

Heritage Statement

In respect of:

Application to install 1.2m Pickett Fence in location of 1.8m Close boarded fence.

at:

Orchard House
5 The Paddocks
Dog Kennel Lane
Chorleywood
RICKMANSWORTH
WD3 5EW

On behalf of
Mr & Mrs Searle

October 2023

This statement seeks to comply with paragraph 194 of the National Planning Policy Framework in supporting the application to install 1.2m high timber Pickett fence around the external perimeter of the curtilage.

Prior to the installation of the unauthorised 1.8m close boarded fence in early 2023, due to be removed by way of planning condition, the pre-existing state included a 1.1m timber Pickett fence. This application seeks to install a fence approximately 100mm (4") higher than what was present for at least the last decade. Although neither of the Grade II listed structures are affected directly by the proposal, this statement seeks to present the special architectural features of the structures that led to them being listed in the first instance.

The Heritage Assets

There are two listed structures within the curtilage of the property. Below is the official list entries;

1. The Granary

Date First Listed: 29th Dec 1978
Grade: II
List Number: 1100901
List Entry Name: GRANARY ABOUT 30 METRES NORTH OF APPLE TREE FARM HOUSE
List Details: Granary. C18 or C19. Timber frame. Weatherboarded. Pyramidal tiled roof. Square on plan with stone staddles 3 by 3. Steps up to door facing house. Inserted windows. Interior not inspected. Included for group value.

2. Barn and Stable Range

Date First Listed: 29th Dec 1978
Grade: II
List Number: 1296287
List Entry Name: BARN AND STABLE RANGE ABOUT 15 METRES NORTH WEST OF APPLE TREE FARMHOUSE, DOG KENNEL LANE
List Details: Barn and stables used as garage. Late C17 or C18. Timber frame on brick base. Weatherboarded. Tiled roof. 3 or more bays with a short-gabled wing away from house forming an L on plan. Catslide roof over lean-to outshut to yard. C20 garage doors to gable end nearest house. Inserted casements with leaded lights. Interior not inspected.

Originally these structures would have formed part of the Apple Tree Farm estate with primarily agricultural uses.

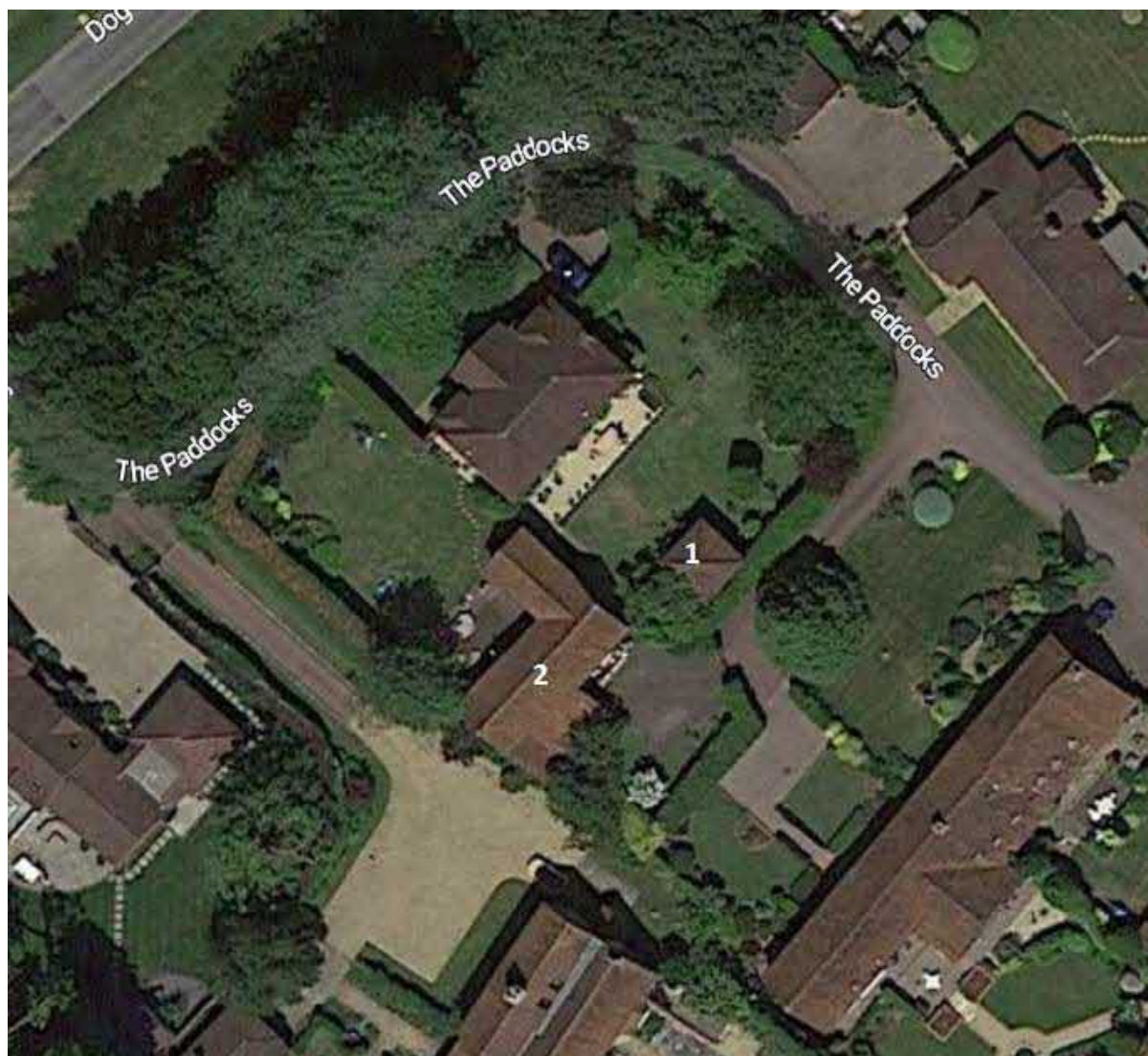


Figure 1. Current Location of the Listed Structures marked 1 and 2, respectively. Image courtesy Google Maps.

