

**Design Heritage and Access Statement for
Overcoombe, France Lynch.**



**Prepared by Coombes Everitt Architects Ltd
on behalf of Mr + Mrs Farr**

October 2023

1.0 Introduction

This Design, Heritage and Access Statement has been prepared by coombes everitt architects on behalf of the client, to accompany their pre application enquiry for the alteration and extension of their property in Frances Lynch.

Although the property is not located within the conservation area it does border it and there are views towards the conservation area from the west where the site is within the foreground.

We believe that the information included in this statement is proportional to the scale of the proposed works.

2.0 Development Overview

The application site is located within the village of Frances Lynch. The site is within the settlement boundary and borders the conservation area.

The property was one of four constructed in the 1976. Since their development one of the units to the south of the application site has been demolished due to damage caused by subsidence. The applicants property has undergone some remedial piling in 1983.

Our clients purchased the property in 2021 and now wish to undertake some works to modernise and reconfigure their home. At the same time they wish to carry out some additional structural works to ensure the ongoing integrity of the structure.

The proposed works include the removal of the existing roof structure and then raise the wall plate by approximately 400mm before relacing the roof with new attic trusses so that a new bedroom can be accommodated within the roof space.

At the lower ground floor level we are proposing a single storey extension to the east. This extension will come just over halfway across the rear elevation and will extend 6.5 m to the east.

The works will also provide an opportunity to upgrade the property thermally so that it is more energy efficient. The external walls of the existing dwelling will be externally insulated and then over clad with Cotswold stone slips, timber cladding or render on render board. The locations of each material are indicated on the elevations.

In addition they wish to develop a home office to the north west of the existing house. A timber framed carport will link the office/store structure to the main dwelling.

3.0 Recent Planning History

An application was submitted in January of 2023 for a similar project however following the initial feedback from the case officer this application was withdrawn whilst further site analysis was undertaken and the to allow time for the scheme to be developed and revised.

A pre-application enquiry was submitted in May and a site meeting took place with the Case Officer and the Conservation Officer.

The proposal at the time of the meeting was for the roof to be replaced with a flat roofed storey. Both officers were concerned that this would look out of keeping within the wider setting and advised;

The proposed development would severely alter the appearance of the host

property and would result in development that is not in keeping with the surrounding area. The proposed design and detailing would also have an impact on the adjacent conservation area.

However they did comment that they were not opposed to a contemporary design.

Following the meeting revised drawings were submitted in August which retained the pitched roof form but elevated the ridge height and proposed a single storey extension at the lowest level of the property.

Officers responded positively to this revised proposal and made some suggestions as to how the scheme could be refined further.

- *The roof lights are consistent in size to the rear elevation and reducing the size of the front facing roof light to match the rear would improve the design.*
- *Officers are not opposed to a single storey flat roof extension but would recommend that the depth of the extension is stepped in by a minimum of 1m so that the addition is more proportionate to the host property.*
- *Officers are not convinced that the proposed bay window fits in with the appearance of the property that you are seeking to achieve. A box window of a more sleeker design would be considered more favourable.*
- *Regarding the proposed materials, Officers would not have an objection to cladding the property in timber and render with stone slips subject to the type, colour and finish. You have provided details within your submitted information, however it is suggested that physical samples are available on site during the course of the planning application.*
- *As discussed on site, Officers do not raise any objections to the link car port / outbuilding.*

In response to the officers comments we have made the following amendments.

We have reduced the number of roof lights by omitting the rooflight to the road facing elevation. The rear facing rooflights are now a consistent size

The rear extension has been brought in slightly from the north east so that the outline of the original host building can be seen more clearly.

The bay window that was proposed on the south east elevation of the extension has been removed and replaced with a simple picture window. We feel this is a simpler and less fussy details than the initial bay window proposed.

We have provided images of the materials that are proposed to be the finishes to the extension and the recladding of the host dwelling.

There are several examples of properties in close proximity to the site, some of which are located within the Conservation Area where a contemporary design approach and traditional materials have been used to good effect.

