



Date

20 / 10 / 2023

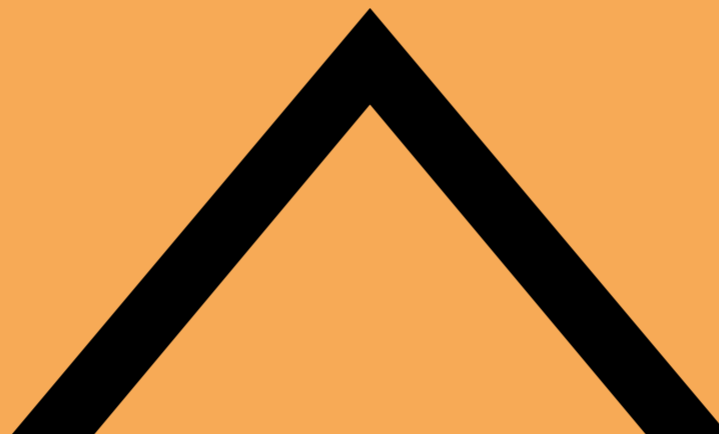
Title

Proposed Amendment to Consented Application (Ref: 22/o2878/FULL)

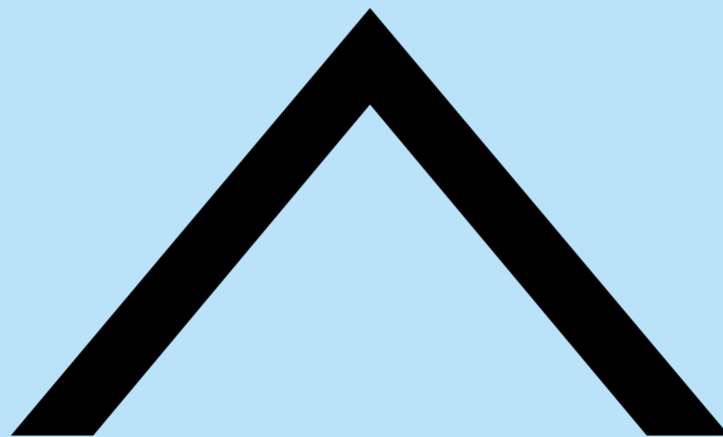
**2 Dove Street**

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# Introduction



# Introduction

## Background

- The building is part of a row of densely packed dwellings with thick masonry walls to keep sea winds and moisture out.
- The dwelling has fantastic views to the south, looking directly to the sea.
- The building is category C listed within the Cellardyke conservation area.

## Consented Scheme (Ref: 22/02878/FULL)

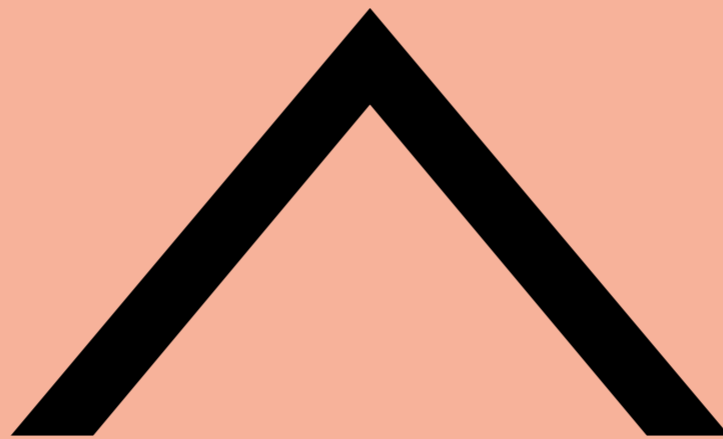
- The consented scheme for 2 Dove Street, proposed internal alteration works around the whole house, mainly in the kitchen, first floor shower room, attic bedroom and adding a new bathroom within the attic also.
- The main part of this Consented proposal was the large bridged extension from the first to attic floor stairs. This bridge stepped up to the garden level connected to a garden room / gallery space / art studio.

## Updated Design Proposal

- Following feedback from contractors during the Tendering process, the client has reassessed the ambitions and the brief, whilst maintaining the overall design aesthetic.
- The scale of the project has slightly reduced from what is currently consented.
- The main updates to the design proposal include:
  1. Omitting of main link extension to a garden room.
  2. Updating to the utility room roofing / rooflights.
  3. Reducing the complexity of the form / massing for the dormer extension.
  4. Separating the dormer massing for attic bathroom.
  5. Connecting the main dormer extension to the back garden using a stair walkway.
  6. Adding hard landscaping proposal and features in the garden.
  7. Adding a garden room at the top of the garden along the boundary wall.
  8. Adding gates to existing gated locations at the top of the garden (existing gate) and the side of the house (previous gate here, gate fixings still visible in wall) onto the street.
  9. Retaining alot of the greenery and planting areas in the existing garden.



Location



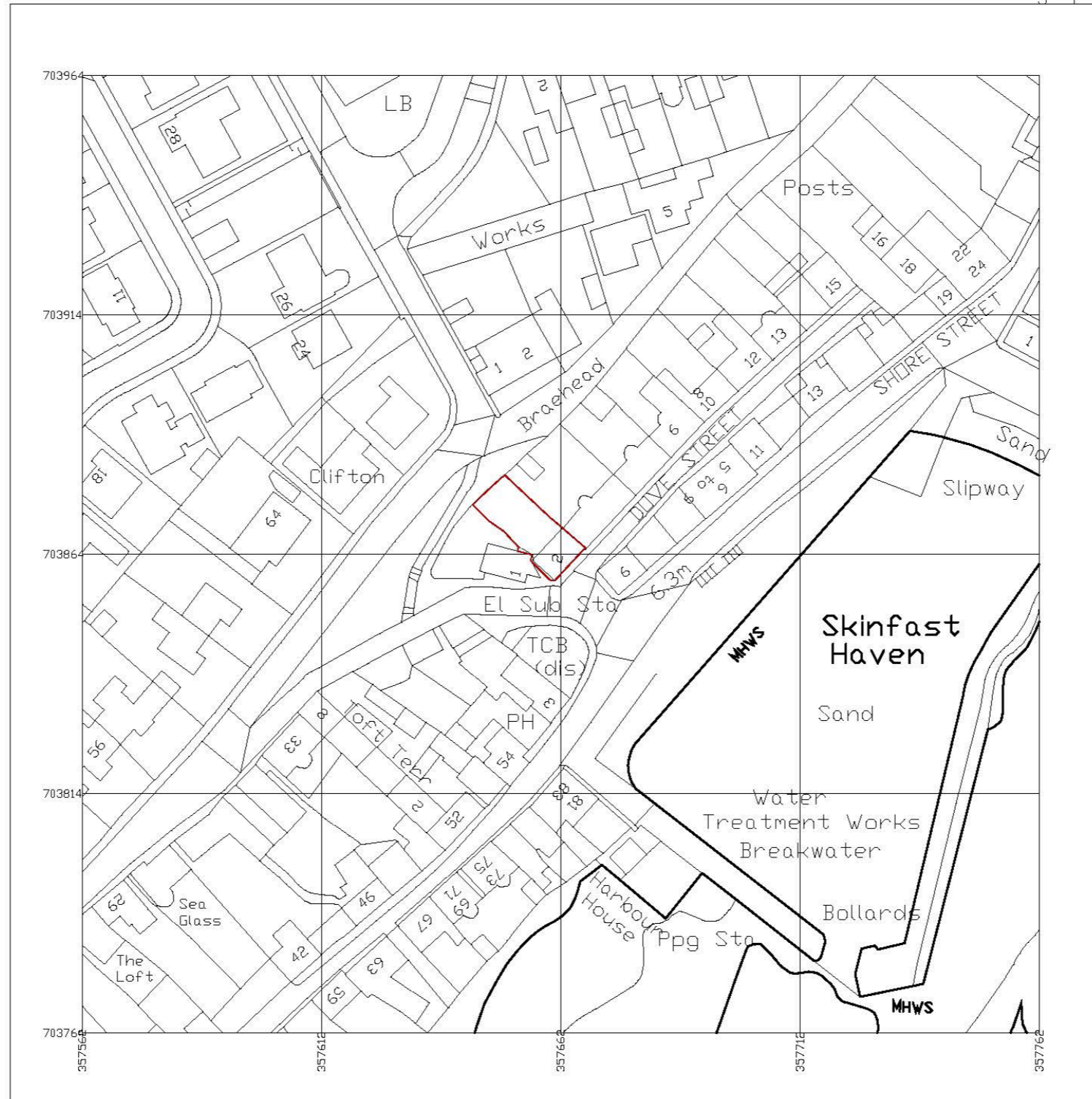
# Location Plan

2 Dove Street

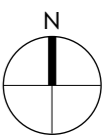
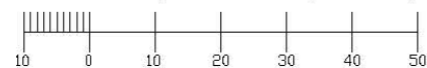
- Ownership area shown in red



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This map shows the area bounded by 357562 703764,357762 703764,357762 703964,357562 703964,357562 703764.  
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# Block Plans