The Granary

The listing would appear to suggest that the Granary is of lesser value than that of the Barn/Stables and was included only for group value rather than being of significant historic value in its own right. The Granary was subject of a number of applications to relocate it to its current position, the most recent being refused by the Local Authority in 2006 on application 06/1234/LBC however later allowed on appeal. The relocation to its current position took place in 2006/2007.

The listing states a rather wide age of construction with 18th and 19th Century being considered as a viable age, however the following map extract from 1896 does not show The Granary however the 1913 map does in fact show it in its original position to the west of the barn/stables. Such information would indicate a very late 19th or early 20th century construction.

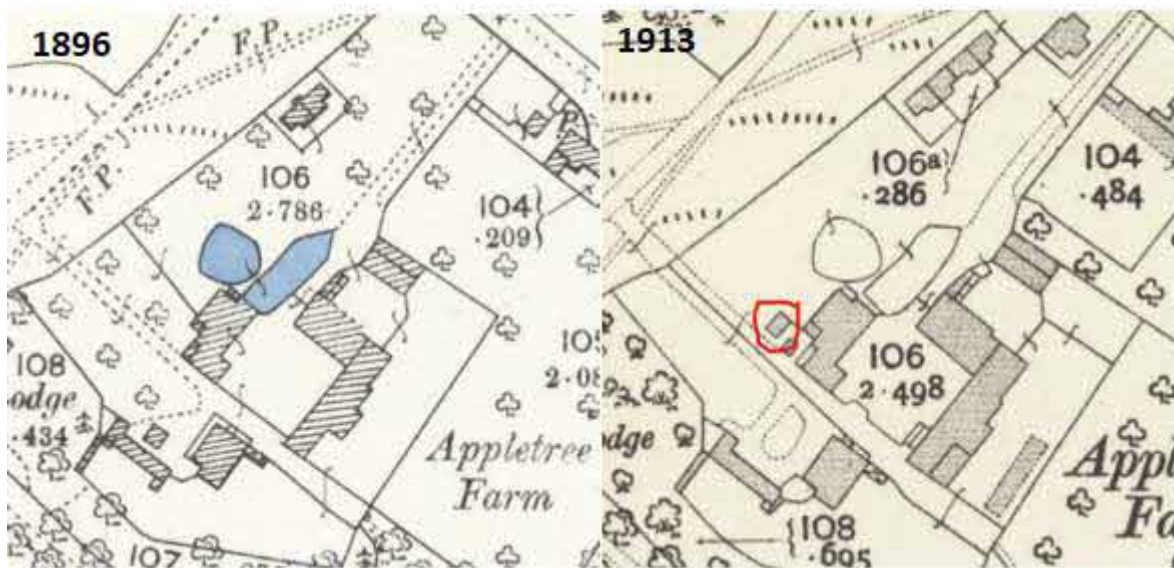


Figure 2. Comparison of maps from 1896 and 1913 with the latter showing The Granary in its original, pre-relocation, position. Courtesy National Library of Scotland.

The Granary is a square timber framed building finished with a black painted timber weatherboard. The structure is raised on concrete stilts, presumably to prevent rising damp from damaging the stored grain. Access doors appear to be of a modern glazed panelled design with steps constructed of timber decking boards to facilitate access. The roof is of a hipped design, finished in plain clay tiles with matching hip tiles on a mortar bed.

It should be noted that the proposal does not propose any changes to the listed structures.



Figure 3. The Granary when viewed from the west.

The Barn and Stable Range

The Barn and Stable range is a timber framed structure with lower walls of brick circa 17th or 18th Century. Walls are clad in a black painted timber weatherboard. The roof is pitched and ridged and finished in plain clay tiles to match the Granary, with ridge tiles of a matching design. The roof falls to low level as a 'catslide' to the south elevation encompassing a single storey outhouse. 20th Century Garage doors have been fitted with inset glazing featuring leaded lights. Originally the building would have been part of the Apple Tree Farm estate, being primarily used for the stabling of horses and other animals. Within recent times the building has been sold and is now within the curtilage of the private dwelling house that sits on the site subject of this application.

The building is now in use as a private garage, incidental to the enjoyment of the dwellinghouse.

As aforementioned there are no proposals to alter the listed structure in any way.



Figure 3. The Barn now in use as a garage viewed from the North.

Effects of the scheme on the listed structures.

The scheme seeks to obtain permission to install a 1.2m Pickett Fence around the external perimeter, similar to the design and only 100mm (4") taller than the pre-existing situation. There are no proposals to alter the listed structures in anyway whatsoever. The listed structures are in private ownership and their use is incidental to the occupier's enjoyment of the private dwelling house that

sits on the site subject of this application. It is not deemed that that the scheme affects the special historical and architectural significance of the structures in any way.

We hope that the above is informative, describing the structures and their significance. If, however any further clarification is required, then please do not hesitate to contact me.

Kind Regards



Reza Bitaraf BSc (Hons) MFPWS