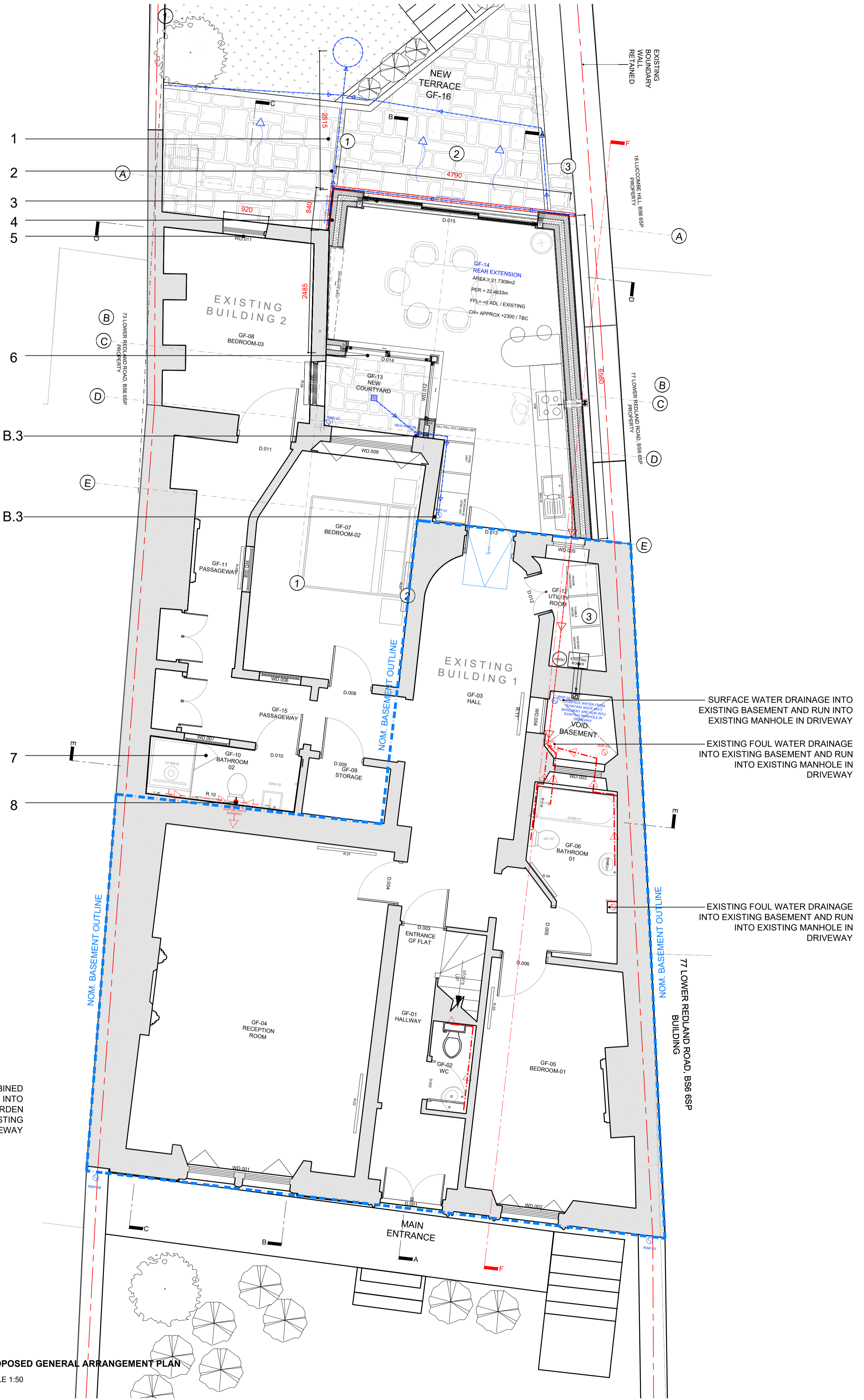
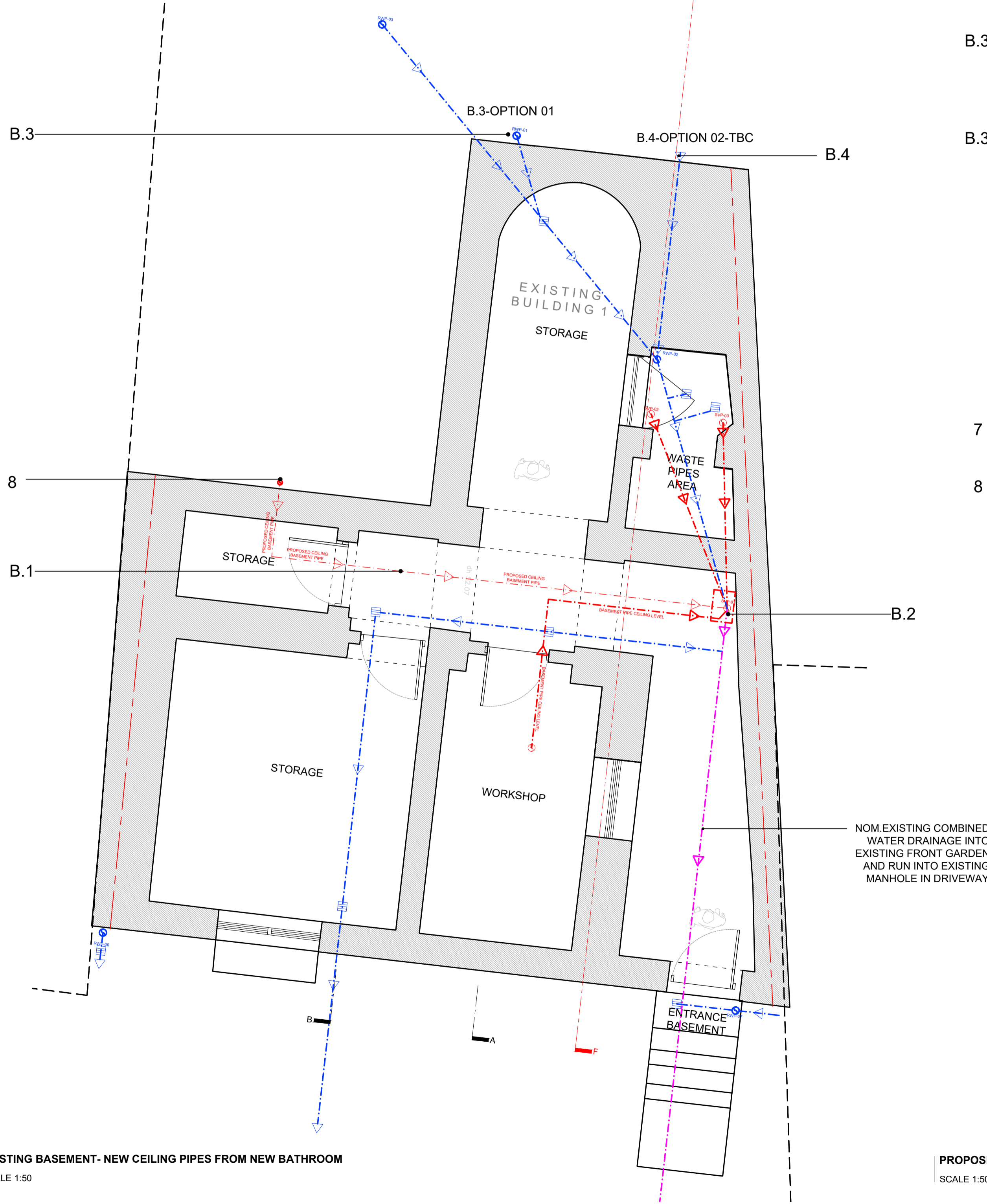


