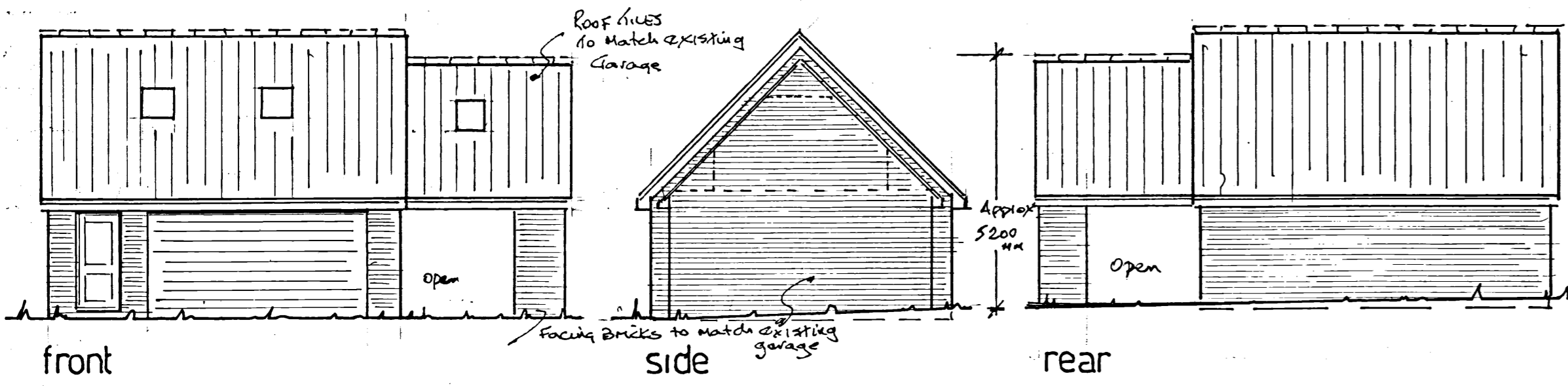


front
existing elevations 1:100

side

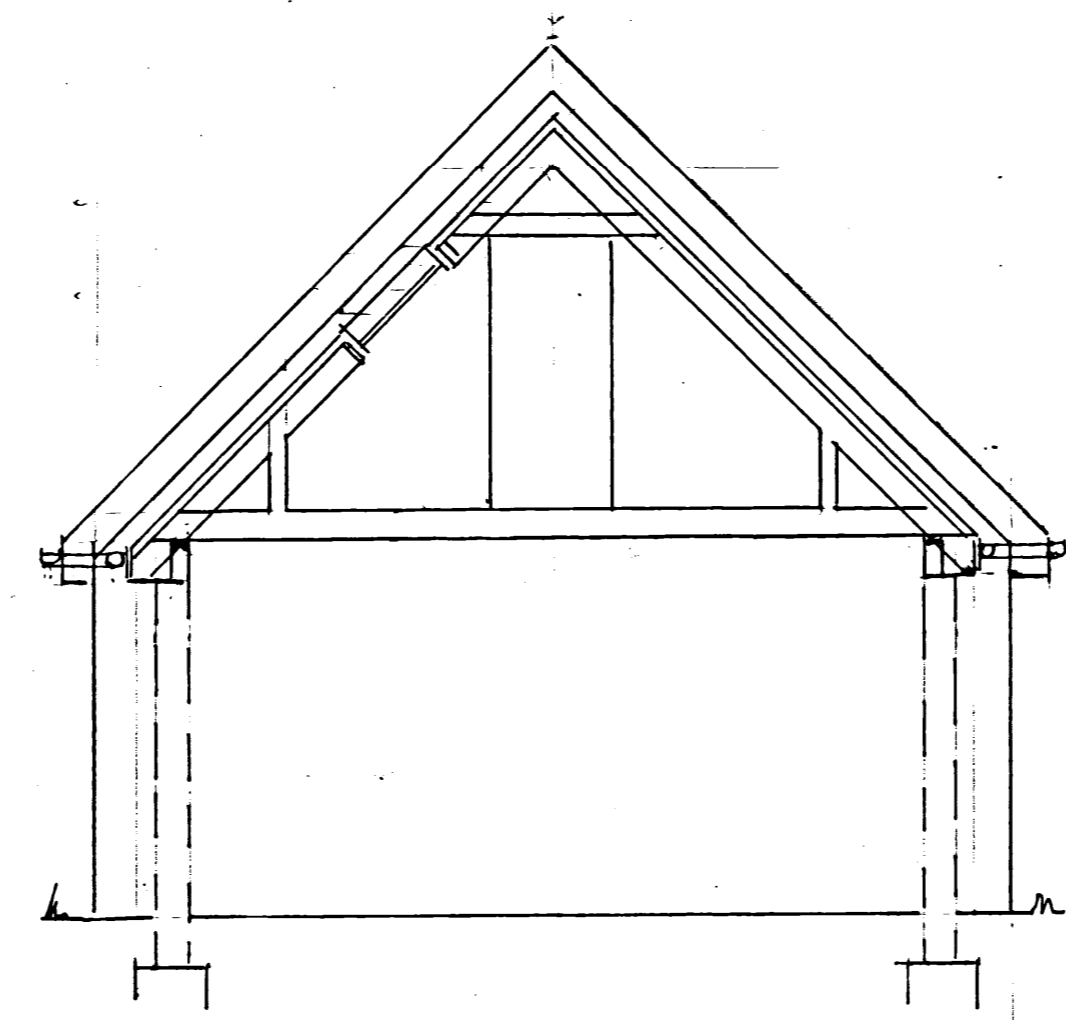
rear



front
proposed elevations 1:100

side

rear



section 1:50

General Construction Notes.

THESE ARE NOT WORKING DETAILS, they have been produced solely for the purpose of making Local Authority Applications and do not form part of any CDM requirements.
Notes are to be read in conjunction with details shown on Drawing 2023.46; and Manufacturer's Specifications

All work must be carried out in a proper workmanlike manner and in accordance with all British Standards, Codes of Practice and Manufacturers' specifications.

All details and Dimensions to be checked and verified on site BEFORE commencement. DO NOT SCALE

Foundations to External Walls

New concrete deep strip foundations; standard mix complying with current standards (min GEN 1) adequately compacted and laid on sound trimmed trench bottoms. Stepped to suit site levels.
Min. width 450mm and a min. depth of 1.00m if in clay.
Depth to be confirmed on site with Building Inspector.
Particular regard shall be paid to structure where there are trees on or near the site. Additional works in such cases shall be in accordance with NHBC chapter 4.2 and as agreed on site with the Building Inspector.

Ground Floor Slab

Retain existing block paved parking area.

External Walls

215mm brickwork built off foundations in selected facings to match those on the existing garage.
Incorporate dpc min 150mm above external ground levels.
Provide lintels over the openings.
Bed timber wallplate secured with galvanised straps.

Roof

New roof construction to be attic trusses designed & manufactured by a specialist timber engineering company.
Trusses to be fixed to timber wall plates with galv. clips.
Binders and wind bracing to be provided and fitted as required to comply with B.S. 5268: part 3: 1985
Include trimming out for the Velux roof window.
