

GOOLE HUB

DESIGN ACCESS + HERITAGE STATEMENT

Document No: **M00510-WBA-XX-XX-RP-A-DAS-02**

Prepared by: **Watson Batty Architects**

Submitted to: **Willmott Dixon Construction Limited as part of Full Planning Application**

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Contents

1.0 Introduction

1.1 Purpose

1.2 Process

1.2.1 A Design Led Approach

1.2.2 Public Consultation

1.3 Planning Application Documentation

2.0 Context

2.1 Location

2.2. Site

2.3 Site Analysis

2.4 Heritage Statement

3.0 Brief

4.0 Design Proposals

6.0 Access Statement

8.0 Landscape

9.0 Energy Statement

10 Closing Statement



1.0 Introduction

1.1 Purpose

This document has been prepared by Watson Batty Architects, WBA, in conjunction with the project team and forms part of the Goole Leisure Centre Planning Application for the proposal of the part demolition and new build of the Goole Hub which comprises of new tag active, soft play, ten pin bowling alley and additional swimming pool and exercise classes submitted to East Riding of Yorkshire Council, ERYC.

The format of the document is intended to address key elements outlined within both CABE's guidance on design and access statements and government guidance.

The purpose of this document is to set out the analysis of design development and concepts that have been applied to the proposals. In addition, accessibility both to and within the development has been addressed.

The existing Goole Leisure Centre and its surrounding grounds are located within Goole Town Centre. The site extends to around 0.9 ha and is bound to the North by North Street and to the South by port related buildings. E Parade and office buildings to the East boundary and retail, industrial, including a Grade II Listed building to the West boundary.

The site location is shown on drawing 3982-002 GA10 submitted as part of this application.

This statement should be read in conjunction with the drawings and documentations submitted as part of the Full Planning Application and listed on the Summary of Application Documentation sheet submitted as part of the Application.

1.2 Process

Design proposals forming part of this DAS have developed through a structured collaboration with ERYC, stakeholders, WDC and the design team to establish a high quality facility that will reflect end users' expectations and provide optimal solution for the site and its surrounding.

1.2.1 A Design Led Approach

Watson Batty Architects (WBA) is appointed by Willmott Dixon Construction (WDC) as Project Architects for the new Goole Hub. WBA's team visited the site since 2nd February 2023.

The application has been lead and co-ordinated by Willmott Dixon Construction and prepared by the lead consultants, Watson Batty Architects and the design team. WDC has an in-house design leader that is in continuous collaboration with the design team members and the supply chain, making sure that both Design and Buildability are considered together from early stages of the project.

1.2.2 Public Consultation

An extensive briefing and design development process has been undertaken to develop the planning proposals. This process involved developing building layouts, elevational treatment (material), form and massing.

Proposals will be presented at the existing Leisure Centre week commencing the 4th September.

1.3 Planning Application Documentation

WDC alongside WBA met with the ERYC's planning team, Keith Thompson and Calum Rowley on the 15th June, where the following list of Planning Application Validation documents were agreed:

Goole leisure Centre
RIBA Stage 3 – Planning Application Validation Documents



No.	Documents	Ownership	Notes added as per ERYC e-mail dated 19 June 2023, meeting 09 August 2023 and Updating document numbering from no. 20 to 28
1	Application Forms	WBA	
2	Ownership Certificate	ERYC	ERYC to confirm
3	Application Fee	WDC	WDC to obtain an e-mail address for whoever will make the payment.
4	Location Plan	ERYC	
5	Plan of existing and proposed site layout	WBA	
6	Existing and proposed Floor plans	WBA	
7	Existing and proposed Elevations	WBA	
8	Typical section	WBA	
9	CGIs	WBA	
10	Design Access Statement	WBA	
11	Fire Statement	Ashton Fire, WBA	Agreed during the meeting
12	Topographical Survey	WDC	
13	Structural Survey	WDC	Agreed during the meeting
14	Ecological Survey and Report	Specialist Consultant	Additional Bat Surveys required as discussed in meeting. WDC to issue the updated report.
15	Biodiversity Survey and Report	Specialist Consultant	
16	Tree survey/arboricultural implications	Specialist Consultant	Either Arboricultural assessment required if there are impacts on existing trees or a short statement if no works/impacts to trees are to occur. Details of landscaping within the civic/front area to the entrance would be included within the site plans.
17	Foul sewerage assessment & Surface water drainage details	Adept	Drainage Assessment required as part of the submission. Likely to use existing connections but de-tails required. Adapt to issue information
18	Surface water assessment	Adept	Adapt to issue information

19	Flood Risk Assessment – will only be required if the site area exceeds 1ha		As discussed during meeting 15 June 2023, will need updating to reflect the scheme. Details which need to be considered as within the SFRA (https://www.eastriding.gov.uk/planning-permission-and-building-control/planning-policy-and-the-local-plan/strategic-flood-risk-assessment/) and Flood Risk SPD (https://www.eastriding.gov.uk/planning-permission-and-building-control/planning-policy-and-the-local-plan/supplementary-planning-documents/) WDC to issue updated report
20	Land Contamination Assessment	Specialist Consultant	Phase 1 and likely phase 2 contamination required. Further surveys may be conditioned for ground investigation under existing buildings. WDC to issue updated report
21	Lighting Assessment	Chord	Details of proposed external lighting would be required, shown on both a plan and associated technical details that companies usually provide (such as luminance levels, wattage etc). Chord to issue assessment
22	Noise Impact Assessment	Specialist Consultant	Given the existing use of the site, a noise survey is unlikely to be required as it is not anticipated that hours of opening would be extended or there would be a significant increase in noise levels emanating from the building.
23	Transport Statement	Specialist Consultant	Transport statement will be acceptable and should include details of the increase in floor space to determine whether additional spaces required. For parking requirements, the cycle store/spaces should equate to 20% of the total number of parking spaces being provided, 2no motorcycle spaces are required and 5% of the total number of spaces are required to be reserved for EV's with a further 5% passive for future requirement (needs to be shown on a plan for Highways). Parking spaces should be 2.5m by 5m. Further details can be found in the Sustainable Transport SPD (https://www.eastriding.gov.uk/planning-permission-and-building-control/planning-policy-and-the-local-plan/supplementary-planning-documents/)

24	Travel Plan	Specialist Consultant	local-plan/supplementary-planning-documents/) A Travel Plan may also be required so we would advise you speak to Paul McConnon (paul.mccannon@eastriding.gov.uk) as to whether one would be required.
25	Energy Statement;	Chord	Added to DAS Chord to prepare a statement and send to WBA to add to the DAS
26	Community Infrastructure Levy (CIL)	Special Consultant	Agreed during the meeting
27	Heritage Statement	Specialist Consultant	This needs to include an assessment against the current building's setting adjacent to the Conservation Area and its setting in relation to the nearby Listed Buildings. Will also need to identify the character of the CA, listed building setting and assess the impacts of the work on both. This assessment will need to include an assessment of the proposed WBA to add the existing statement to DAS
28	Land Contamination Assessment	Specialist Consultant	