2 Dove Street

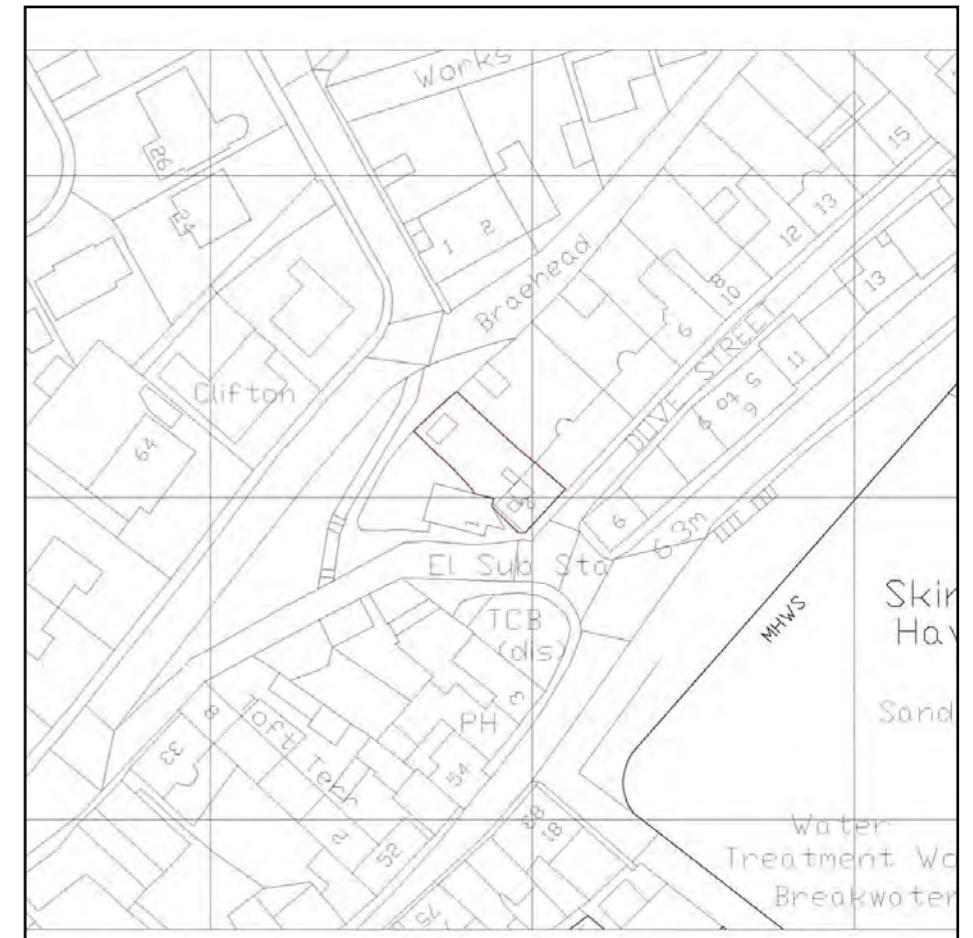
- Ownership line shown in red



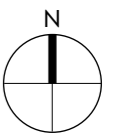
Existing



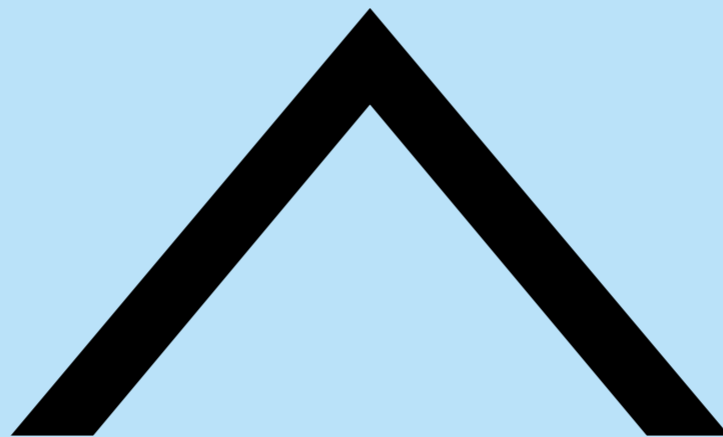
Consented Scheme (Ref: 22/02878/FULL)



