

PROPOSED MATERIALS:

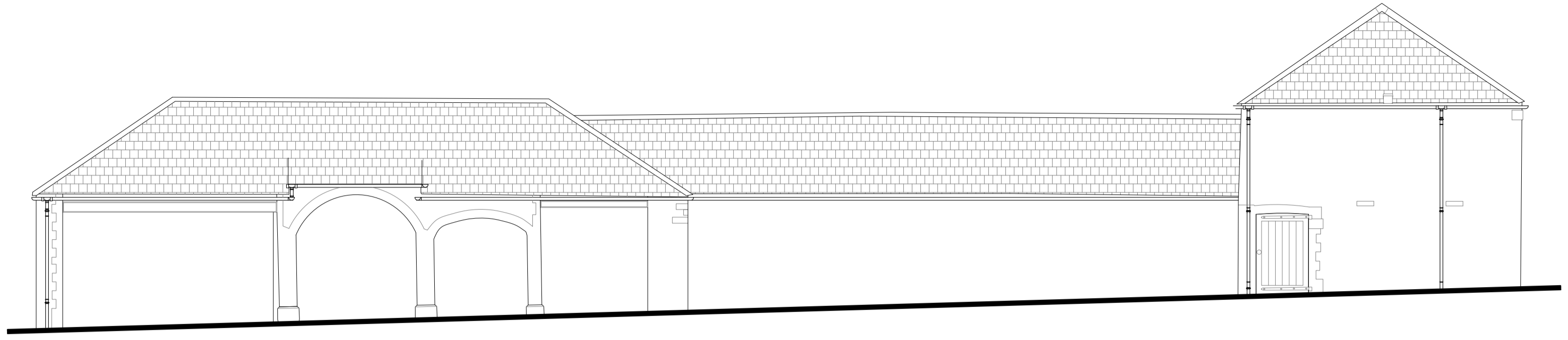
Wall Infill Areas

- + Vertical composite cladding in anthracite colour.
- + Brickwork to match existing.
- + Stonework to match existing.

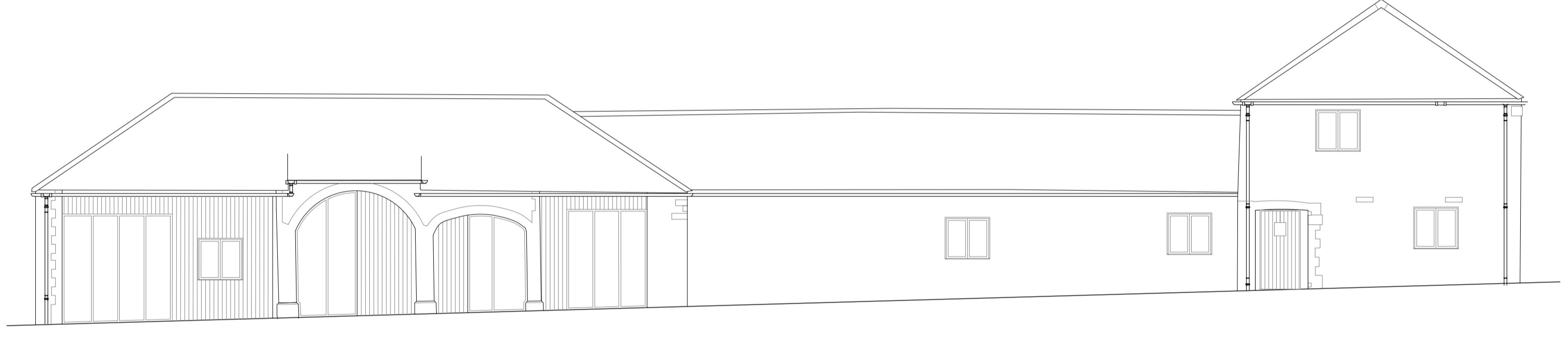
Windows - UPVC in anthracite colour.

Doors - UPVC in anthracite colour.

Rainwater Goods - To match existing. Black pvc.