For example the property to the south west of the site, Brooking was granted planning permission for a two storey side extension in 2015. Ref. No: 07/00361/FUL | Status: Application Permitted



Rear Elevation

Rear elevation

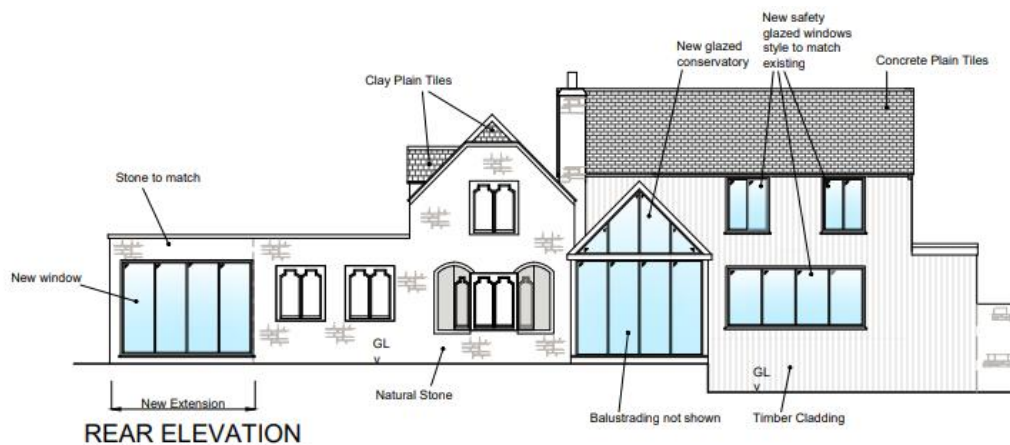


Side Elevation

Side elevation

In 2020 application ref S.20/1662/HHOLD | Proposed single storey extensions and cladding of existing two storey extension in timber. | Dorothea Lynch Road France Lynch Stroud Gloucestershire GL6 8LP was approved.

This introduced a new conservatory to the rear of the property facing east. In addition a significant proportion of the existing property was over clad in timber. This property is located within the conservation area and is similarly visible from the PROW to the west of France Lynch when looking towards the village and conservation area.



Elevation address in Keble Road

The property Dorothea sits on significantly higher ground than Overcombe.



Dorothea photographed from Keble Road

Another application of note in the locality is ref S.16/1082/HHOLD, Bidcombe Cottage. This application that was approved in June 2016.



Bidcombe Cottage viewed from the footpath below

The application was for a two storey extension to the side of a traditional Cotswold Cottage. Whilst the site is located just outside Frances Lynch it is still located within the AONB and is visible from a public right of way.

This scheme used a similar palette of materials and form to that of the proposed scheme.