Revised Design Proposal



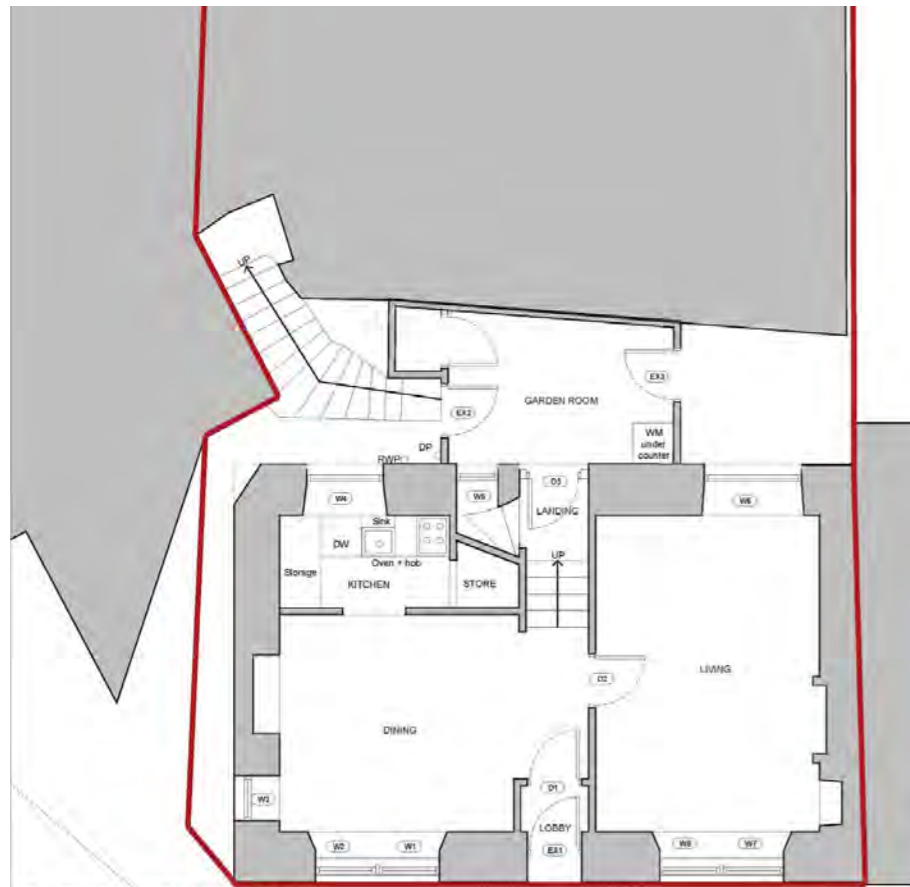
# Amendments to Proposed Works



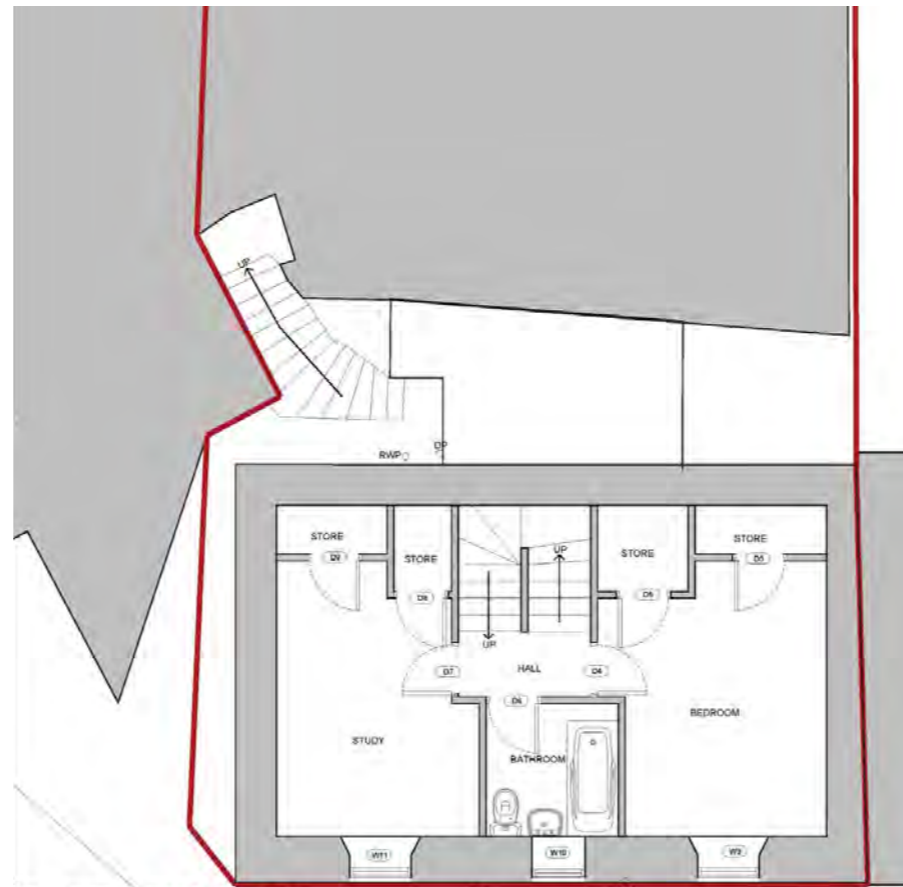


# Interior / Floor Plan Update

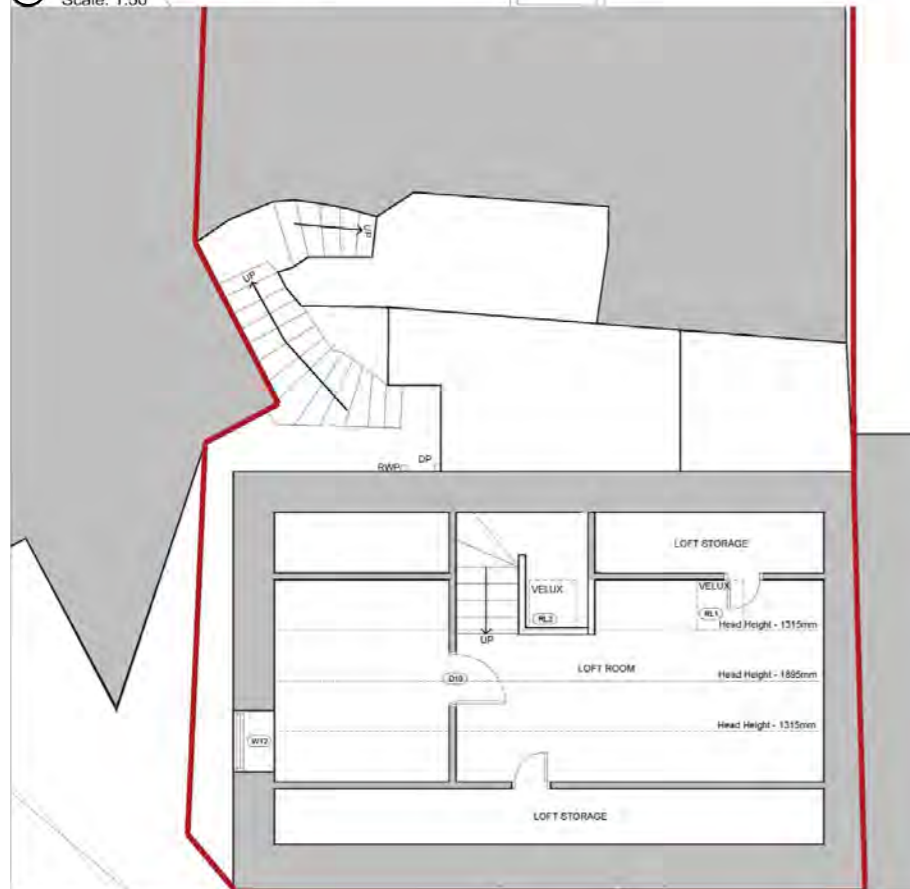
Existing Floor Plans



1 EXISTING GROUND FLOOR PLAN  
Scale: 1:50



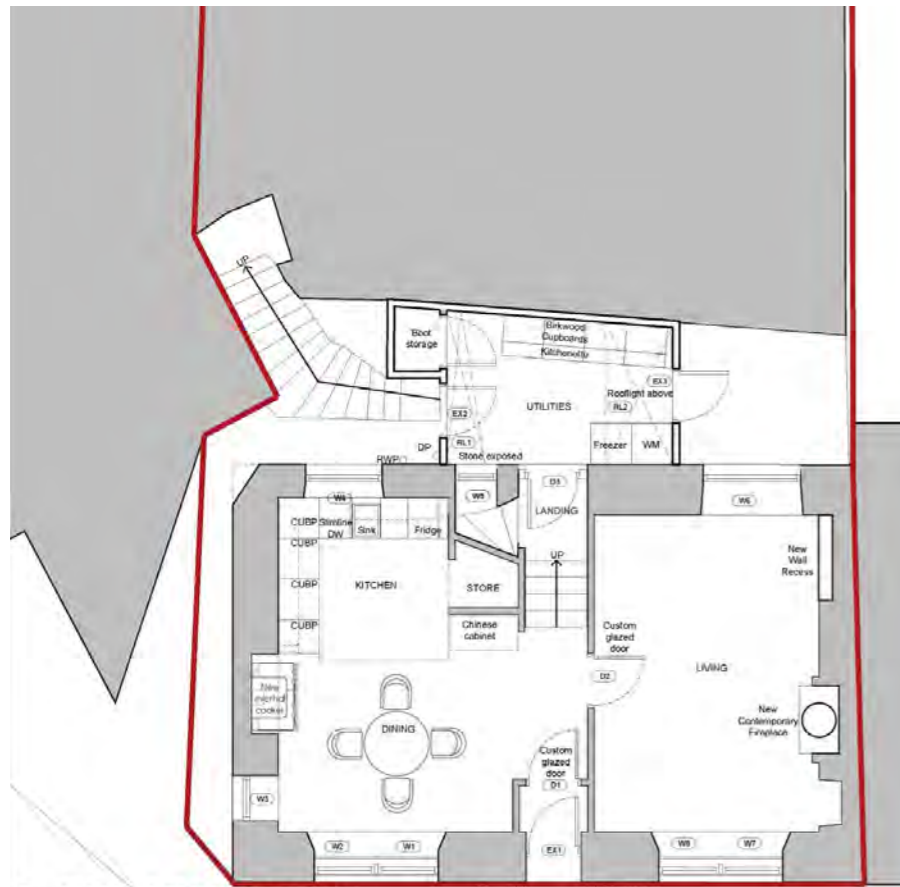
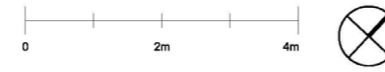
2 EXISTING FIRST FLOOR PLAN  
Scale: 1:50



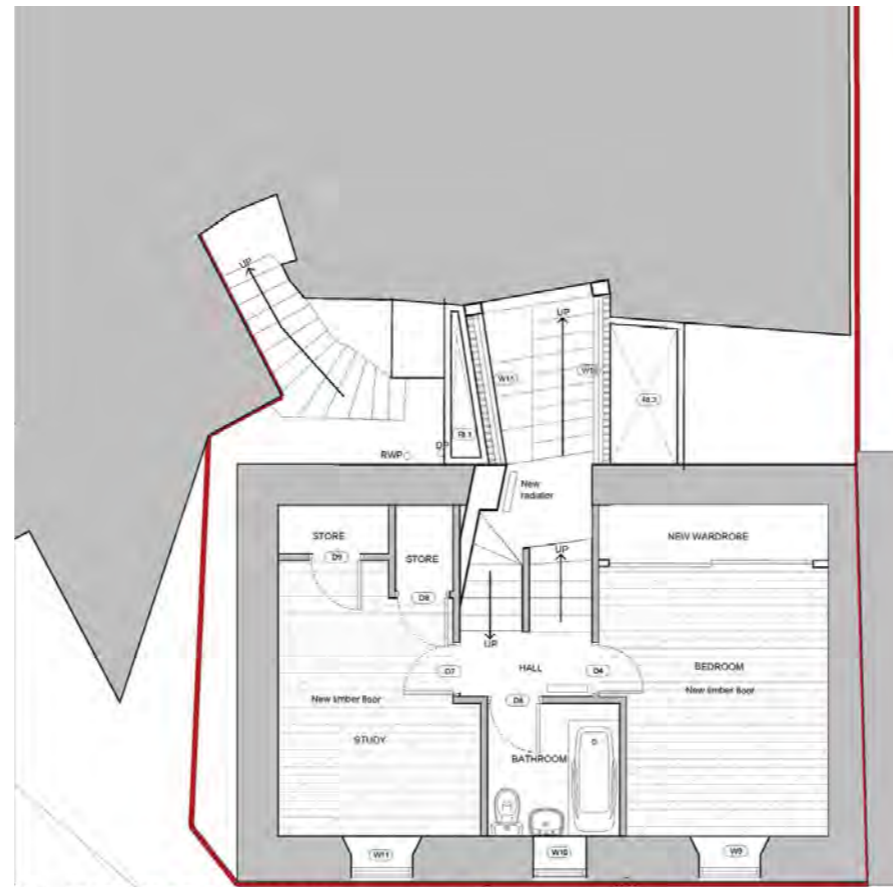
3 EXISTING LOFT PLAN  
Scale: 1:50

# Interior / Floor Plan Update

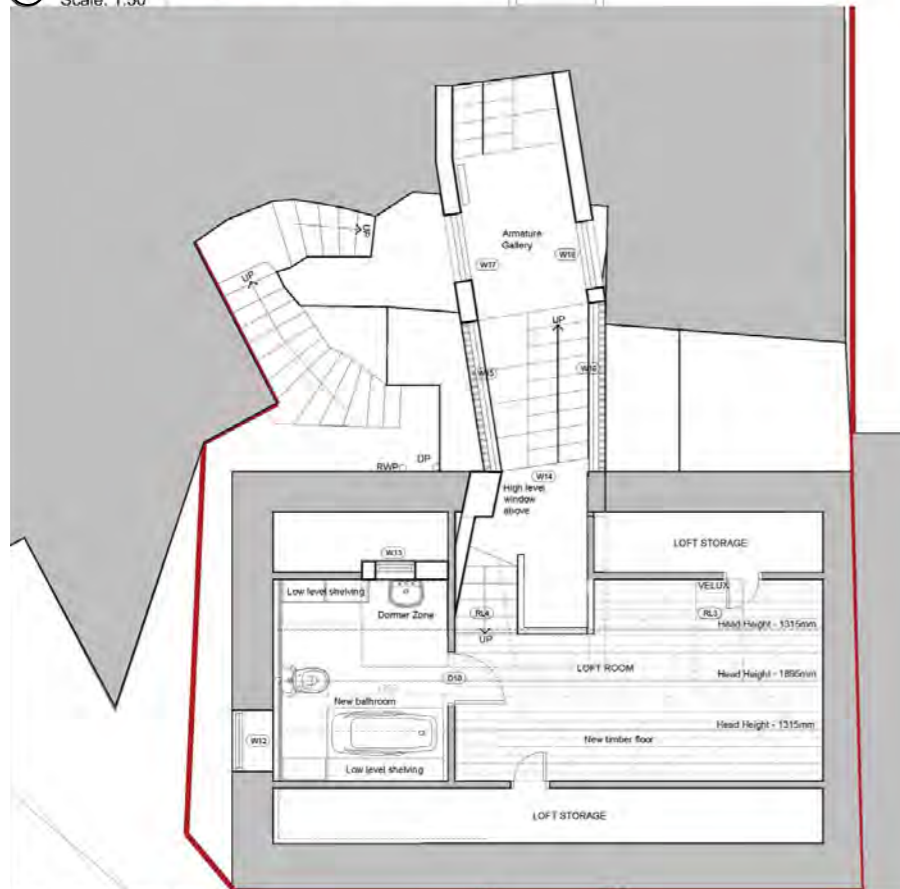
Consented Floor Plans



1 PROPOSED GROUND FLOOR PLAN  
Scale: 1:50



2 PROPOSED FIRST FLOOR PLAN  
Scale: 1:50



3 PROPOSED LOFT PLAN  
Scale: 1:50



4 PROPOSED STUDIO FLOOR PLAN  
Scale: 1:50

## Consented Floor Plans

As addressed in the consented design and access statement, the works to the existing house interior include:

- Minor structural works to maximise kitchen space, new rooflights and joinery to the rear utility space, a rear dormer above the staircase and a new bathroom in the loft.
- The non-original interior timber wall panelling / wainscoting, located in the hall / stairway and the first floor bathroom is to be removed.
- A new first floor shower room is proposed in place of the outdated existing bathroom.