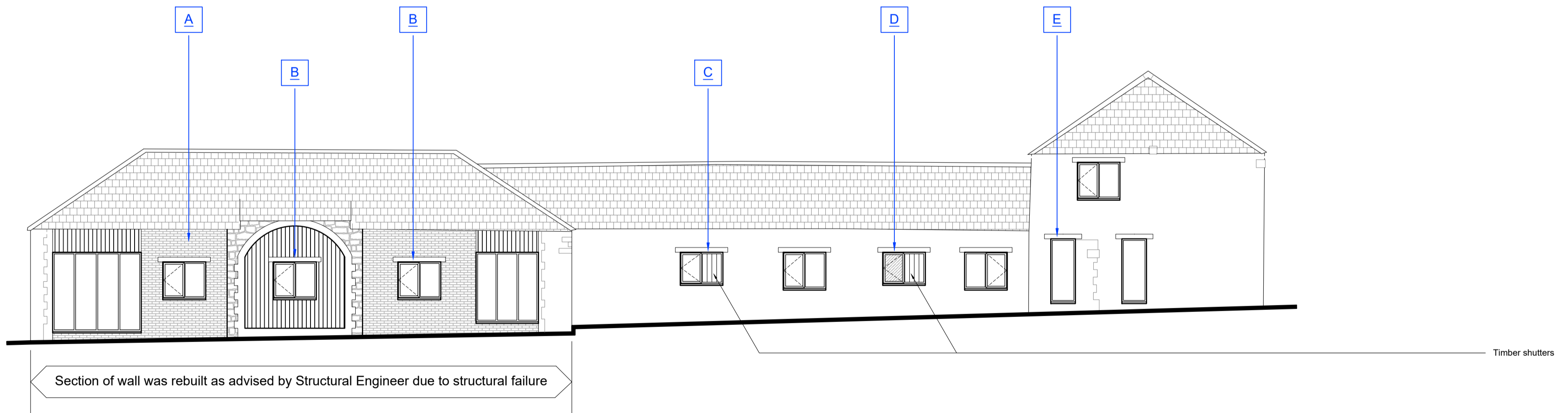
Existing Elevation C
(NE Facing)
Scale 1:100



Approved - Proposed Elevation C
(NE Facing)
Scale 1:100



Photo of rebuilt section of wall



Variation - Proposed Elevation C
(NE Facing)
Scale 1:100

A	Variation - Material change. <i>Justification -</i> Due to road works adjacent, the existing wall and arches are severely failing and will need reconstructing. A mixture of existing and approved materials have been proposed to preserve character of the building.	D	Variation - Additional window created. <i>Justification -</i> To serve Unit 6 En-Suite and provide natural ventilation and daylight.
B	Variation - Glazing alteration. <i>Justification -</i> To improve privacy and better balance glazing to room ratio within Unit 5.	E	Variation - Entrance door changed to full height fixed glazed panel. <i>Justification -</i> To improve security and privacy and keep all entrance doors along the same elevations.
C	Variation - Additional window created. <i>Justification -</i> To increase natural ventilation into Unit 6 Kitchen area, due to other windows being full height fixed glazing.	Number of openings in wall on original approval = 10 Number of openings in wall on proposed application = 12	

PRELIMINARY ISSUE

REV	DETAILS	INIT.	DATE
C	Amend following planning meeting	CG	07.09.2023
B	Windows revised to comply with Eregs.	SCB	12.01.2023
A	Material confirmation from client.	SCB	15.12.2022
TITLE			
Conversion of Existing Barns to Residential, Northdale Park, Raunds, Northamptonshire.			
DETAIL			
Elevation View C; Existing, Approved, Variation - Proposed.			
SCALE	1:100	SHEET	A1
DRAWN	SCB	CHECKED	
DATE	December 2022	ISSUE	PRELIMINARY
22-036-152C			

blueprint
Architectural Design Ltd.

5 BLOTT'S BARN, BROOKS ROAD, RAUNDS, NORTHANTS, NN9 6NS
01933 551389 - info@blueprintdesign.org.uk

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY IF DIMENSIONS DIFFER ARE TO BE WORKED FROM DIMENSIONS MUST BE REPORTED TO BLUEPRINT BEFORE PROCEEDING. © THIS DRAWING IS COPYRIGHT.