Natural Cotswold Stone at the lower level

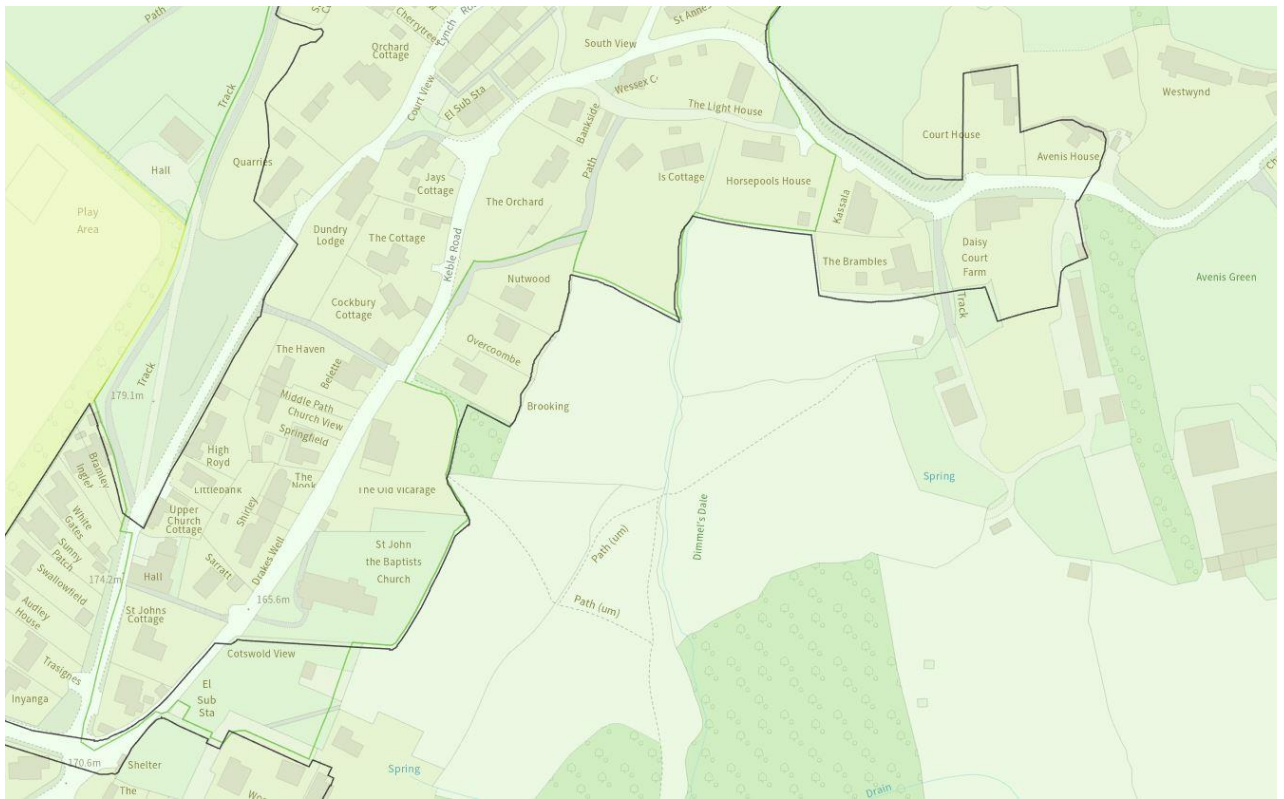
Timber cladding on the upper storey

Flat roof form

The scheme has been successfully implemented and demonstrates that traditional materials used in a contemporary fashion and form can be successfully integrated into the AONB and can compliment the more traditional Cotswold buildings and forms found in the locality.

4.0 Site Context

The site is located on the western edge of France Lynch and is accessed from Keble Road. It sits within the settlement boundary for France Lynch and is just outside the Conservation Area.



Settlement Boundary and Conservation Area

The site is on the side of a valley and as such there are attractive views into and out of the site.



View looking south west from the lower ground floor terrace

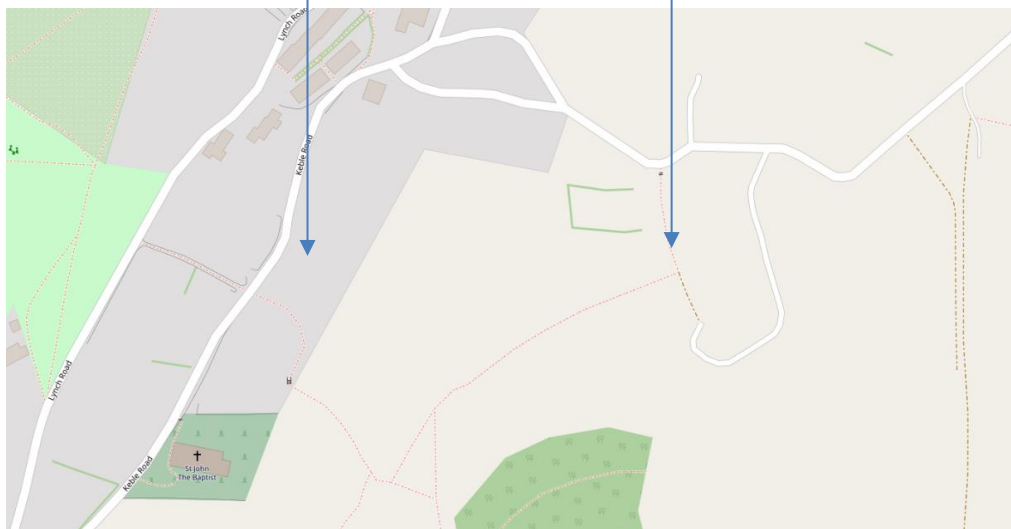
Site



View towards the site from the public footpath to the west of the site.