# Interior / Floor Plan Update

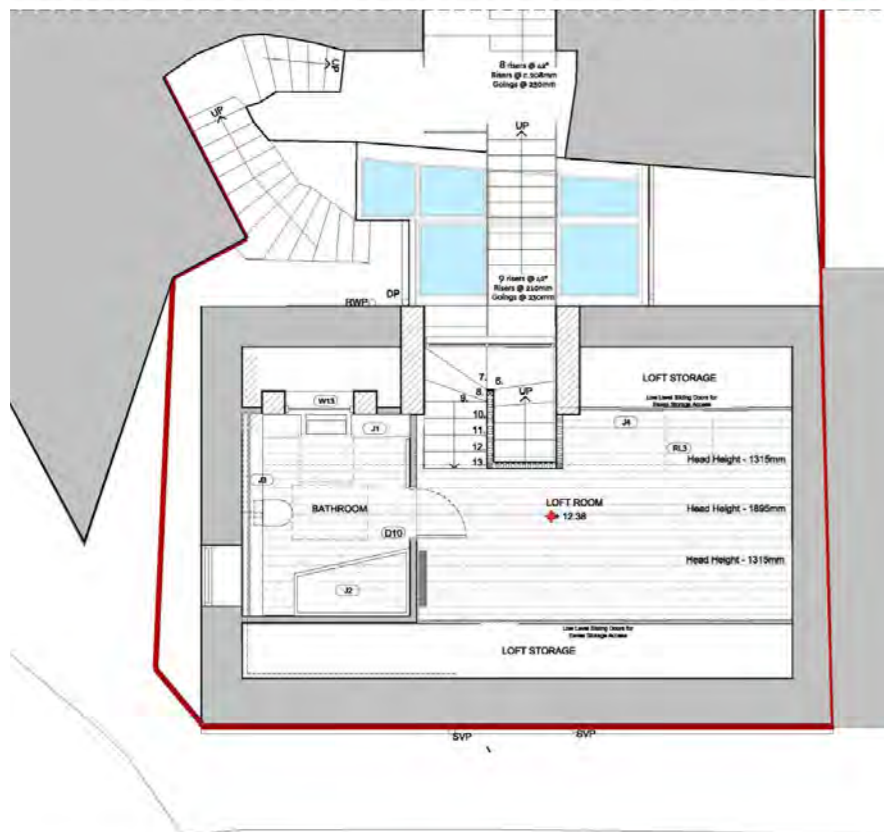
Updated Design Proposal Floor Plans



1 PROPOSED GROUND FLOOR PLAN  
Scale: 1:50



2 PROPOSED FIRST FLOOR PLAN  
Scale: 1:50



3 PROPOSED LOFT PLAN  
Scale: 1:50

## Updated Design Proposal Floor Plans

The revised proposal omits the large armature link and studio extension in the garden.

- The dormer previously consented provides an access to the garden from first floor level across a new lightweight external stair. The geometry has been simplified and made square to the existing house, with a smaller dormer for the bathroom separated from the main dormer.
- The interior works to the existing house remain as consented with a slight change to keep the existing step within the kitchen.
- Simplifying the heating in the utility room from under floor heating to radiators.

# External Plan Update

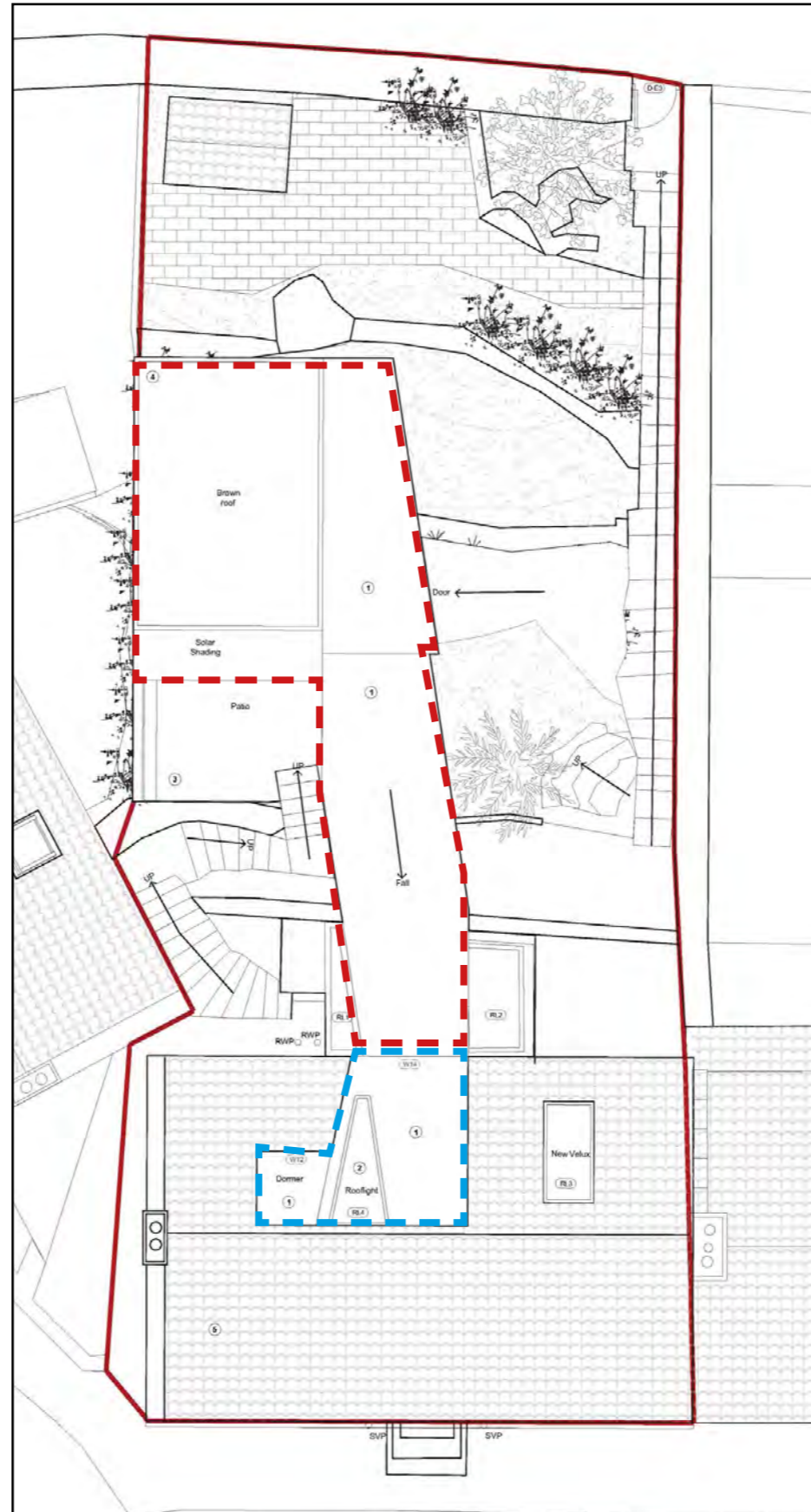
Development of the plan from Existing, Consented and Revised Design Proposal

--- Garden Extension

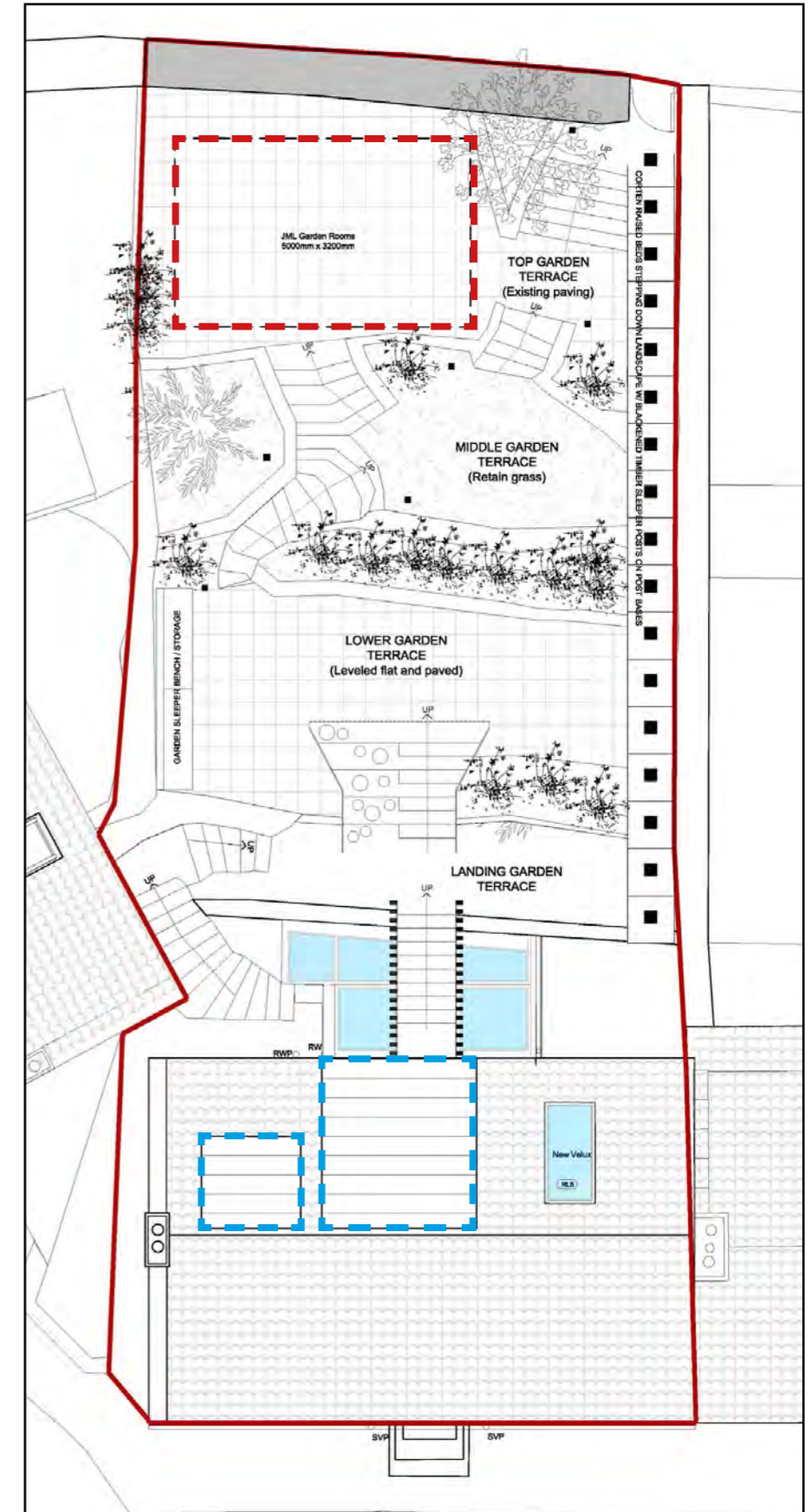
--- Dormer Extension



Existing



Consented Scheme (Ref: 22/02878/FULL)