Provide selected roof tiles to match those on the existing garage.
Lay roof tiles on 50x25mm treated timber battens and Tyvek Supro breather membrane.
Code 4 lead flashing at abutment with the existing garage.
Provide proprietary pvc continuous vent (Glidevale) with equivalent 25 mm air gap to provide roof ventilation to all new roof areas.
Roof tiling to be installed to the new standard in BS5534.
This includes mechanically fixed ridge and hip tiles, with bonded felt or additional battens on the laps.
The tiles should be fixed in accordance with the new requirements which may require fixing each tile and double fixing to all verges etc.
Provide eaves carrier or high load dpc to eaves gutter area with the Tyvek breather membrane.

Rainwater Goods

New gutters to be 100mm upvc. connected to existing to discharge into existing downpipes.

Car Port Ceiling

Infill between floor joists over car port with mineral wool insulation plus underdraw ceiling over car port with 50mm Celotex insulation (taped joints) and also 15mm ceiling board.
Provide 28mm chipboard flooring to storage area, floor level to match existing.

Insulation

Provide 100mm Celotex GA4100 insulation between covered rafters. 45+12.5mm Celotex PL4000 insulated plasterboard to underside of rafters and ceiling ties.
Insulate between studs of trusses with 70mm Celotex GA4070 and internally face with 45+12.5 Celotex PL4000 taped to create a vapour control layer. All as Celotex specification.

Electrical

All new electrical work is to be designed, installed, inspected and tested in accordance with BS7671 (I.E.E. Wiring Regulations latest Edition)
The works are to be undertaken by an installer registered under a suitable electrical self-certification scheme, or alternatively by a suitable qualified person with a certificate of compliance produced by that person to Building Control on completion of the works.