KEY FEATURES - PROPOSED GROUND FLOOR

1. PROPOSED NEW TERRACE, LAID ON TOP OF EXISTING FLAGSTONE PATIO.
2. NEW TERRACE DRAINS INTO GARDEN.
3. NEW 3 PANEL SLIDING DOORS
4. EXTERNAL MASONRY CAVITY WALL, RENDER FINISH PAINTED OFF-WHITE TO MATCH FRONT OF HOUSE FINISH.
5. NEW SLIDING SASH WINDOW, SINGLE GLAZED WITH SECONDARY GLAZING, TIMBER FRAME PAINTED WHITE TO MATCH DETAIL AND SIZE OF EXISTING BEDROOM n3 WINDOW.
6. SLIDING DOORS TO ACCESS COURTYARD, DOUBLE GLAZED PANELS.
7. PROPOSED NEW BATHROOM GF-10.
8. NEW DRAINAGE PIPEWORK CONNECT TO SVP-01 BASEMENT.

KEY FEATURES - PROPOSED BASEMENT FLOOR

- B.1. NEW CEILING PIPES FROM PROPOSED NEW BATHROOM GF-10 INTO EXISTING SVP-01 IN BASEMENT
- B.2 SVP-01- EXISTING FOUL INTO EXISTING FRONT GARDEN AND RUN INTO EXISTING MANHOLE IN DRIVEWAY.
- B.3 OPTION-01-PROPOSED RUN NEW RWP-09 INTO EXISTING SURFACE WATER (ROOF RWP-01) DRAINAGE INTO EXISTING BASEMENT AND RUN INTO EXISTING MANHOLE IN DRIVEWAY. TBC AFTER REVIEW WITH WESSEX WATER AND CCTV.
- B.4 OPTION-02 TBC-PROPOSED RUN NEW RWP-09 AND EXISTING RWP-01 & 03 INTO EXISTING SURFACE WATER JUNCTION (PATIO), INTO BASEMENT AND RUN INTO EXISTING MANHOLE IN DRIVEWAY. TBC AFTER REVIEW WITH WESSEX WATER AND CCTV.