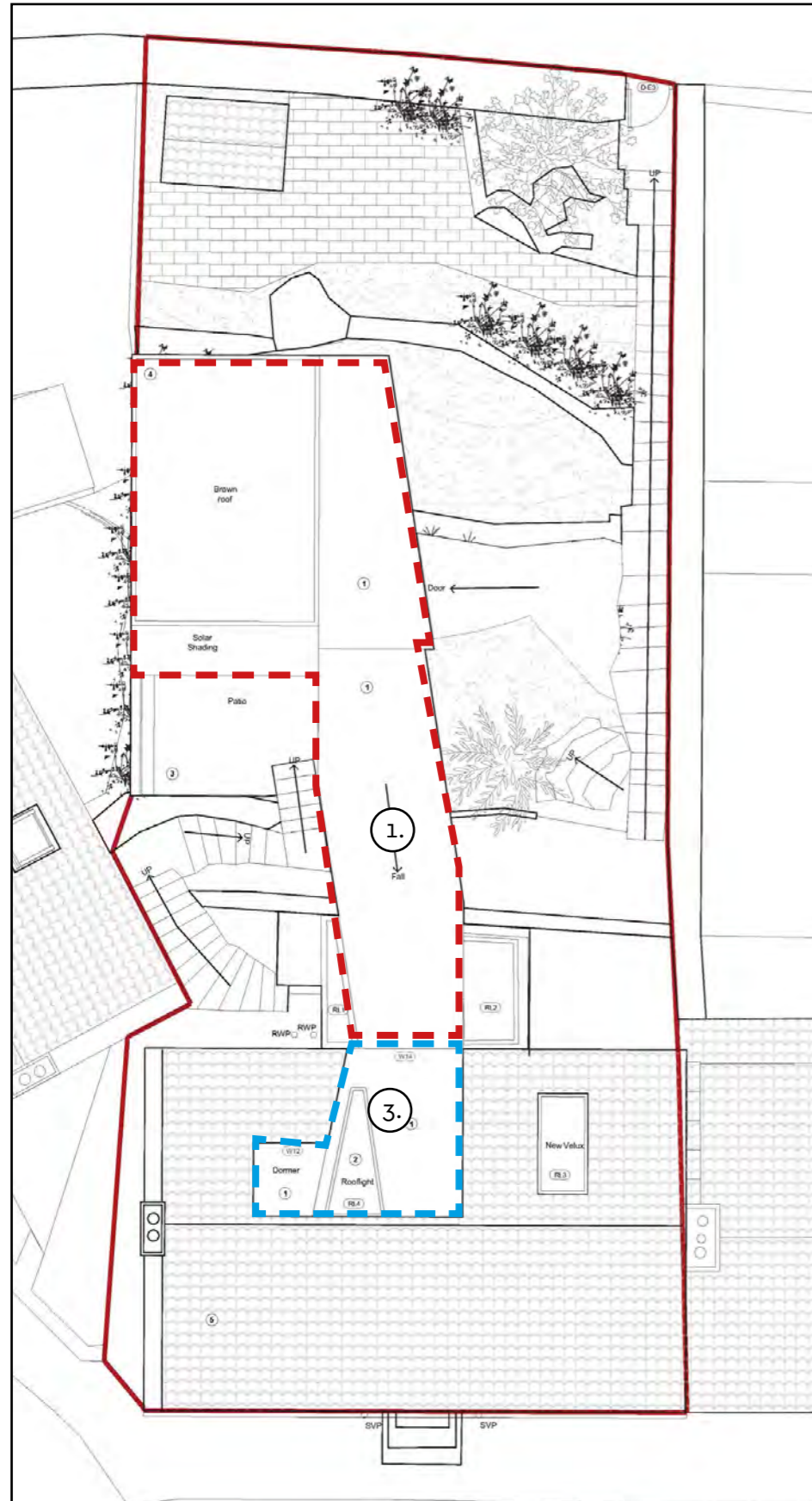


Revised Design Proposal

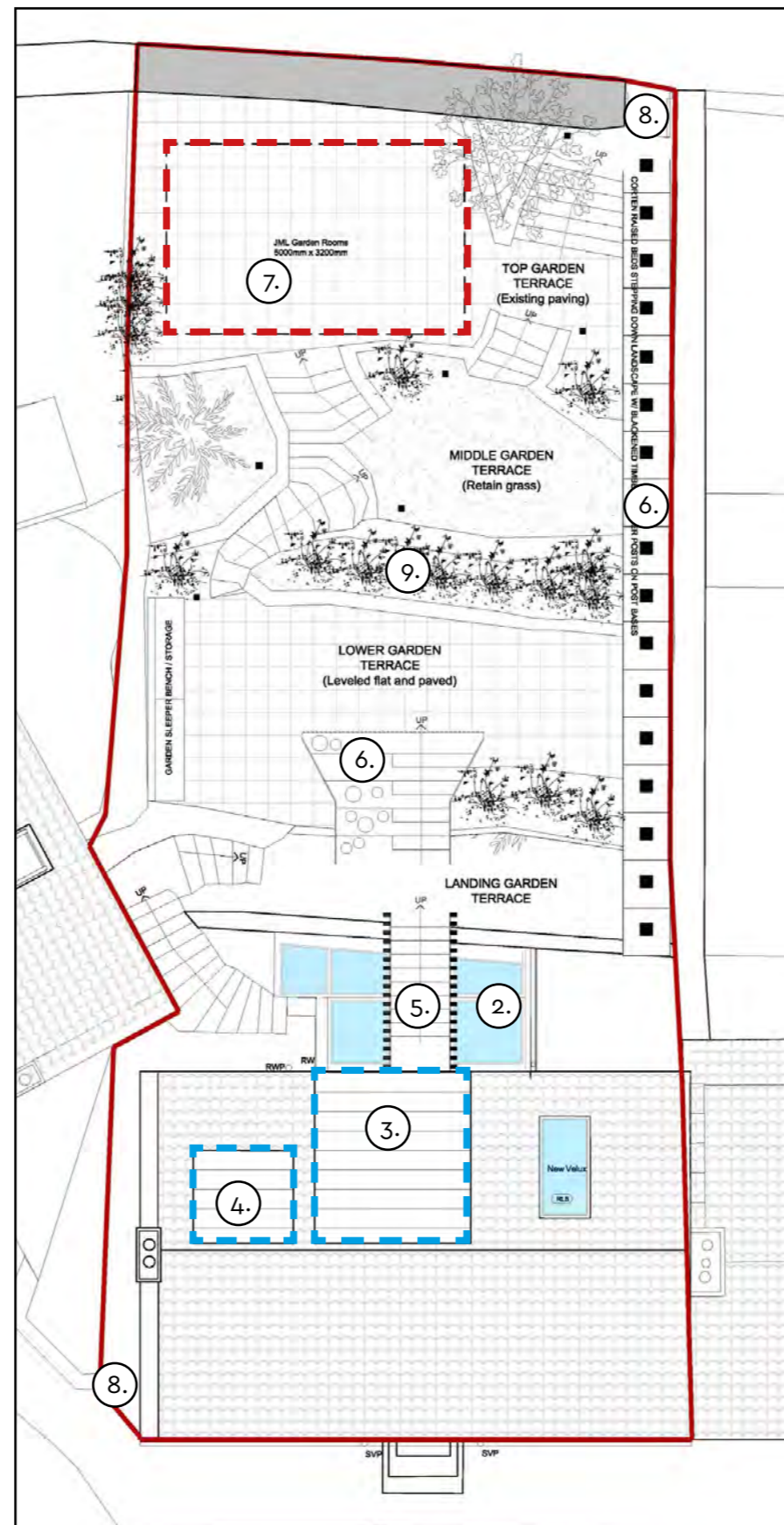
# External Plan Update

Development of the plan from Existing, Consented and Revised Design Proposal

- - - - - Garden Extension
- - - - - Dormer Extension



Consented Scheme (Ref: 22/02878/FULL)



Revised Design Proposal

## Changes to the External Design Proposal

1. Omitting of main link extension to a garden room.
2. Updating to the utility room roofing / rooflights.
3. Reducing the complexity of the form / massing for the dormer extension.
4. Separating the dormer massing for attic bathroom.
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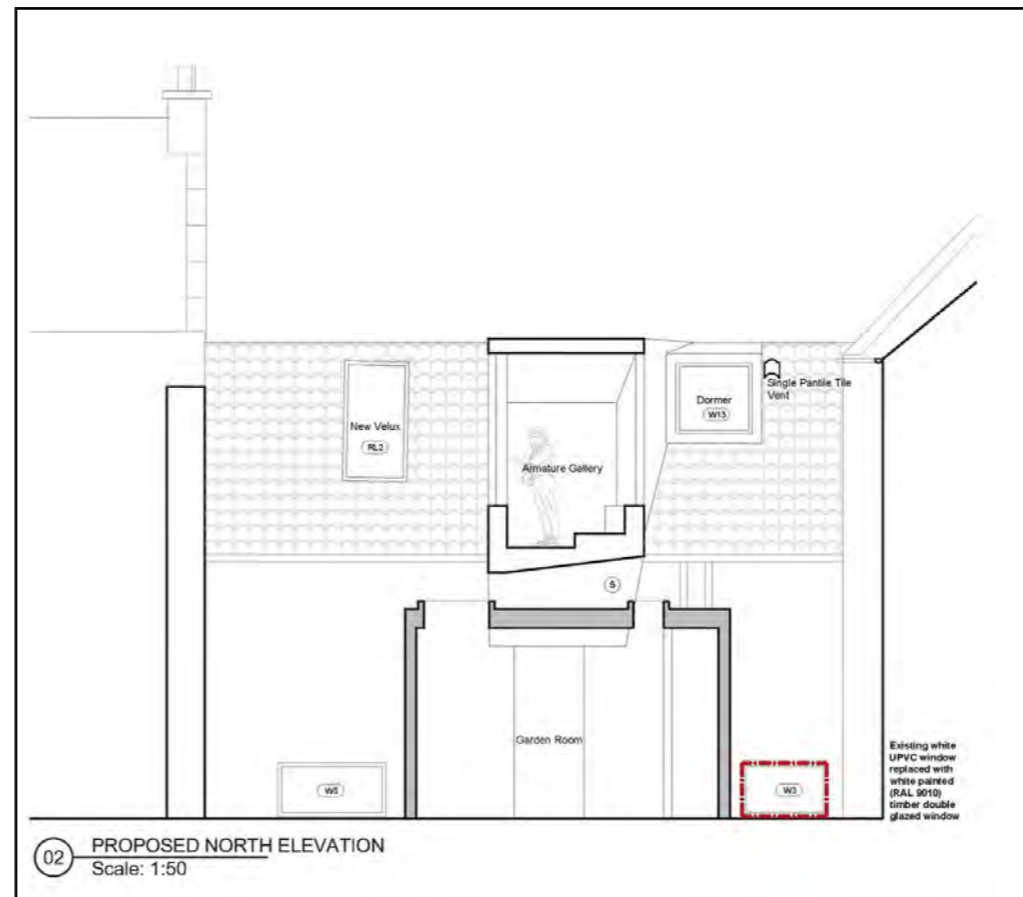
# Previous Extension / External Proposal