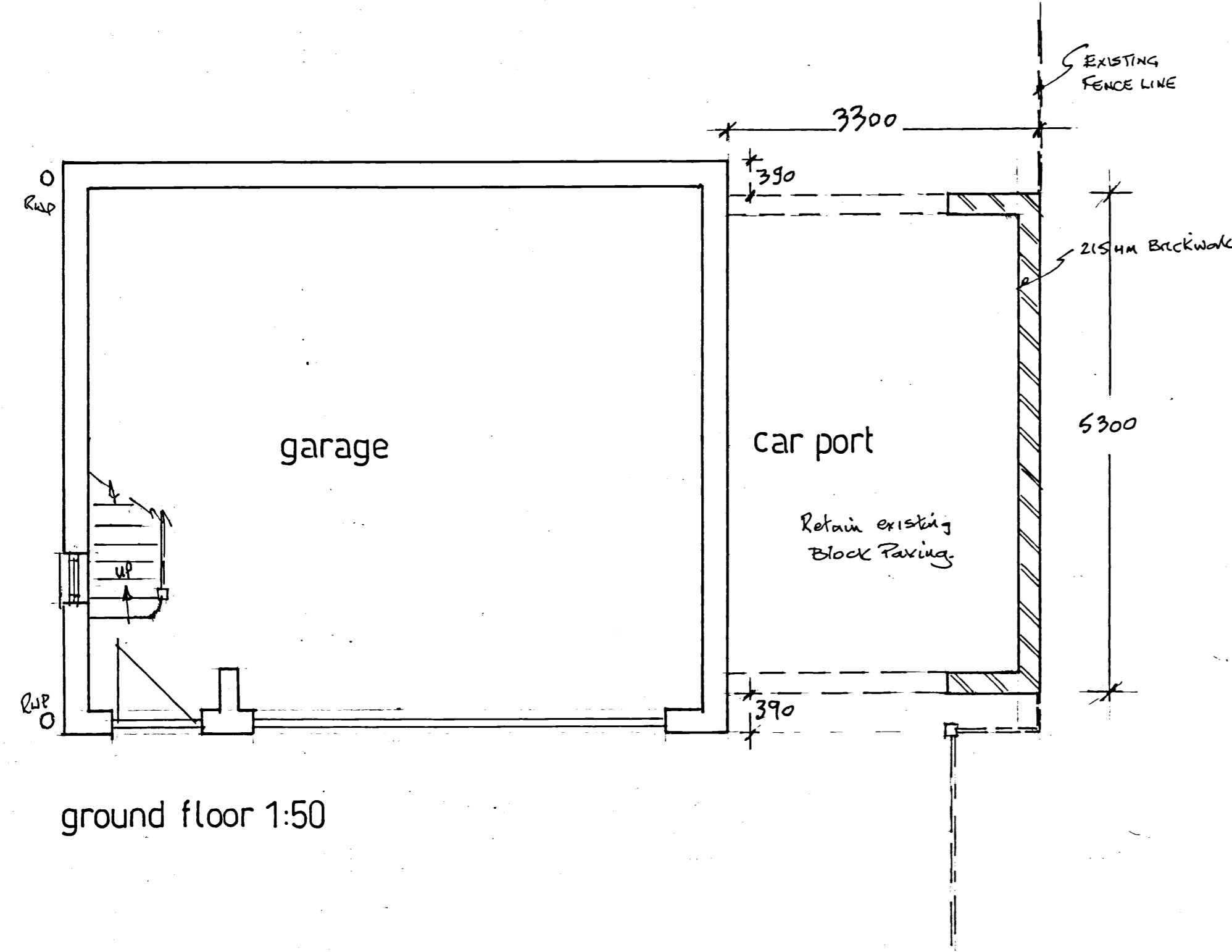
Electric sockets and switches to be positioned between 450mm and 1200mm above floor level.
Provide low energy light fittings with luminous efficacy greater than 40 lumens/circuit watt to all areas.