2.0 Context

2.1 Location

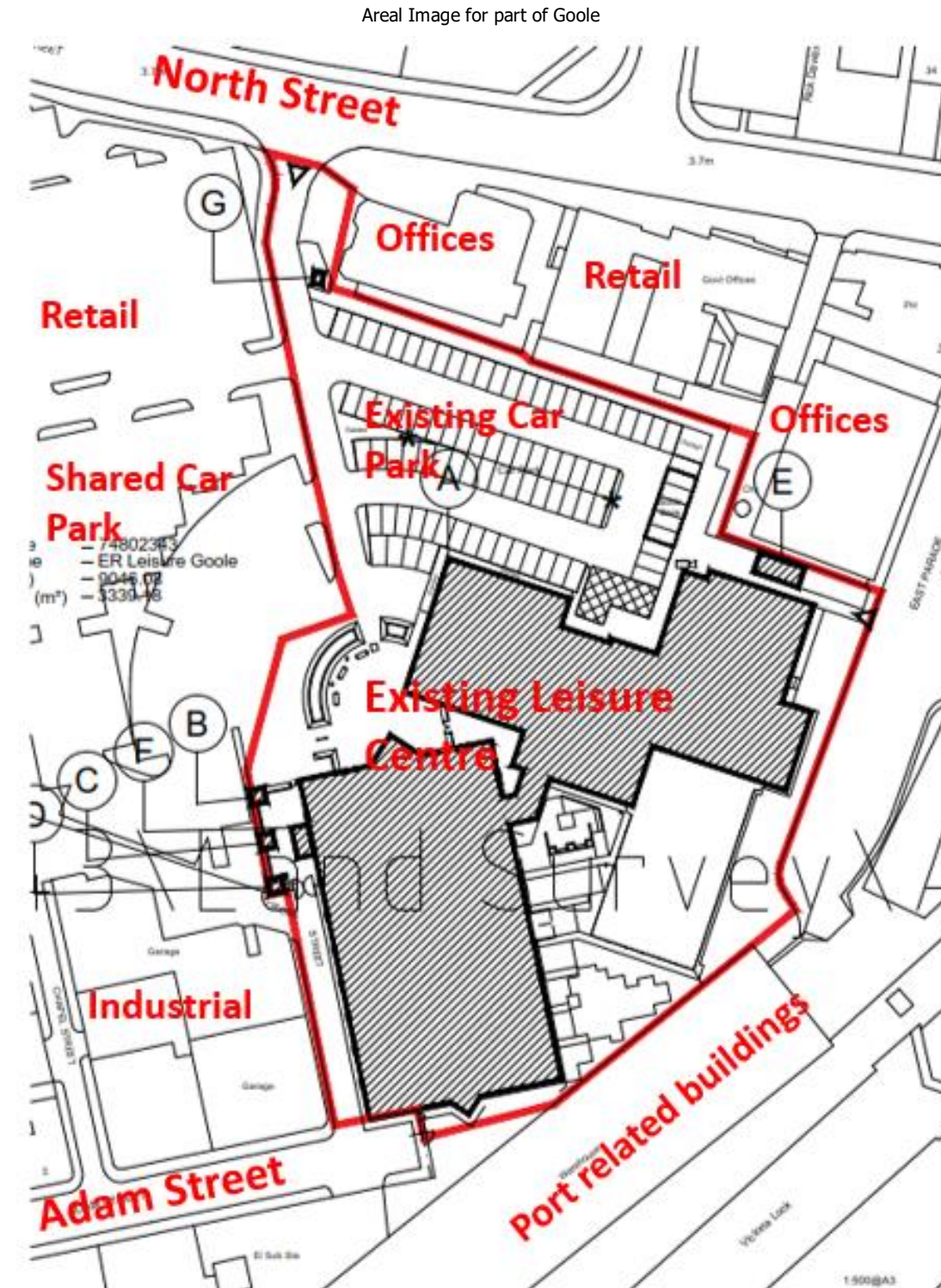
The existing site for East Ridding Leisure Goole is located to the South of the town and as part of the town centre. The existing leisure centre was constructed in 1980. The Leisure Pool was added in 1986. External carparking servicing customers is located to the front of the centre. Customers could also share the car parking that belongs to the retail buildings to the West of the site.



2.2 Site

The site is surrounded with mixed retail and offices use to the North boundary, port related buildings to the East and South boundaries and industrial/workshop buildings to the east boundary.

Main Customers Access and Egress to the site is from the existing North Street in the north and secondary access/services access from Adam Street to the south. Existing parking allows for 94 spaces including 3no. disabled car parking spaces.



Existing Site



Main Access to site from North Street



Main elevation featuring main entrance



Services Access



Front Elevation

2.3 Site Analysis

Existing Building Fabric & Makeup

The existing leisure centre comprises of a two-storey with traditional cavity wall construction finished in brown facing bricks. The building accommodated dry sporting facilities. This part of the building was originally built in 1980 and later extended in 1986 to add a Leisure Pool. The additional building/extension is a two story height with traditional construction of cavity walls finished with red facing bricks. A dedicated car park is positioned to the North of the main building. A MUGA/Tennis Court is situated to the South of the building.

The existing building needs a major refurbishment and is not particularly in line with the new trends of community hubs. Also, the fitness and sports spaces are attracting fewer people. However, the construction and structure of the existing building makes it difficult to adapt and extend.

The project brief is to retain the existing leisure pool, the village change and the sports hall with its associated store and demolish the rest of the building to allow for the development of the new Goole Hub.

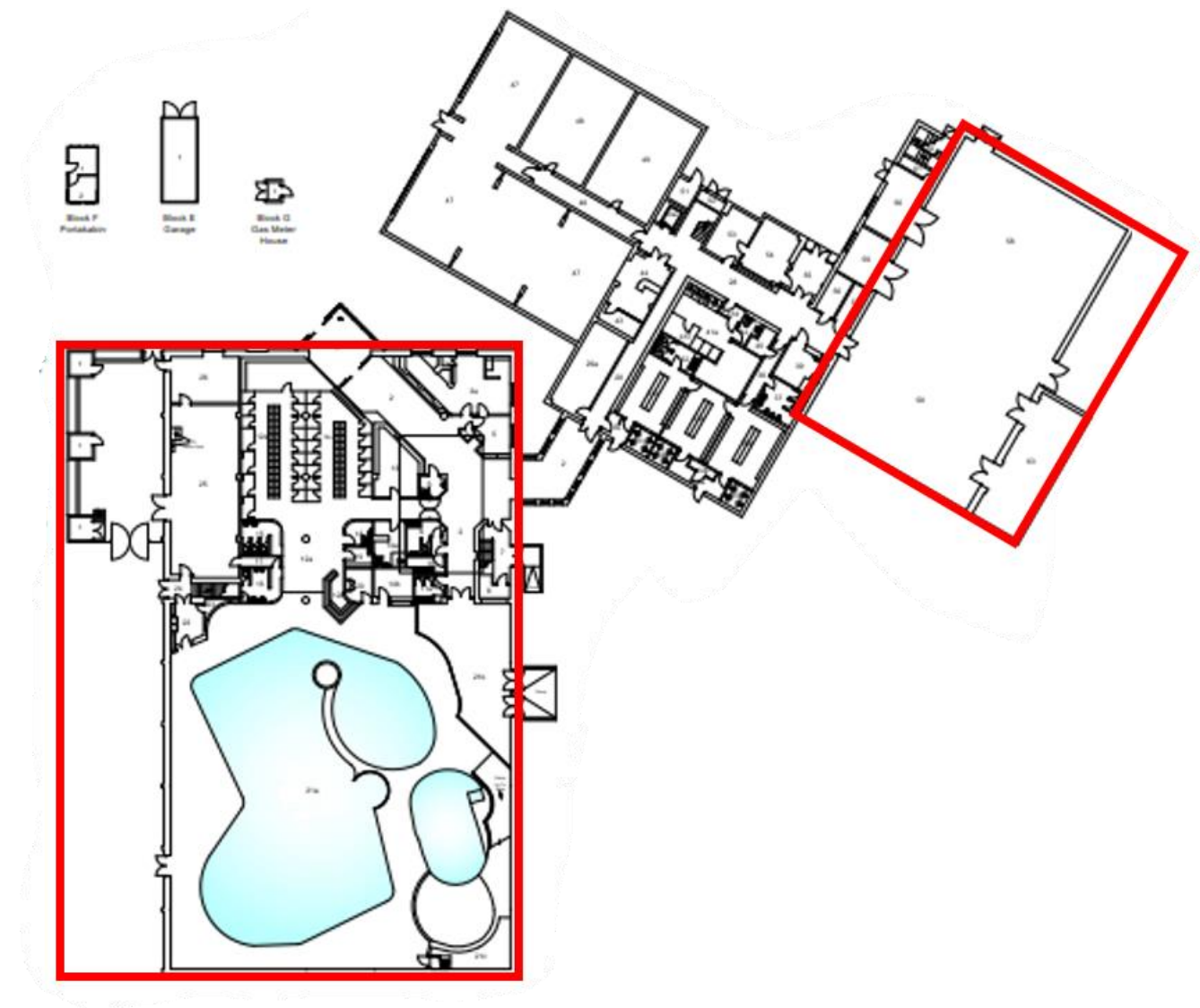
A summary of the existing facilities at the site is set out below:

Internal

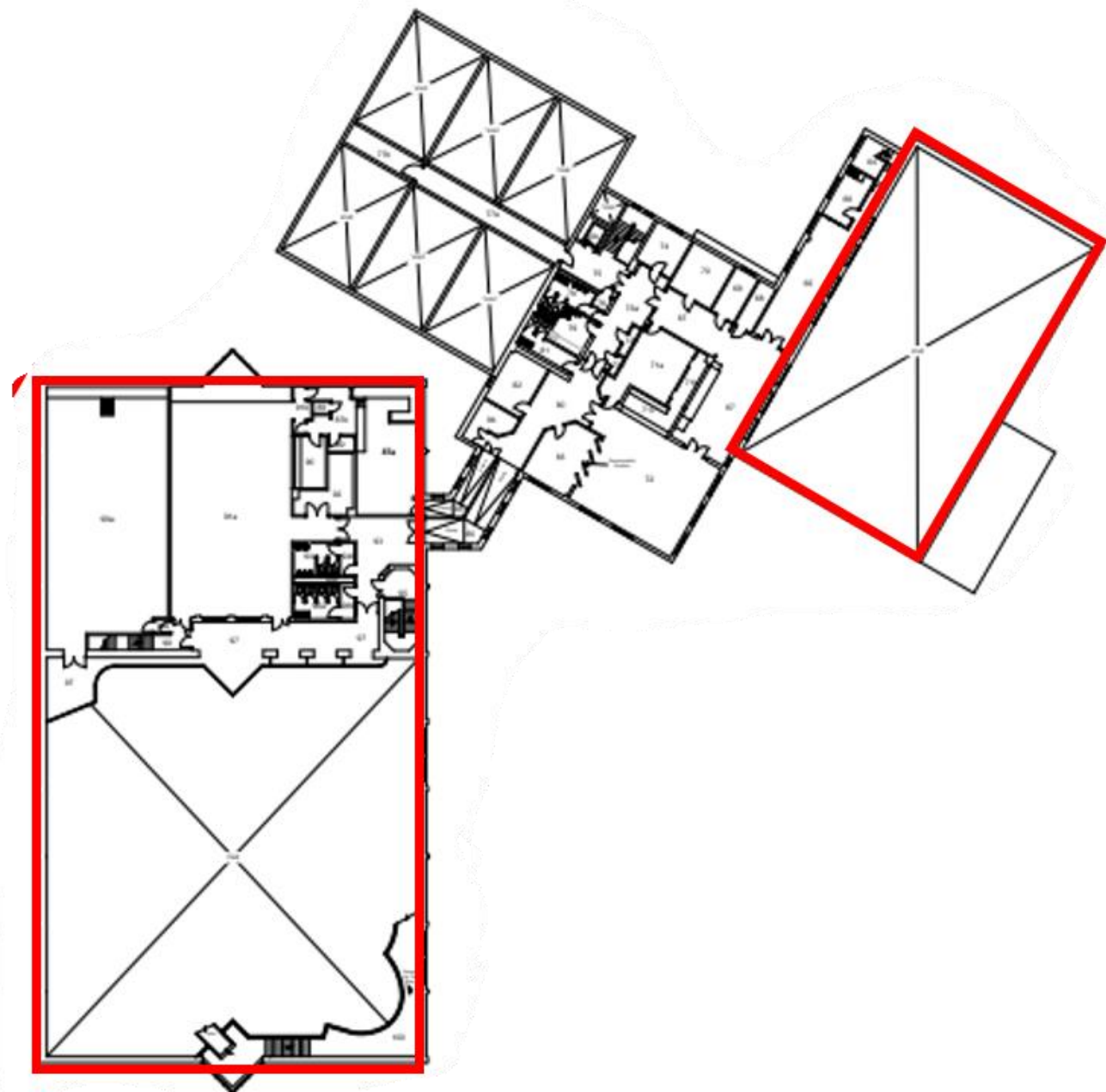
- Leisure Pool with slides.
- 4no. court multi use sports hall
- Fitness Suite
- Studios
- 6 nos Squash Courts
- Spin training rooms
- Café/ Lounge
- Village Change
- Dry Changing rooms

External

- Car parking
- MUGA/tennis courts;
- Equipment storage



Existing Ground Floor Plan



Existing First Floor Plan

The leisure centre has benefited from some investment over recent years. However, the basic building configuration does not address the accessibility needs of customers with easy flow between the different facilities compromised by poor space planning. In addition, to the poor building configuration, the outdoor facilities also require urgent investment and upgrade.

2.4 Heritage Statement

This Statement was prepared by ERYC. WDC were given the permission to utilise this statement as part of this DAS.

It is necessary to submit a Heritage Statement as the proposed development is in the setting adjacent to Goole Conservation Area, as seen in the image below.

Image from Goole Conservation Area Management Plan and Maintenance Plan 2018 – 2028