Review of Consented Scheme (Ref: 22/02878/FULL)

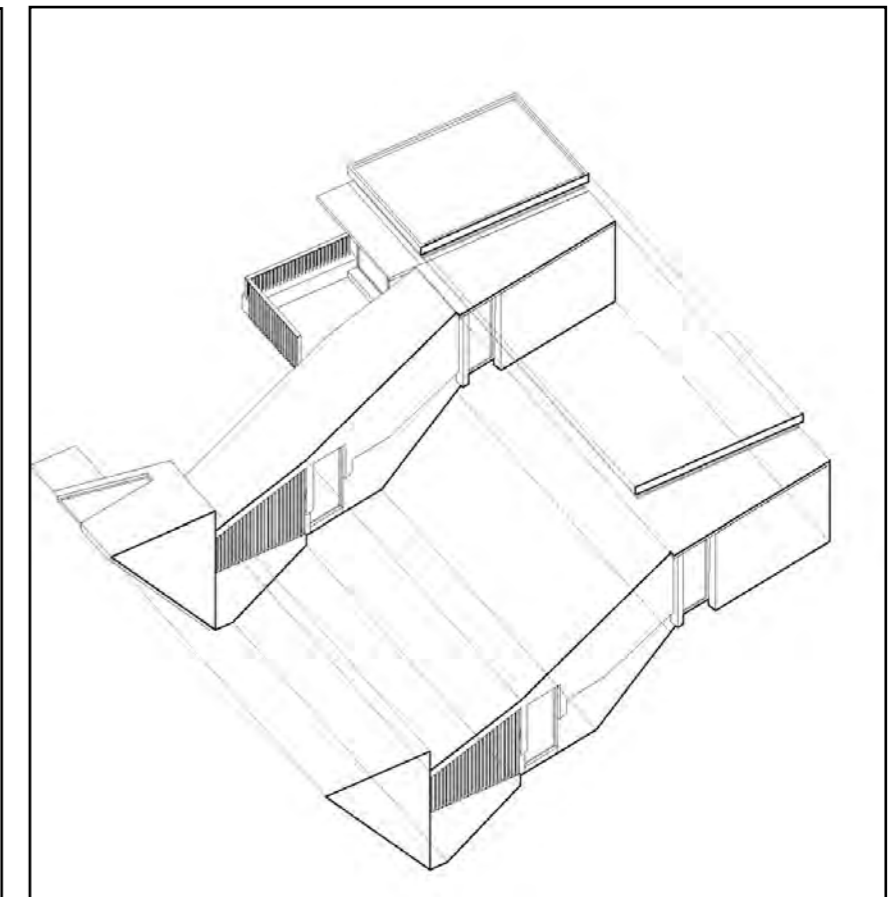


Consented Scheme Roof Plan

- The client has requested to reduce the complexity of the proposal and amount of groundworks required.
- The extension to the garden / interior walkway and connected garden room has been removed in favour of a standalone garden room at the top of the garden and no longer connected to the main house.
- The revised proposal has an exterior stepped walkway that provides access from the rear / interior stair of the house to the garden.

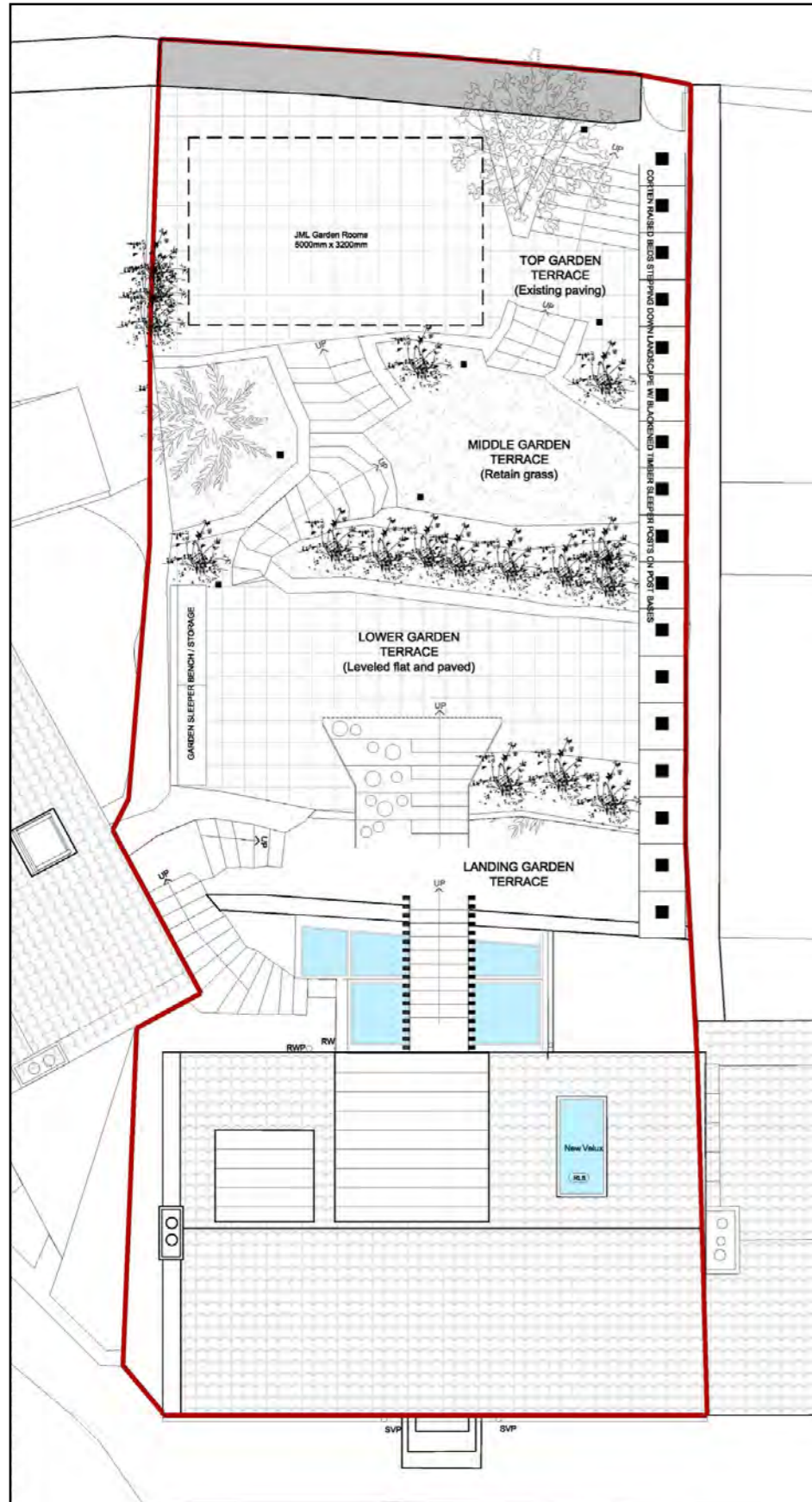


Consented Scheme Long Section / Elevation



# Revised Extension / External Proposal

Updates to the External Works



Revised Design Proposal  
Roof Plan

- The new scheme removes the garden extension whilst retaining the dormer to the rear of the house.
- This dormer extension has a sliding door out onto an external stair / bridge that takes you up to the closest landing in the garden. This bridge / stair is half the size of the dormer width and on the side of the door and internal stair. Keeping this narrow is important to maximise natural light into the utility room.
- From the garden landing, we are also proposing some new steps / raised potted plant plinths that continue the same width as the dormer extension.
- Corten is still to be used as the external cladding material and is to be featured throughout the external proposal. It is located on the dormer extensions, bridge / stair, fins fixed to side of the external bridge / stair, retaining walls of the stair up to the first garden level, planters on the RHS (looking north) and garden gates (top of the garden and side gate to garden).
- The posts along the boundary of the east side of the garden are constructed from blackened vertical sleepers on post bases. These will be no more than 2m tall and vary in height.
- The smaller posts found throughout the garden proposal are made of corten and will have a subtle lighting feature to them to allow someone to navigate up the garden in the dark. These posts will be c. 1m tall.
- The garden room is also being relocated at the top of the garden near the boundary north wall and is now separated from main house.



Taller balustrade on east neighbours side to provide privacy. The opposite side will be lower to be able to look out towards the south west view of the Forth.

