

Pre commencement condition(s)

2. Prior to commencement of the relevant element a method statement detailing the proposed use of temporary structural supports to form new openings, the demolition of fabric consented for removal using appropriate hand tools, instillation of permanent structural supports, and the making good of internal finishes shall be submitted to the Local Authority and approved in writing.

Please refer to the Demolition plan attached : 006CR-AR.P.101

T.W-03 Removal of internal stud wall.

Prior to starting any works a request for an asbestos survey will be applied for. Should there not be a report available a test survey of the area will be required prior to any demolition.

The structural engineer has noted that the wall should not be structural.

A cut will be made around the perimeter of the wall to reduce possible damage to the cornice and staircase.

The fabric covering the timber studs will be removed and the studs inspected to ascertain whether the wall is structural and taking any load.

If deemed that the wall is taking a load the structural engineer will be requested to attend site to prior to further works.

If the timber studs are only carrying the boards then the remaining structure will be removed from site carefully to minimise damage.

T.W-04 Bathroom.

An excavation will be made into the floor to find the levels between the basement and proposed bathroom floor to ensure that the correct falls are obtained for the soil waste.

We intend to remove a section of flooring downwards and break through into the basement at an angle to reduce tight bends when the pipe work is installed.

Should it be the case a larger opening evolves as a core hole will not suffice, concrete lintels will be set in place to bridge the opening and the surrounding area made good to close up the opening using materials from the original wall.

T.W-05 Concrete foundation.

The foliage covering the party wall to be removed to allow an inspection of the wall and photos for future use if required.

Following an inspection any loose materials will be removed and set-a-side to be re-instated if required.

Paving slabs to be lifted, cleaned off and set-a-side to be re-used.

Main foundation trench to be dug with mini excavator where access allows and pocket foundations hand dug.

Trenches dug and pocket foundations dug in order as shown on structural engineers drawing B5164.

A site inspection of the trenches will be requested to comply with building control.

Main foundation trench and pockets filled with concrete in order with min 48hrs between pocket works.

The oversite soil levels will be lowered to the majority of the area once the main foundations trenches have been dug. An adjacent strip of oversite, 1.5m out from the pocket foundations will remain until all the foundations have been poured. Once the concrete has cured the oversite strip will be removed.

Timber planking and support props will be on site for the duration of the works should they be required at any time.

T.W -06 New window opening.

3no x 55mm core holes drilled through the wall above the proposed opening.

50mm steel tubes will be fed through the core holes and braced together, the tubes will be Acrow propped to take the load from above.

The opening size will be marked and a disc cutter with water suppression used to cut the outline of the opening.

The pockets for the lintels and padstones will be peppered out using a drill to reduce breakout around the opening.

4no x 65x100 concrete lintels will be installed onto a padstone with min150mm bearing.

The area above the lintels will be made good back filled with a semi dry grout to pack out and fill any gaps.

Once cured the props will be removed and the core holes plugged and packed with grout.

Depending on the structure of the wall and break out, it may be required to form reveals with brickwork to ensure support and retain the existing material.

Externally a stone sill will be cut to match the originals of the property and the walls rendered to match as near as possible.

A purpose made sash box window will be made to match the details of the existing box sashes in the property.

T.W-07 Door reorientated.

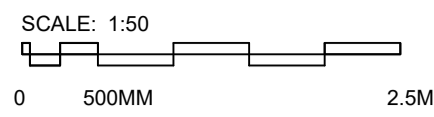
Remove existing door and frame lining.

Remove render on outside of lining to allow a new frame and lining to be installed.

Use original door within the opening but swing externally.

T.W-08 Paving.

Existing paving slabs to be picked up by hand, backs cleaned off and set-a-side to be re-used for the new paved area beyond the extension.



DEMOLITION KEY	
	EXCAVATION WORKS
	LANDSCAPE EXCAVATION WORKS
	WALL FEATURES TO BE RETAINED
	DEMOLITION / STRIP-OUT WORKS
	FLOOR AREA TO BE REMOVED
	NEW OPENING IN EXISTING WALLS

DEMOLITION NOTES:

- N.1 - WHEN ANY FROM OF EXCAVATION OCCURS, REFER TO STRUCTURAL ENGINEERS SPECIFICATION AND SEQUENCING.
- N.2 - EXISTING FEATURES - SKIRTING'S, CORNICES, WINDOWS, INTERNAL DOORS, DOOR ARCHITRAVES AND IRONMONGERY ARE TO REMAIN UNTOUCHED UNLESS OTHERWISE STATED.
- N.3 - EXISTING STAIRCASE AND BALUSTRADE ARE TO BE RETAINED AND PROTECTED, UNLESS OTHERWISE STATED.
- N.4 - ALL LINING (WALLS AND CEILINGS) ARE TO BE RETAINED UNLESS OTHERWISE NOTED ON THE DRAWINGS. (DAMAGE TO CEILINGS OR WALLS TO BE MADE GOOD OVER THE GREATER AND NOT JUST LOCALLY PATCHED)
- N.5 - ISOLATE ALL SERVICES INCLUDING: MAIN ELECTRIC AND MAIN GAS.
- N.6 - ALL SERVICES TO BE CAREFULLY REMOVED IN DEMOLITION AREA, MINIMIZING DAMAGE TO LINING. STRIP OUT EXISTING POWER LIGHTING, LIGHT FITTINGS, SWITCHES, SOCKETS AND SPURS.
- N.7 - ASBESTOS IF FOUND IS TO BE REMOVED BY OTHERS.
- N.8 - ALL FITTED JOINERY TO BE CAREFULLY STRIPPED OUT TO MINIMIZING DAMAGE TO LININGS.
- N.9 - EXISTING FINISHES REMOVED / STRIPPED OUT APPROPRIATELY.
- N.10 - REMOVE CARPETS, UNDERLAY, CARPET GRIPS / NAILS, AND THRESHOLD STRIPS, UNLESS OTHERWISE STATED.

T.W - NOTE:

TO SATISFY THE CONDITIONS PROVIDED BY THE COUNCIL RE. TO PROPOSED GROUND FLOOR- 20/06/188/F GRANTED- SUBJECT TO CONDITIONS.

METHOD STATEMENT FOR THE REQUIRED TEMPORARY WORKS TO BE PROVIDED BY MAIN CONTRACTOR:

- IN RED - DEMOLITION TO DO:

T.W-03, T.W-04, T.W-05, T.W-06, T.W-07, T.W-08,



01-PROPOSED DEMOLITION GROUND FLOOR PLAN
SCALE 1:50

SCOPE OF WORKS

PROPOSED GROUND FLOOR

1. PROPOSED NEW TERRACE, LAID ON TOP EXISTING FLAGSTONE PATIO.
2. EXISTING GARDEN SHED: REMOVAL PROPOSED
3. EXISTING LOW GARDEN STONE EDGING: REMOVAL PROPOSED (RED OUTLINE)
4. EXISTING WALL BEDROOM 3: NEW WINDOW PROPOSED.
5. EXISTING FOOTPRINT OF PATIO FLAGSTONES: PROPOSED EXCAVATION FOR NEW EXTENSION. **ALL EXISTING FLAGSTONES TO BE BELT-SANDED AND RE-USED ALONG NEW TERRACE AREA.**
6. EXISTING KITCHEN COUNTER AND PANTRY: REMOVAL PROPOSED.
7. EXISTING HALL AND KITCHEN PARTITION WALL: REMOVAL PROPOSED.
8. NEW RAMP PROPOSED
9. EXISTING WALL FIBRO-LAYER - STRIP-OUT WORKS:
10. EXISTING DOOR TO BE REORIENTED
11. WC TO BE REMOVED.
12. BATH TO BE REMOVED.
13. RELOCATED/REORIENTED EXISTING RWP 01, 03, 04.
14. RELOCATED EXISTING GULLY.
15. REMOVED EXISTING GULLY.
16. EXISTING RADIATOR: R.05 & R.06 TO BE REMOVED.

REVISION		
REV	DATE	DESCRIPTION
A	01.11.2021	SCOPE OF WORK #9 OMITTED

GENERAL NOTES:

- N.1 ALL RELEVANT DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE BEFORE SPECIFIC AREAS OF WORK ARE COMMENCED. DO NOT SCALE FROM THIS PRINT-OUT OR DRAWING. ALL DIMENSIONS ARE STRUCTURAL UNLESS OTHERWISE NOTED.
- N.2 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE GENERAL CONSTRUCTION NOTES AND ANY OTHER PARTY'S DRAWINGS, DETAILS AND DOCUMENTATION ISSUED. FOR ALL SPECIALIST WORK, SEE RELEVANT DRAWINGS. ANY DISCREPANCIES, ERRORS AND OMISSIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION COMMENCING.
- N.3 ALL WORK TO BE TO THE ENTIRE SATISFACTION OF THE LOCAL AUTHORITY, NOTWITHSTANDING ANYTHING SHOWN ON THESE DRAWINGS.
- N.4 ALL MATERIALS, COMPONENTS AND WORKMANSHIP ARE TO COMPLY WITH THE RELEVANT BRITISH STANDARDS, CODES OF PRACTICE, AND ANY APPROPRIATE APPLICABLE MANUFACTURERS' RECOMMENDATIONS.
- N.5 ALL WALLS / CEILINGS / SERVICE INSTALLATION WHERE DAMAGED DURING THE DEMOLITION: TO BE REPAIRED / RE-LINED OVER THE WHOLE AREA AND NOT JUST LOCALLY PATCHED.
- N.6 LOCATION, GRADING, PREPARATION, FIXING AND FR OF NEW STRUCTURE: BEAMS, POST / COLUMNS, PADSTONES, LINTELS, AS PER STRUCTURAL ENGINEER'S DRAWINGS AND SPECS.
- N.7 WHERE TBC APPLIES, CONFIRM WITH © STUDIO DQ LTD.
- N.8 BOTH DRAWING AND DESIGN ARE © STUDIO DQ LTD 2021.

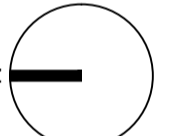
ADDITIONAL WORKS:

- N.09 WORKS NOT INCLUDED IN THIS SCOPE BUT AS AGREED WITH THE CLIENT SEPARATELY AT GROUND FLOOR, BASEMENT AND FIRST FLOOR, TO BE COMMUNICATED TO © STUDIO DQ LTD AND SIGNED OFF BY THE CLIENT.

GLOSSARY:

- ADL ABOVE DATUM LEVEL
- AFFL ABOVE FINISHED FLOOR LEVEL
- BDL BELOW DATUM LEVEL
- RWO RAINWATER OUTLET
- RWP RAINWATER PIPE
- SVP SOIL AND VENT PIPE

ADDITIONAL NOTES:



ISSUED FOR: B-REGS -DRAFT

NOTE:
RESPONSIBILITY IS NOT ACCEPTED FOR ERRORS MADE BY OTHERS IN SCALING FROM THIS DRAWING. ALL CONSTRUCTION INFORMATION SHOULD BE TAKEN FROM FIGURED DIMENSIONS ONLY.
STUDIO DQ LTD SHALL HAVE NO RESPONSIBILITY FOR ANY USE MADE OF THIS DOCUMENT OTHER THAN THAT FOR WHICH IT WAS PREPARED AND ISSUED.
ALL DIMENSIONS SHOULD BE CHECKED ON SITE. DO NOT SCALE FROM THIS DRAWING. ANY DRAWING ERRORS OR DIVERGENCES SHOULD BE BROUGHT TO THE ATTENTION OF STUDIO DQ LTD IMMEDIATELY.
ALL DETAILS INCLUDING EARTH CONDITIONS, STRUCTURE, GLAZING, GROUND AND OVERHEAD WATERPROOFING, M&E SERVICES AND FINISHES ARE SHOWN FOR INDICATIVE PURPOSES ONLY AND ARE SUBJECT TO CONTRACTOR'S OWN SURVEY, DESIGN AND STATUTORY APPROVALS (INCLUDING BUT NOT LIMITED TO, BUILDING CONTROL, PARTY WALLS AND WATER BOARD) PRIOR TO COMMENCING WORK. NO CHECKS HAVE BEEN MADE ON RESTRICTIVE COVENANTS. RESPONSIBILITY FOR OBTAINING ALL APPROVALS WILL BE BORNE BY THE CONTRACTOR. REFER TO STRUCTURAL ENGINEER'S SPECIFICATION AND DRAWINGS FOR ALL STRUCTURAL WORKS. ALL TEMPORARY STRUCTURAL AND WEATHERPROOFING WORKS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

ADDRESS:	75 LOWER REDLAND ROAD BRISTOL, BS6 6SP
PROJECT:	CROMARTY HOUSE
CLIENT:	MR & MRS DAVIS
TITLE:	PROPOSED GROUND FLOOR DEMOLITION PLAN
DRAWING NO:	006CR-AR.P.101
SCALE @A1:	1:50
DATE:	11/10/2021
REV:	A
PROJECT NO:	006CR