Site

Photo position



Footpath map extract

As such although the property is not located within the conservation area it does border it and there are views towards the conservation area from the west where the site is within the foreground.

To assist with the understanding of the site and its position within the wider context an LVIA was commissioned. A copy of the LVIA has been included as part of the pre-application submission.

The report has been completed and has informed the revisions that have been made to the scheme since the previous application was withdrawn.

The LVIA has looked at the site from nine different viewpoints to establish the potential impact of the proposed scheme versus the existing situation.

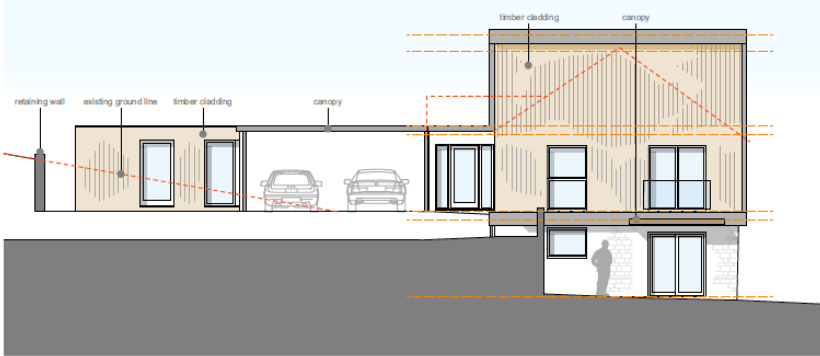
The LVIA concluded that;
With the implementation of a successful mitigation strategy, the overall impact on the landscape is considered to be a minor visual impact and a minor/moderate character impact (i.e. not a material change). It should be considered that this type of development is not out of character within the receiving landscape.

5.0 Previous Application

As mentioned above in January of 2023 an application was submitted for a similar proposal. That application was withdrawn following the initial response from the Case Officer where it was advised that they had the following concerns;

- The impact of the works to one of three properties that are nearly identical.
- The replacement of a pitched roof with a flat roof form.

Following the withdrawal of the scheme an LVIA was commissioned to look at the site within its wider context. We also undertook a review of other applications within the locality to help establish the varying forms of extension that had been approved in the past and the materials used in their implementation.



Previously proposed South Elevation



Existing East Elevation



Previously Proposed East Elevation

6.0 Design Objectives

The design objective remain the same as the previous application.

- The development should improve the appearance of the property
- The works should improve the thermal efficiency of the property
- The proposed works should not negatively impact on the views into the village or the setting of the Conservation Area
- The proposed works should respect the views of the properties to the north west of the site that currently look over the existing property to the countryside beyond

7.0 Proposed Works

As mentioned above there have been some structural issues with the property in the past as well as the adjacent land. In the past a two storey side extension was explored however the structural advice relating to that works and the necessary ground works required to ensure the stability of the extension has lead to the conclusion that such an extension is not viable.

In developing the proposed scheme we have engaged with a Structural Engineer and a Geotechnical Surveyor to help us understand that structural capacity of the existing foundations and how the existing structure can be altered to increase the amount of accommodation within the property.

It was determined that the existing foundations would be able to accommodate a marginal increase in load therefore any increase in the volume of the building would need to be offset in weight terms by the removal of heavier forms of construction and its replacement with lighter forms of construction.

In addition it was determined that any extension of the property would need to be supported on pile foundations.

The existing roof construction and pitch is not suited to a simple loft conversion as such we are proposing to completely remove the existing roof finish, timber structure and masonry gable walls.

The existing roof is clad in interlocking concrete tiles and the masonry construction above the wall plate level on the gables equates to a considerable amount of weight.