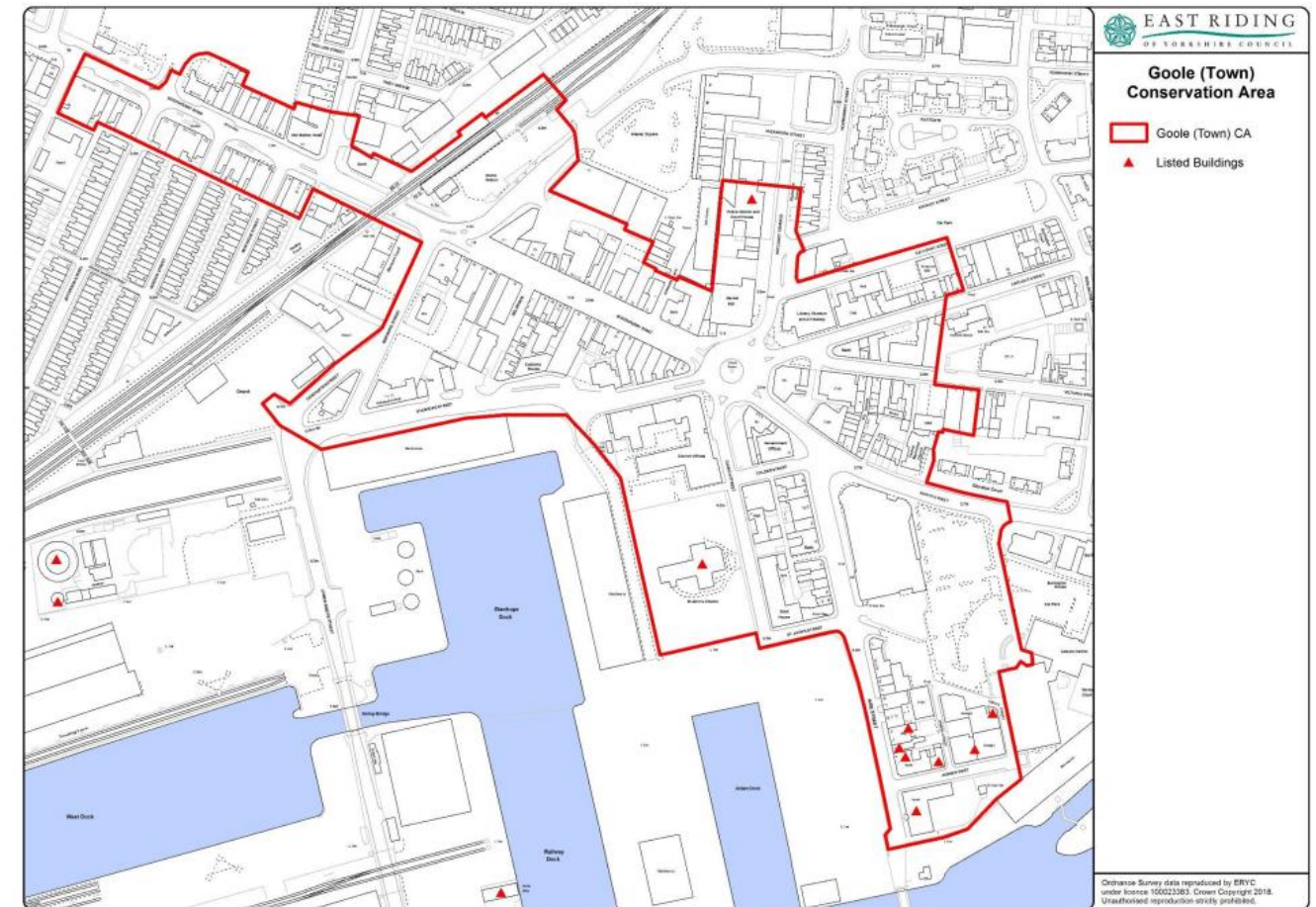


Image from Goole Conservation Area Management Plan and Maintenance Plan 2018 – 2028

2.1 History

The town was formally established in 1826, from the creation of the port at the head of the canal network and was bolstered by the coming of the railway in 1848. The line originally terminated on Aire Street, the location of Goole's first railway station. The development of the town started around Aire Street, Adam Street and Church Street where commercial and civic

activities predominated, with residential areas of tightly packed cottages (such as Ouse Street and New George Street) in the areas occupied by the current leisure centre and supermarkets. The expansion of the port, the bridging of the Ouse by the railway and building of a new railway station in 1869, radically changed the shape of the town. The present-day town centre has developed north westwards in the later Victorian period and lies along Boothferry Road, which is now the main axis of the town. The conservation area has sought to encompass these Figure 7 Aire Street - 2018 11 historic areas, which incorporate the earliest surviving buildings and a substantial part of the later mid to late Victorian and Edwardian expansion.

The oldest remaining historic buildings date from the early 19th century and formed the nucleus of the early civic area forming the port offices and the courts and theatre. Built in the 1820's this grouping of buildings at the southern end of Aire Street and on Adam, Cross and Chapel Streets contain the highest concentration of listed buildings (six entries). 2 Adam Street, Adam Street Garage and adjacent building on Adam Street, Former Lock Up (Petty Motors) Cross Street, The Lowther, Royal Hotel and Mackintosh Public Houses and No. 11 Aire Street. Aire Street was the principal commercial street and although retail, civic and office activity have moved north and west through the late 19th and the 20th centuries, the buildings have largely survived, although many are altered and now vacant.

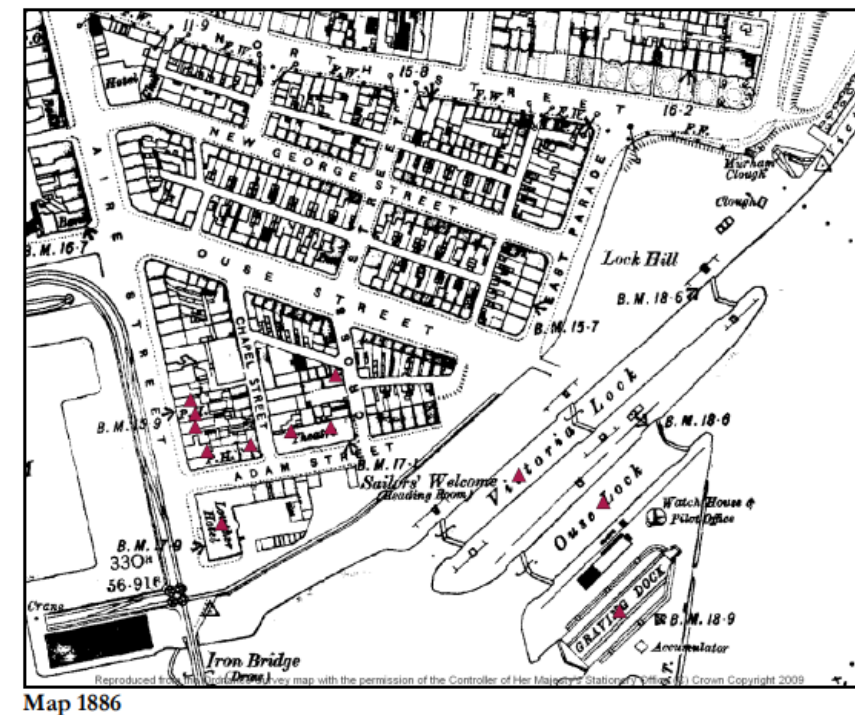
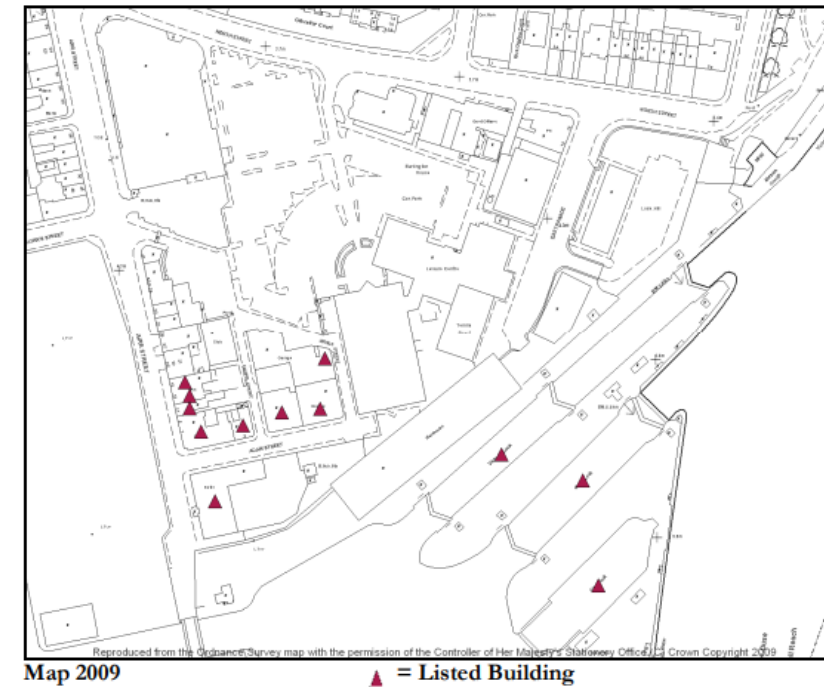
There has, of course, been a cycle of continual renewal and replacement of properties in the town over the decades, most notably the loss of residential areas adjacent to North Street and in Wesley Square to slum clearance, and their redevelopment for retail and leisure. Substantial parts of both of these areas now lie outside the conservation area boundary.