Smoke Alarm

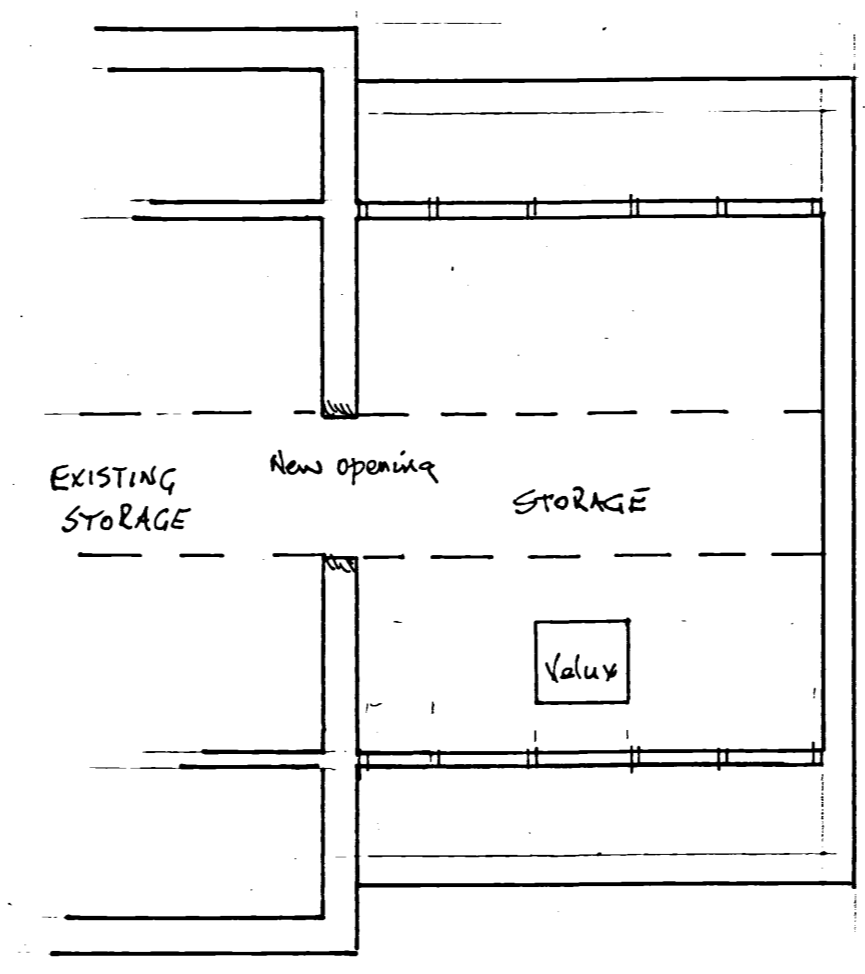
Provide mains operated, interlinked smoke alarm (with battery backup) to the first floor area with interlinked heat detector to the garage below.

Landscaping, Parking and Turning

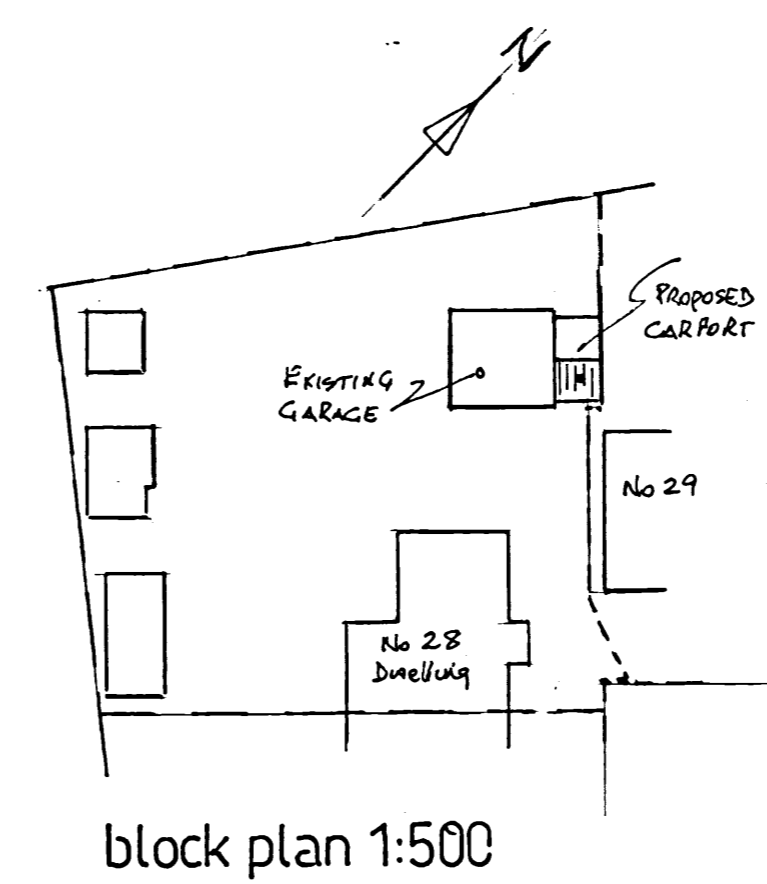
Retain all existing block paved parking and turning areas including the channel drainage for SW disposal.



ground floor 1:50



first floor 1:50



block plan 1:500



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All details and dimensions to be checked and verified on site BEFORE commencement. DO NOT SCALE

Client:	Mr and Mrs Sturgeon
Site Address:	28 Aldis Avenue, Stowmarket IP14 2DJ
Job Title:	Erection of Car Port attached to the Side of the Existing Garage with Storage Over.
Drawing Title:	Plans, Elevations, Block Plan and Typical Section.
Drawing No:	2023.46
Scales:	As Shown @ A1 Date: 24th October 2023

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