REVISION		
REV	DATE	DESCRIPTION
A	x	

GENERAL NOTES:

- N.1 ALL RELEVANT DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE BEFORE SPECIFIC AREAS OF WORK ARE COMMENCED. DO NOT SCALE FROM THIS PRINT-OUT OR DRAWING. ALL DIMENSIONS ARE STRUCTURAL UNLESS OTHERWISE NOTED.
- N.2 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE GENERAL CONSTRUCTION NOTES AND ANY OTHER PARTY'S DRAWINGS, DETAILS AND DOCUMENTATION ISSUED. FOR ALL SPECIALIST WORK, SEE RELEVANT DRAWINGS. ANY DISCREPANCIES, ERRORS AND OMISSIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION COMMENCING.
- N.3 ALL WORK TO BE TO THE ENTIRE SATISFACTION OF THE LOCAL AUTHORITY, NOTWITHSTANDING ANYTHING SHOWN ON THESE DRAWINGS.
- N.4 ALL MATERIALS, COMPONENTS AND WORKMANSHIP ARE TO COMPLY WITH THE RELEVANT BRITISH STANDARDS, CODES OF PRACTICE, AND ANY APPROPRIATE APPLICABLE MANUFACTURERS' RECOMMENDATIONS.
- N.5 ALL WALLS / CEILINGS / SERVICE INSTALLATION WHERE DAMAGED DURING THE DEMOLITION TO BE REPAIRED / RE-LINED OVER THE WHOLE AREA AND NOT JUST LOCALLY PATCHED.
- N.6 LOCATION, GRADING, PREPARATION, FIXING AND FR OF NEW STRUCTURE: BEAMS, POST / COLUMNS, PADSTONES, LINTELS AS PER STRUCTURAL ENGINEER'S DRAWINGS AND SPECS.
- N.7 WHERE TBC APPLIES, CONFIRM WITH © STUDIO DQ LTD.
- N.8 BOTH DRAWING AND DESIGN ARE © STUDIO DQ LTD 2021.

- ADDITIONAL NOTES:**
- N.09 WORKS NOT INCLUDED IN THIS SCOPE BUT AS AGREED WITH THE CLIENT SEPARATELY AT GROUND FLOOR, BASEMENT AND FIRST FLOOR. TO BE COMMUNICATED TO © STUDIO DQ LTD AND SIGNED OFF BY THE CLIENT.

GLOSSARY:

ADL	ABOVE DATUM LEVEL
AFFL	ABOVE FINISHED FLOOR LEVEL
BDL	BELOW DATUM LEVEL
RWO	RAINWATER OUTLET
RWP	RAINWATER PIPE
SVP	SOIL AND VENT PIPE

ISSUED FOR:
B-REGS -DRAFT-INFO

NOTE:
RESPONSIBILITY IS NOT ACCEPTED FOR ERRORS MADE BY OTHERS IN SCALING FROM THIS DRAWING. ALL CONSTRUCTION INFORMATION SHOULD BE TAKEN FROM FIGURED DIMENSIONS ONLY.
STUDIO DQ LTD SHALL HAVE NO RESPONSIBILITY FOR ANY USE MADE OF THIS DOCUMENT OTHER THAN THAT FOR WHICH IT WAS PREPARED AND ISSUED.
ALL DIMENSIONS SHOULD BE CHECKED ON SITE.
DO NOT SCALE FROM THIS DRAWING. ANY DRAWING ERRORS OR DIVERGENCES SHOULD BE BROUGHT TO THE ATTENTION OF STUDIO DQ LTD IMMEDIATELY.
ALL DETAILS INCLUDING EARTH CONDITIONS, STRUCTURE, GLAZING, GROUND AND OVERHEAD WATERPROOFING, M&E SERVICES AND FINISHES ARE SHOWN FOR INDICATIVE PURPOSES ONLY AND ARE SUBJECT TO CONTRACTOR'S OWN SURVEY, DESIGN AND STATUTORY APPROVALS (INCLUDING BUT NOT LIMITED TO, BUILDING CONTROL, PARTY WALLS AND WATER BOMBS) PRIOR TO COMMENCING WORK. NO CHECKS HAVE BEEN MADE ON RESTRICTIVE COVENANTS. RESPONSIBILITY FOR OBTAINING ALL APPROVALS WILL BE BORNE BY THE CONTRACTOR. REFER TO STRUCTURAL ENGINEER'S SPECIFICATION AND DRAWINGS FOR ALL STRUCTURAL WORKS. ALL TEMPORARY STRUCTURAL AND WEATHERPROOFING WORKS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

ADDRESS: 75 LOWER REDLAND ROAD, BRISTOL, BS6 6SP
PROJECT: CROMARTY HOUSE
CLIENT: MR & MRS DAVIS
TITLE: PROPOSED GROUND FLOOR AND BASEMENT PLAN
DRAWING NO: 006CR-AR.P.100
SCALE @A1: 1:50
DATE: 30/03/2023
REV: /
PROJECT NO: 006CR



EXISTING BASEMENT- NEW CEILING PIPES FROM NEW BATHROOM
SCALE 1:50

PROPOSED GENERAL ARRANGEMENT PLAN
SCALE 1:50