Very important to Goole's character is its surviving industrial built heritage. Most of this lies within the port area, which adjoins, but is just outside the conservation area boundary. However, these structures are quite prominent due to their size and extent, even from further afar.

Opportunities

Potential to open up the historic parts of the docks to new, public uses Re-connection of the town to the water front. The migration of the town centre away from Aire Street has resulted in a loss of function in this area. It is this area that has the concentration of listed buildings

and distinctive views, but also a high percentage of buildings in disrepair and a high level of vacancy. The spaces between buildings are often degraded and, for the narrower streets in particular, this can make the area feel uninviting especially at nighttime.



Images taken from Goole Conservation Area Appraisal document

3.0 Brief

Part of the East Ridding Leisure Centre building is considered to be at the end of its designed life and is in need of significant investment to maintain its current operation. The comprehensive redevelopment of the site to provide a partly replacement building represents the most economical way of re-providing enhanced facilities effectively and efficiently.

Watson Batty Architects alongside Willmott Dixon's Team has been engaged in active discussions with the East Ridding Council and their stakeholders. The emerging proposals are the product of these co-ordinated discussions and will deliver a high quality replacement facility that meets the needs of the local community in Goole.

The proposal seeks to achieve the following objectives:

- Redevelop the site again as a 'town centre destination.
- Re-purpose to be less municipal, diversifying into new activities which appeals to a broader audience.
- Provide a high-quality facility for Health & Wellbeing, Leisure and Culture plus Fun and Social with enhanced Food & Beverage offer.
- Co-location of other town amenities including the Library and Customer Service Centre to create a hive of activities within the centre and encourage use in the day and night and encourage complementary links between services.
- Enhanced fitness offer.
- Improve financial performance.

Based on the above objectives, the proposed redevelopment of the Goole Hub will provide the following facilities

Internal – Ground Floor Plan

- Lerner Pool
- Heath suite

- Reception and office
- Library
- Tag Active / Soft Play
- Indoor Tenpin Bowling
- Central Area + Food Hall
- Kitchen + Server
- Plant Room
- Public Toilets
- 4 court sports hall – Existing
- Leisure Pool – Existing
- Village Change – Existing
- Squash Court

Internal – First Floor Plan

- Tone Zone/Fitness Suite – Part Existing
- Office
- Indoor Cycling
- Library
- Group Exercise - Existing
- Dry Changing Rooms

External

- Civic Space
- Car Parking – Existing

These facilities represent a significant improvement to those currently provided on site, particularly the provision of a Learner pool.

The Brief, Sports Level

Sports at the Centre will generally be played at recreational/community level, and to club level for competitions and events.

The brief, Opening Hours

The opening hours for the new building will be:

Day	Time
Monday	6.15am - 9pm
Tuesday	6.15am - 9pm
Wednesday	6.15am - 9pm
Thursday	6.15am - 9pm
Friday	6.15am - 10pm
Saturday	7.45am - 9pm
Sunday	7.45am - 9pm
Bank holidays	8am - 6pm

The development will require the centre to be closed for the duration of construction

4.0 Design Proposals

Use

Site area is 0.9 ha and the development comprise of:

- 1- Demolition part of existing leisure centre
- 2- Retain the existing leisure pool and sports hall.
- 3- The erection of a two story building that links 2 above
- 4- The erection of single-story building/s
- 5- Retain existing site access and car park.
- 6- New staff carparking and loading area to the south of the building

The proposed site layout featured on drawing No M00510-WBA-XX-XX-DR-A-90_100-P2 describes our vision in transforming the existing strong, solid and dated look of the building into a welcoming, safe, modern, fun and comfortable environment that will no doubt increase participation in the wide variety of indoor and outdoor sporting facilities.



Layout – Site

Amount and Scale

Design Proposal - Proposed Site Plan

Site area is 0.9 ha. The proposed development will create a unique, improved and distinctive destination; a place which will significantly enhance the existing Leisure, Sport and Wellbeing offer for the community in Goole.

The proposed site layout featured below describes our vision in creating an inclusive, exciting, welcoming, safe, modern, fun and comfortable community, sports and wellbeing destination that will no doubt increase participation in the wide variety of facilities.

Site Layout

Our Design Objectives for the site are to:

- Have the main activities visible as soon as entering the site from North Street.
- Locating the new Learner Pool extension to the front elevation that will be visible to customers as soon as entering the site and therefore encourage participation in sports and leisure.
- Locating the Library on the front elevation to reflect the main objectives of creating this community hub.
- Have a clearly segregated route for users arriving by car and users arriving on foot or by bicycle
- Create ease of access to the facilities, drop off point and parking areas.
- Create an open Civic Space in front of the main entrance that will act as a semi public space and will include hard and soft landscape with modern forms of street furniture.
- Creating a space for additional staff car parking area to the south of the building.

The existing site plan offers a good blend and soft transition between the soft landscape areas and the hard landscape/parking area. The new Civic Hub will no doubt enhance and soften the transition from the site into the main entrance to the facilities and create a meeting, greeting and waiting area for the customers. A green hedge will separate this Civic Space from the main glazed screen of the new learner pool.

The existing car parking will be retained and an additional 10no. staff car parking will be accommodated from East Parade. It is proposed to provide a number of EV charging points as part of the next stage of the development when the Traffic Impact Assessment will review and determine the car parking proposal.

The careful selection of the location of each of the additional facilities offers a good level of transparency and enable direct views from the North Street towards the new learner pool extension.

4.3 Layout– Ground Floor Plan

Our Design Objectives are to:

- Create a fully Inclusive community, sports, leisure and wellbeing destination for the community
- Create a building diagram that is simply laid out and easy to navigate without the need for complicated way finding signage.
- Create an internal Central Hub that joins all the facilities together creating an open and transparent space that is easy to supervise and manage directly from the main reception desk.
- The Central Hub will house the vertical circulation to the first floor
- Good connectivity with views to the outside
- Create active street frontages during day and night – to facilitate safe and attractive environments.

The simple layout will enable a natural segregation and separation for grouping the facility mix into three main and defined areas;

- Wet Facilities,
- Dry Facilities,
- Central Hub including Core Circulation Area.

The new building is located between the existing leisure pool and sports hall. This location will allow for connecting the two main elements of the Goole Hub Development to be efficiently connected.

The building orientation is carefully considered to achieve the design aspiration in achieving:

- Sustainable Targets, including BREEAM
- Design targets with the main elevations to act as a "Shopfront" of the main Community, Leisure and Wellbeing facilities that the new Hub will offer. This will no doubt encourage and increase participation in sport and therefore, improving public health and wellbeing.