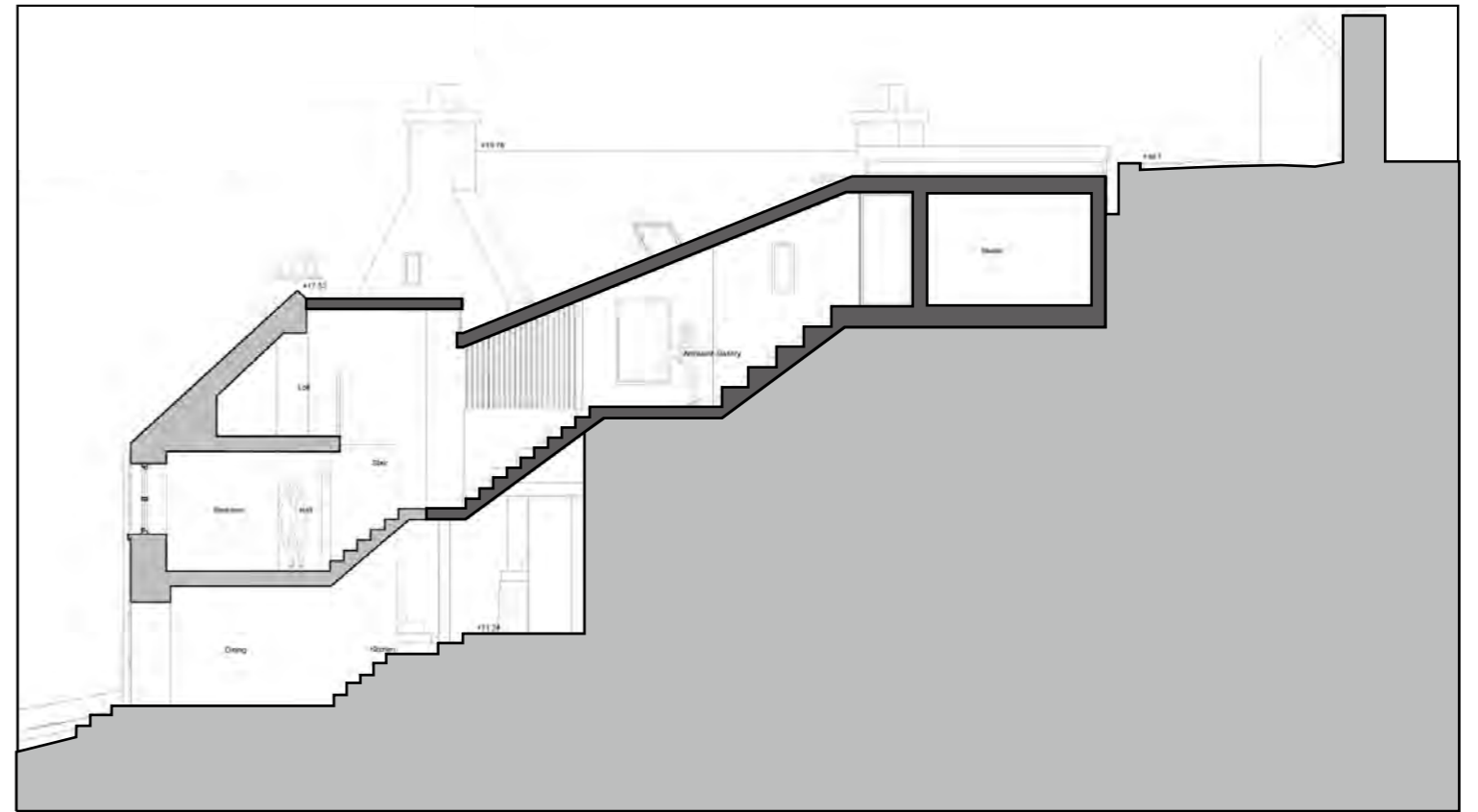


Revised Design Proposal  
Elevation of the Back of House

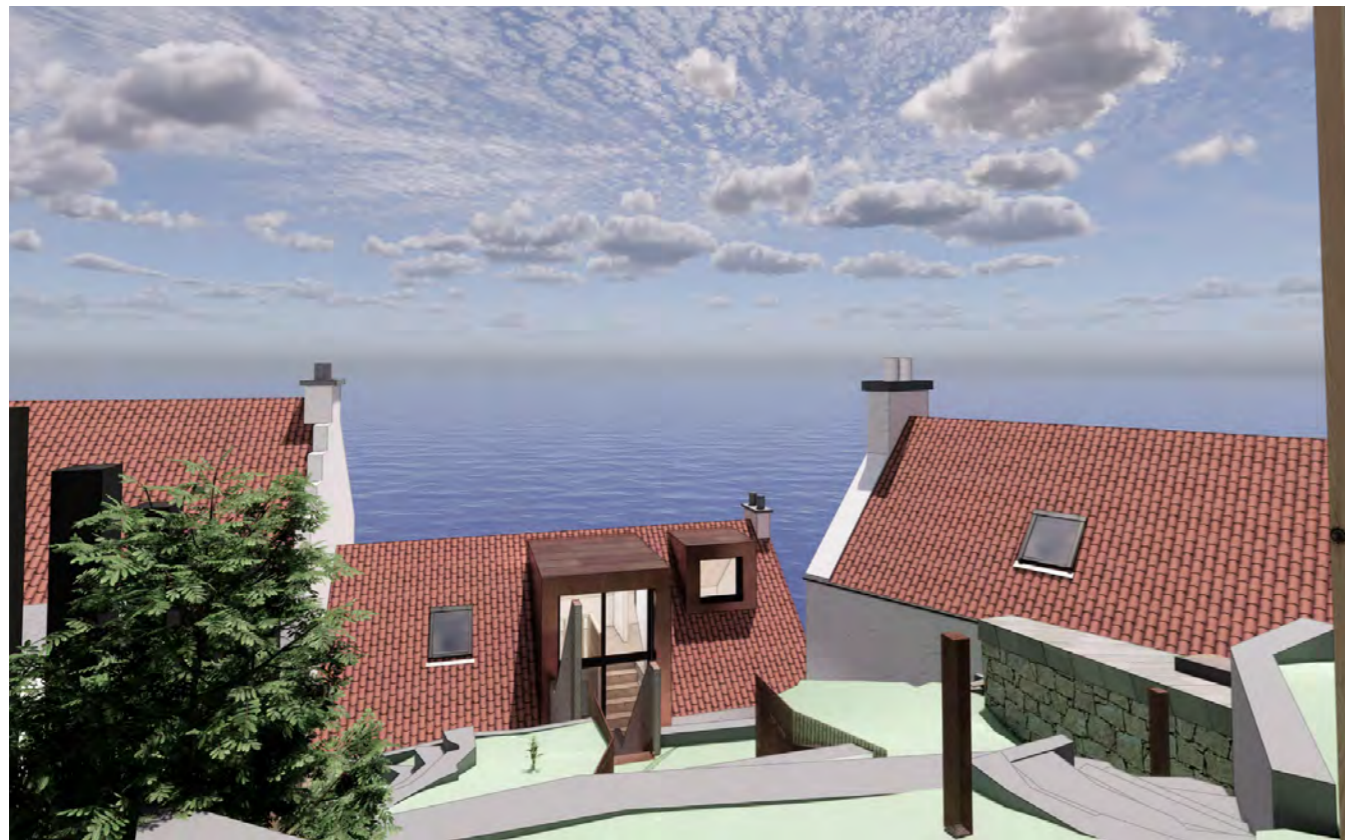
# Garden Design Update



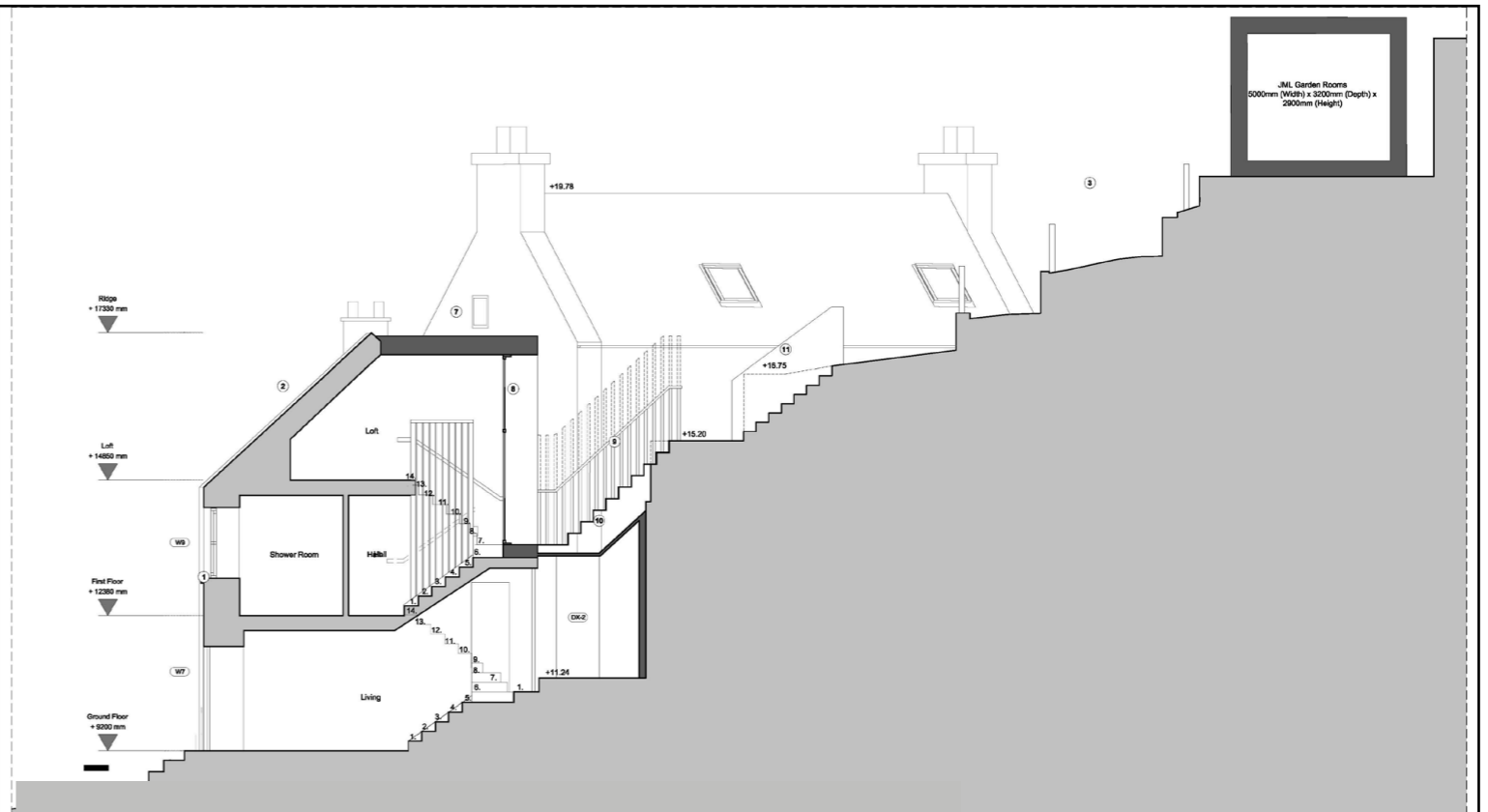
Consented Scheme  
3D Image from the top of the Garden