We are proposing to remove the existing roof structure and then raise the wall plate by approximately 400mm before relacing the roof with new attic trusses so that a new bedroom can be accommodated within the roof space. This will become the master bedroom with an ensuite shower room. This new roof will be finished with slate. The roof will retain a pitched form of the same pitch as the existing and therefore will match adjoining properties. Due to the varying plot levels the ridges of the existing properties don't align so the change in height will not stand out as being different to the adjoining properties.

The new roof space will be accessed via a new staircase located against the eastern wall of the property. This will have open risers so that the view can be seen through the staircase.

The existing upper level will remain as the bedroom accommodation. A new bathroom will be formed and the window openings increased in size. The exiting staircase is to be removed and the trimming of the opening revised so that a new staircase can be inserted to the right hand side of the hall way.

At the lower ground floor level we are proposing an extension to the east. This extension will come just over halfway across the rear elevation and will extend 6.5 m to the east. Due to the ground conditions we are proposing that the extension will be supported on six piles, these are likely to be 8-10m deep. A steel frame will then be installed on top of the piles and this will form the basis for the single storey extension. The extension will be constructed using timber and will have a flat roof. The external walls of the extension will be clad with hung slate to match the roof.

The walls of the original property will be insulated and then over clad in a mixture of natural Cotswold stone slips and timber cladding. These materials reflect those that are found in the locality and in conjunction with the pitched roof form will help the extension and the host property to blend into the setting of the conservation area when viewed from across the valley.



South East Elevation

Local Natural Stone Slips - Proposed	Vertical Larch Timber Cladding - Weathered	PPC Aluminium Windows and Doors, Grey Finish	Sedum Green Roof - Office only	Hung Slate to Roof and Facade

Proposed Materials

As part of the proposed work we are also seeking to improve the overall thermal performance of the building as such all of the windows will be replaced using a powder coated aluminium glazing system.

The glazing to the lower ground floor and the ground floor will follow the pattern of the existing window openings albeit some of the openings will be widened and extended by dropping their respective cill heights down to the internal floor level. This will allow more natural light to enter the property and will provide the occupants with increased views of the landscape to the east and south east.

To help mitigate the potential visual impact on the wider setting of the site the glazing fitted will be treated with an anti-glare coating this will also help to control the solar gain within the property.

The proposed home office/store and carport are not visible from the open countryside looking into the property. Due to the topography of the site they sit below the eyelevel of pedestrians walking along Keble Road.

8.0 Impact of the proposed works on the setting of the conservation area.

Whilst we accept the proposed works will be visible within the foreground when looking towards the conservation area we have considered the visual impact of the proposed works.

By retaining the pitched roof form of the existing property the overall shape and form of the dwelling remains as the existing dwelling. The single storey extension is at the lowest level of the property and consequently has the building behind it when viewed from the other side of the valley as such it will not be overly prominent within the setting of the conservation area beyond the site. We have changed the proposed materials so that they are of a similar colour and tone to those of the buildings on either side of the property and on the hillside behind it as such when viewed in the wider context although the form will be different the visual impact within the wider setting will be minimal.

The natural stone proposed for the over cladding of the host property is a material that is seen on many property from this vantage point. Similarly there are examples of timber cladding that have been used in conjunction with new and existing natural stone on buildings within the locality. As such this pallet of materials is not uncommon.

The topography of the land to the east of the site, continues to rise steeply behind the property meaning that the proposed works will not affect the skyline of the conservation area. The width of the dwelling will not increase and the property will still continue to be seen with buildings in the background rising up the face of the hill to the east of the dwelling.

As such we believe the impact of the proposed works on the conservation area will be minimal.

9.0 Sustainability & Access

The proposal has been designed to provide modern, high quality living environments, that are highly sustainable. As mentioned in conjunction with the replacement of the roof form the client is intending to upgrade many aspects the existing external fabric of the building thus significantly improving its overall thermal efficiency.

The works will not affect the access to the property

10.0 Highways

The proposal has no highway implications with the existing access retained; the property has allocated parking space which allows for turning.

11.0 Conclusion

Whilst developing this proposal we have engaged with the Local Authority via their pre-application process and we have sought to develop a scheme that respects and preserves the setting of the conservation area.

We trust that Local Planning Authority is able to support this application.