The simple layout of the new Goole Hub creates a compact yet effective facility that reflects the modern approach to the delivery of Community, sports, leisure and wellbeing offer. High quality, low maintenance material will be utilised throughout the building. The building is designed to allow natural light and when applicable, natural ventilation.

Building Layout – First Floor Level

The vertical circulation "the accommodation stair" leads up to the first floor to the fitness suite, offices, indoor cycling studio, library, dry changing and a group exercise studio. The larger size exercise studio is located next to the fitness suite to maximise flexibility and future proof of the building. The main Central Hub at this level is linked via open voids to the ground floor Central Hub creating a dynamic, bright and pleasant space making the user's journey through the building enjoyable and safe. The Central Hub will benefit from a large area of roof light that will allow natural light to cascade down all the way to the ground floor level. The most surprising view of all on the first floor level is the connection with the St John's Parish Church Spire and the views beyond.



Views onto St John's Goole



The new Goole Hub will be a Fully Inclusive facility

Sport England estimates that inactivity causes one-in-six deaths and costs the NHS approximately £1bn per year. With UK sport and leisure facilities now reopening their doors, following the pandemic, we need to consider who is using these facilities and what barriers they face. The new Goole Hub will be a modern, well-designed, inviting, and inclusive for All, irrespective of gender, age, culture or ability, that enables the local community and the surrounding areas to engage in a wide range of indoor community, sporting and leisure activities.

The new Goole Hub will have a Friendly Design

The new accommodation is arranged over two floors, around a Central Hub. The design focuses on drawing natural light and views into the heart of the centre and connecting it to the wider site.

Visitors will walk freely and passively to experience everything the building has to offer as soon as they enter the building. Customers might arrive simply to visit a café, but immediately will become drawn to explore further into the building and find themselves engaging with sporting or community activities, from swimming, to exercise classes. In the UK, access barriers or turnstiles at the entrance of a leisure centre are a familiar but somewhat unfriendly sight. They form a barrier to the unexpected events which can encourage customers to meet new people, start conversations, and try something new. Our design has a more open approach, with a community focus, is achieved in terms of layout, security and supervision, offering the end users a high level of permeability. The visitors walk in, passing the reception desk, into the café / food hall area that has impressive views into the pool hall, tenpin bowling and adventure play. The barriers are located at a point where non-members will still have all the advantages of meeting and greeting friends and enjoying a light meal without having to go through them.

The new centre is designed with Flexibility in mind

Trends in Sports and Leisure repeatedly adjust as a result of changes in cultural values. Some of the trends continue over a longer time, while others are still gaining popularity. New

Trends have clearly changed expectations of modern leisure centres in a way that facilities have moved away from traditional sports to a more free-form exercise methods. From an early stage of the design process, Goole Hub is designed to be flexible and allowing it to adapt, convert and transform spaces and facilities.



Drawing natural light and views into the heart of the centre

Appearance

The new Community, Sports, Leisure, Health and Wellbeing extension to the Centre is well located on the site. The user's attention is immediately drawn towards the building because of its simple yet strong elevational treatment. This treatment will enable the transparency and direct connection with its surroundings in a controlled and sensible manner. The main / front elevation will showcase the main activities such as, main reception, and learner pool, fitness suite, library and offices.



Main Entrance

The building footprint is of a simple nature, so is the roof. The roof comprises of a shallow pitched surface with edge protection that will assist with health and safety aspect on one side and conceal the roof plant when the building is viewed from the ground level. This will be part of Watson Batty Architects outline philosophy for Cleaning, Access and Maintenance.



View 01 – simple design footprint and roof



Main Elevation acting as a shop front of the main facilities

Elevations

Openness and transparency is one of the main criteria in our design, however, safeguarding and modesty has been taken into consideration as well. Full height glazed / transparent areas will be provided around the building where visual connection is required, i.e. viewing into the learner pool and fitness suite. A 1 m height line of shrubs will be planted in front of the large, glazed areas of the learner pool to allow part privacy to the end users. The main entrance point to the building is clearly identified as a frame starting from both sides of the main entrance doors and rising and wrapping around the glazed and lighter colour cladding areas to the first floor front elevation.

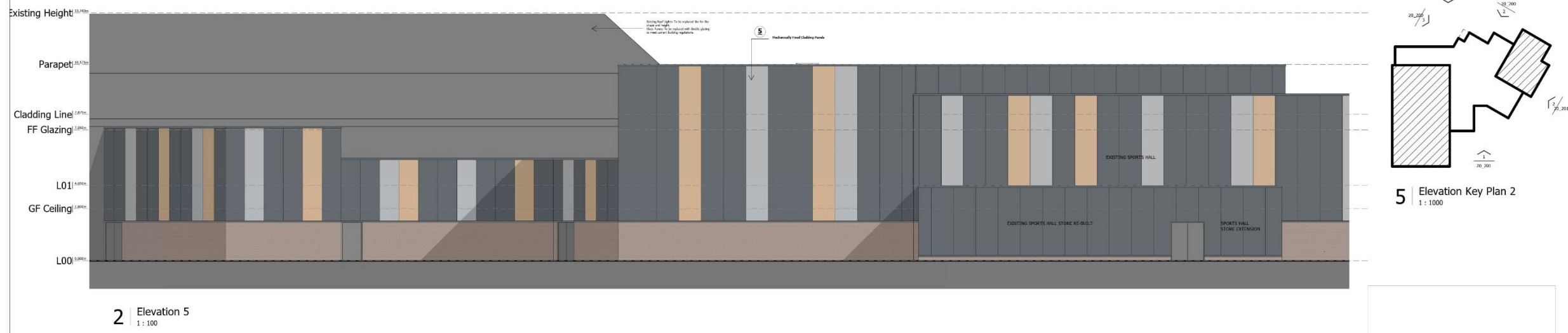
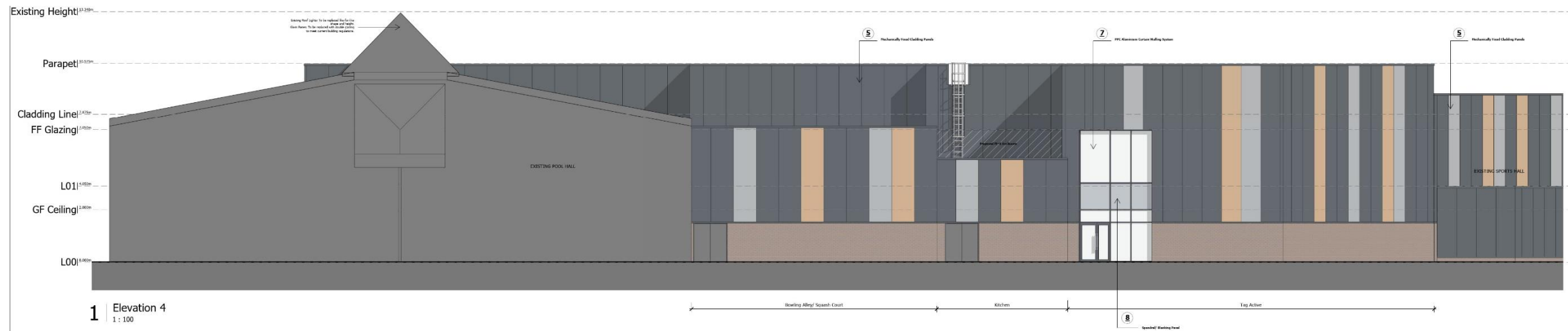
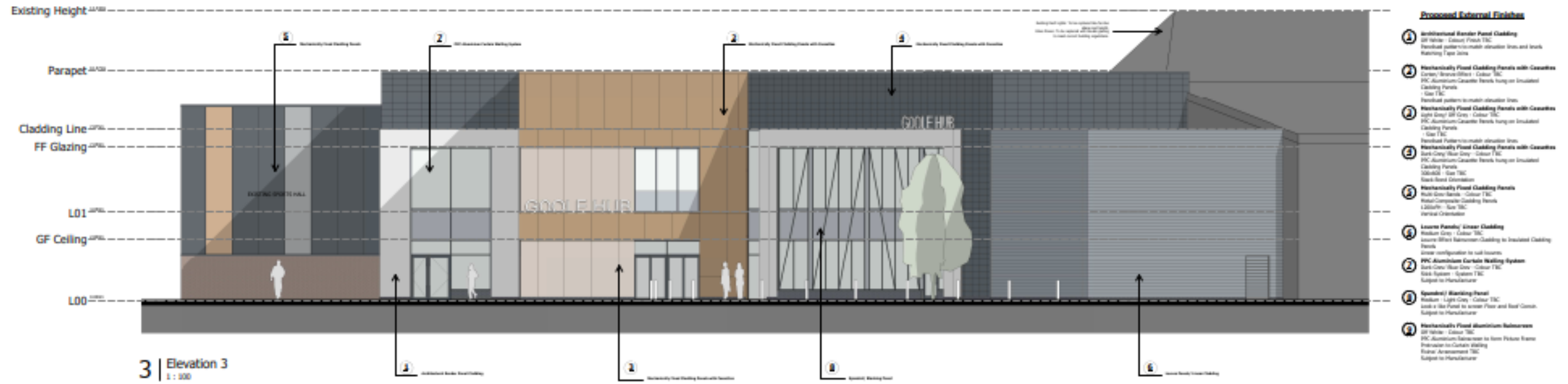


The migration of the town centre away from Aire Street has resulted in a loss of function in this area. It is this area that has the concentration of listed buildings and distinctive views, but also a high percentage of buildings in disrepair and a high level of vacancy. Looking at the large size glazed areas within the elevations, spatially the Pool Hall and Tone Zone Front elevation, and tapping into this industrial heritage of Goole

and the site location, we found out that we have a very strong opportunity of injecting some of this industrial heritage into the modern curtain walling system of this particular part of the façade in a modern form. This will be expressed through the different angles of the Transoms and Mullions of the curtain walling system. This pattern is inspired by the engineering work for Aire Street swing bridge.



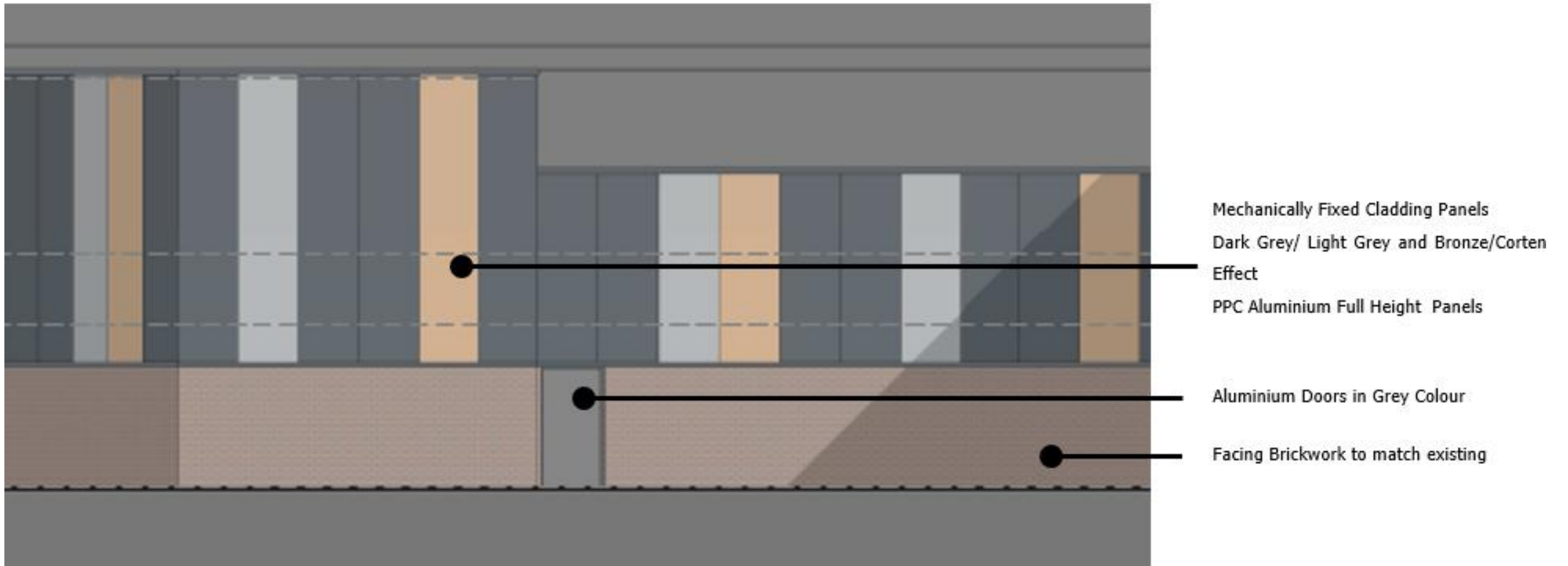
Aire Street swing bridge.



External Material



- Mechanically Fixed Cladding Panels
- Dark Grey/ Blue Grey - Colour TBC
- PPC Aluminium Cassette Panels
- 300x600 - Size TBC
- Stack Bond Orientation
- Mechanically fixed Aluminium Rainscreen
- Off White – Exact Colour TBC
- PPC Aluminium Rainscreen to form Picture Frame
- Mechanically Fixed Cladding Panels
- Colour/ Finish : Bronze/Corten Effect
- Panelised Pattern to match the Elevation lines
- PPC Aluminium Curtain Walling System
- Dark Grey/ Blue Grey - Colour TBC
- Stick System - System TBC
- Spandrel/ Blanking Panel
- Medium - Light Grey - Colour TBC
- Look-a-like Panel to screen Floor and Roof Constr.
- Mechanically Fixed Cladding Panels with Cassettes
- Colour/ Finish : Light Grey, Exact colour TBC
- PPC Aluminium Rainscreen
- Panelised Pattern to match the Elevation lines



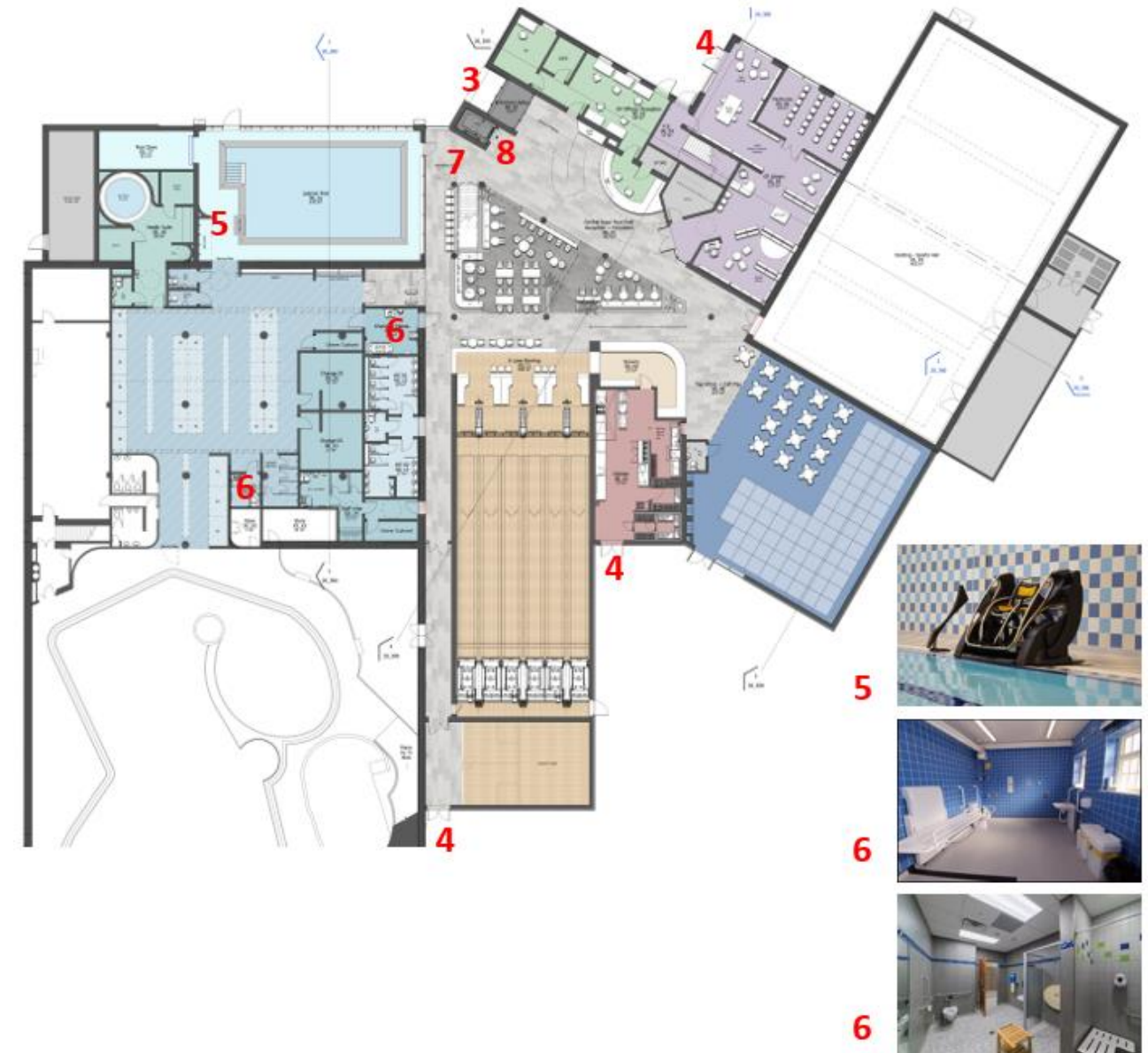
6.0 Access Statement

Please refer to Proposed Goole Leisure Centre Expansion, Transport Statement, section 3 Site Assessment for cyclist, pedestrian, public transport and car access to the site.

Inclusivity / Accessibility

The development incorporates several measures to allow for full accessibility around the site and within the building according to BS8300:2001 and Part M Building Regulations. Including the measures below:

1. Safe pedestrian, wheelchair and pushchair route from North Street
2. Car Parking - the development accommodate 7 car parking spaces of which 1 is a new space and close to the new main entrance of the building approx. 33m away.
3. The main doors, including the entrance sliding door will be automatically operated. Doors on the main circulation routes will be power assisted.
4. All the external doors including main doors will have a level threshold.
5. Learner pool tanks is accessible via pool Pod.
6. Changing facilities are provided as part of the Ground Floor Village Change and First Floor Dry Change will include, changing places, two group changing rooms that will accommodate larger groups and accessible shower, change and wc.
7. Spectator seating as part of the Central Court Area allows for 1 wheelchair space.
8. Provision of 13 person passenger lift that is compliant to accommodate a wheelchair user is provided as part of the development



Landscape Scheme and Planting Schedule

Code	Species	Size	Nr
SHRUBS			
Bra Sun	Brachyglottis Sunshine	20-30 3Ltr 4/m2	22
Euo Eme	Euonymus Emerald Gaiety	20-30 3Ltr 4/m2	22
Ger War	Geranium Wargrave Pink	20-30 3Ltr 4/m2	22
Heb Win	Hebe Mrs Winder	30-40 3Ltr 4/m2	22
Lav Hid	Lavandula Hidcote	20-30 3Ltr 4/m2	22
Pru Luy	Prunus otto Luyken	30-40 3Ltr 4/m2	22
Vin Var	Vinca Variegata	20-30 3Ltr 4/m2	22
Vib Dav	Viburnum Davidii	20-30 3Ltr 4/m2	22

SPECIMEN PLANTS (Positioned amongst the shrubs) Size

S 1	Phormium Tenax Purpureum	20 Ltr	6
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TREES (bare root unless stated otherwise)

Code	Species	Size	Nr
T1	Betula Pendula	10-12 Rootball	3
T2	Sorbus Aucuparia	10-12 Rootball	1
T3	Pyrus Chanticleer	10-12 Rootball	2
T4	Carpinus Betulus Frans Fontaine	10-12 Rootball	1

Hedge 1 (Planted in a double staggered row 5 plants per metre)
Lonicera Maygreen 165



Hard Landscape Scheme and Material

External Works Materials Key

-  **General Hardstanding** - Heavy Duty Tarmacadam surfacing generally to vehicular and pedestrian areas. Perimeter paths to have kerb detailing as per S/Eng design. See Engineers details for sub-base/ build up.
-  **Paving** - New hard-landscaping to civic space. New paving stones/ blocks - System TBC. See Engineers details for sub-base/ build up.
-  **Resin Path** - New hard-landscaping to civic space. New resin-bound path. System TBC - Colour: Buff/ Sand. See Engineers details for sub-base/ build up.
-  **Grass** - New soft landscaping generally. Grassed areas - Refer to L/Arch design for further information.



Footpath Surfacing- Resin Bond- Terracotta colour by Resin Bond Surfaces Ltd.



Civic Space- Tegular Blockpaving- Charcoal by Marshall

9.0 Energy Statement

The new edition of Part L building regulations, introduced last year, saw significant changes to carbon emission factors compared with the previous 2013 version, most notably, for electrical fuel. It is now accepted that due to the incorporation of alternative electrical generation within the UK grid, as opposed to fossil fuel power stations, the carbon intensity associated with producing electricity has significantly reduced. It is now accepted as a cleaner fuel than gas.

As such the refurbishment of the Leisure Centre is to replace all gas fired heating and hot water generation with new highly efficient air source heat pump technology (ASHP's). This technology will serve all the existing requirements and the new build elements. In addition to the ASHP's, all ventilation plant is to be replaced with new high efficiency fans and heat recovery devices.

The new build elements have adopted a fabric first approach to minimise energy consumption, by targeting a well-insulated building envelope, and bettering the Part L minimum fabric standards of design.

In addition to the ASHP's new ventilation plant and an exemplary insulated building, the development will also have new PV panels mounted on the roof, at this stage it has been apportioned circa. 200m² of active panel area.



10. Closing Statement

The proposed development outlined within this document offers Goole a unique, improved and distinctive community, sporting, health and leisure destination; a place which will significantly enhance the existing facilities to the benefit of wider community. The composition of the new building sympathetically respond to the existing buildings, site, context and topography, maintaining the existing links with the surrounding transport network. WDC's team, worked closely with ERFY to realise a design that responds to and further exceeds the Council's expectations.