Consented Scheme  
Garden Section



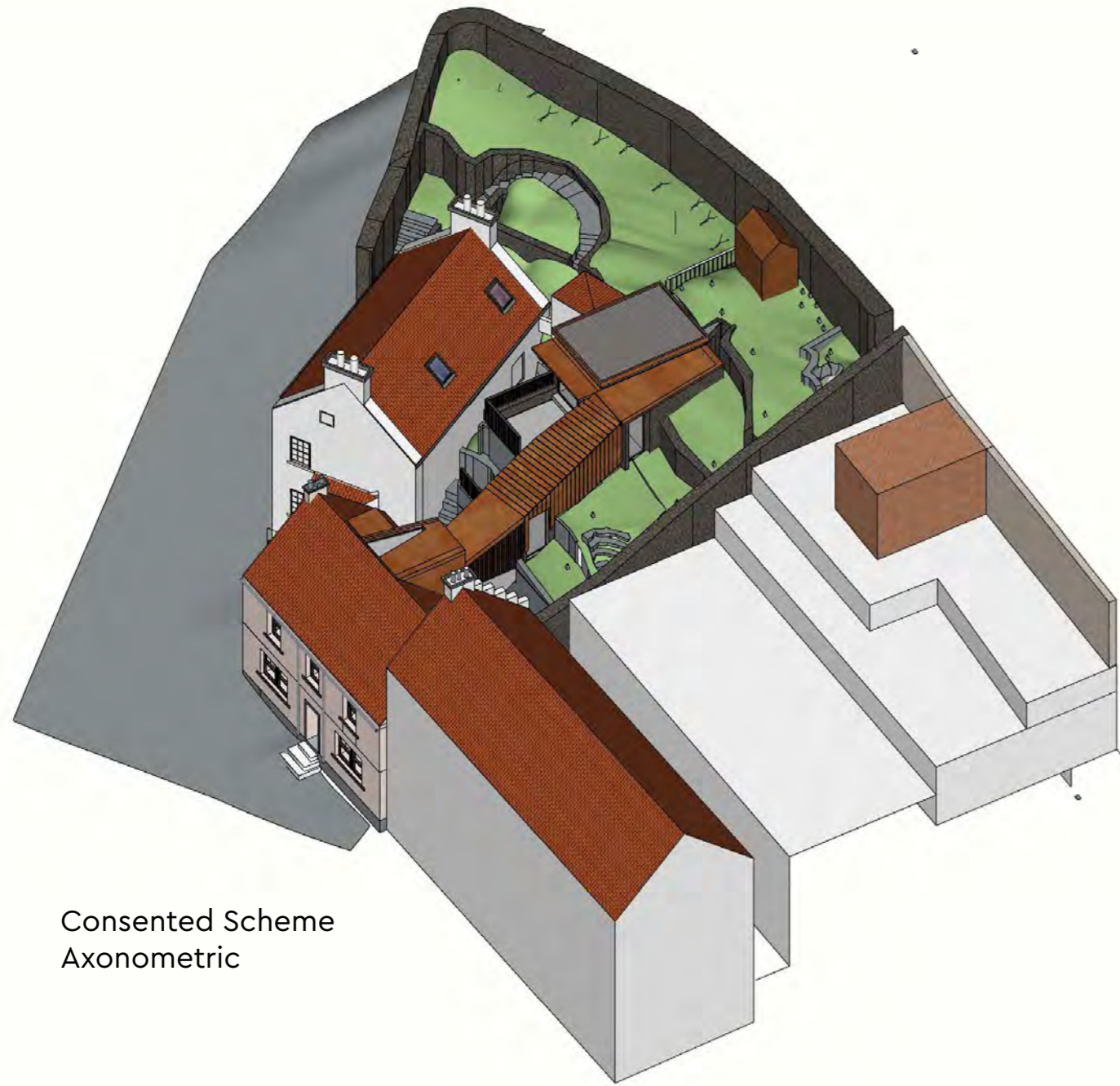
Revised Design Proposal  
3D Image from the top of the Garden



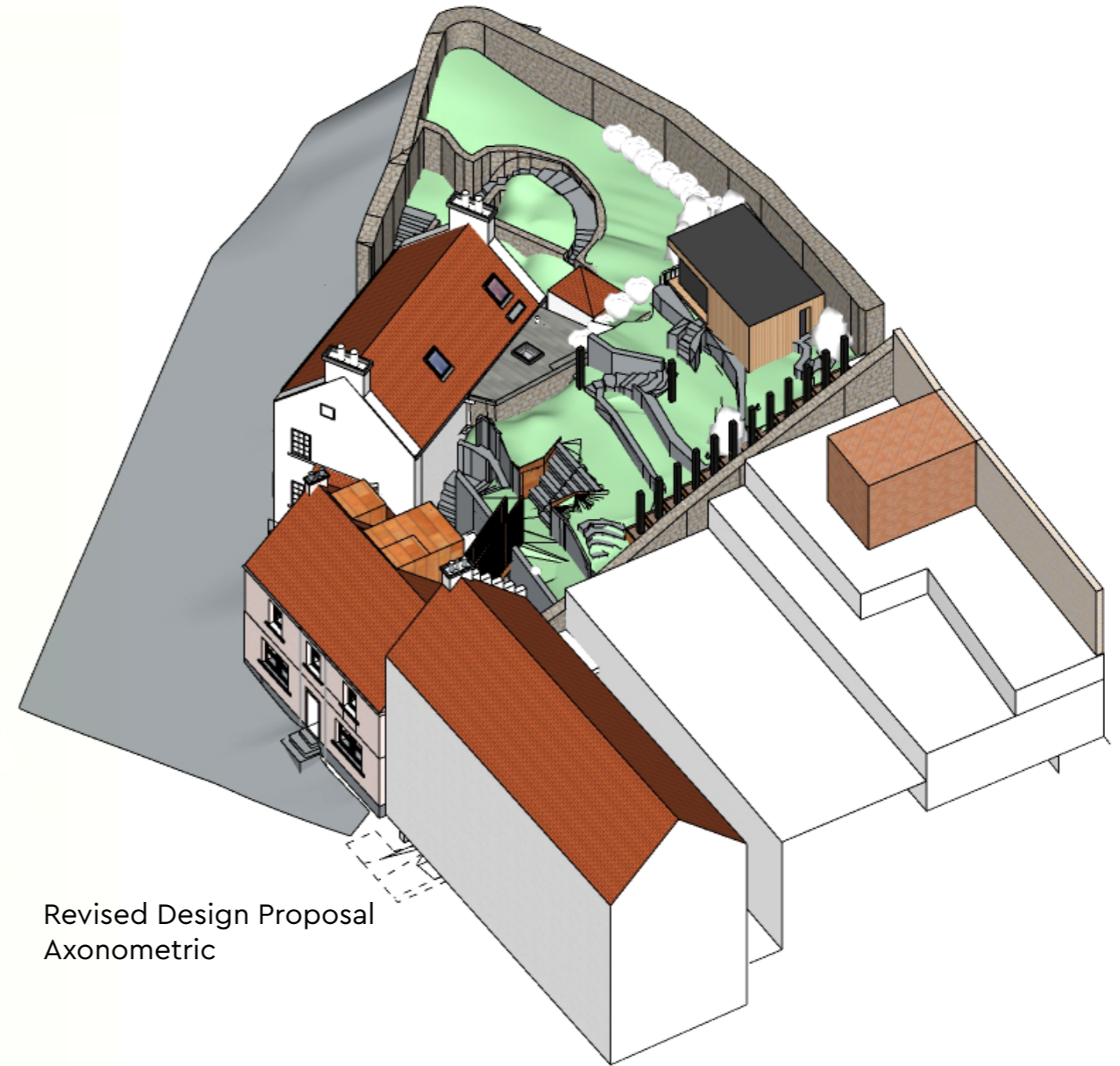
Revised Design Proposal  
Garden Section



# Development of Garden Layout



Consented Scheme  
Axonometric



Revised Design Proposal  
Axonometric

# Garden Room Proposal

- The proposed garden room located at the top of the site will be provided by JML Garden Rooms.
- This room will sit with the longer side against the back wall to reduce the amount the building projects into the garden. This will reduce the amount of groundworks required also, as it will be able to sit on the existing top level of the garden without cantilevering.
- The slot window on the east elevation will look onto the existing tree on this level.
- The window on the west elevation will look onto the foliage that divides the this site to the neighbour. This will prevent any overlooking onto the neighbours garden.
- New steps have been proposed to reach the front door from the middle level of the garden. These will be formed from existing stone steps.
- **Note: the window on the South West elevation is to use Translucent glass, ensuring privacy and no overlooking of the neighbours garden is maintained but still allows more light into the garden room.**
- **Note: the foundations for the garden room have been selected to mitigate any impact on the foundations of the existing boundary wall.**

**1 Floor Plan**  
Scale: 1:50

**2 South East Elevation**  
Scale: 1:50

**3 North East Elevation**  
Scale: 1:50

**4 North West Elevation**  
Scale: 1:50

**5 South West Elevation**  
Scale: 1:50

**CONSTRUCTION SPECIFICATION:**  
**FOUNDATIONS:**  
1. EASY PAD PRE-CAST FOUNDATION SYSTEM.

**ROOF:**  
1. ROOF MADE UP OF 100mm HIGHLY INSULATED BBA RATED PU SIP PANELS  
2. FIRESTONE SINGLE PLY FLAT ROOFING MEMBRANE EXTERNAL FINISH - 'BLACK'  
3. PVC GUTTER AND DOWNPIPE TO REAR OF BUILDING

**EXTERNAL WALLS:**  
1. WALLS MADE UP OF 100mm HIGHLY INSULATED BBA RATED PU SIP PANELS  
2. 20mm WESTERN RED CEDAR CLADDING TO EXTERNAL FACE - 'NATURAL'

**FLOOR:**  
1. FLOOR MADE UP OF 100mm HIGHLY INSULATED BBA RATED PU SIP PANELS  
2. ENGINEERED OAK FLOORING INTERNALLY

**DOORS/WINDOWS:**  
1. FACTORY FINISHED DOUBLE GLAZED TIMBER PATIO DOOR SYSTEM & FIXED SIDE LIGHTS  
2. FACTORY FINISHED DOUBLE GLAZED TIMBER WINDOW TO MATCH DOORS/SIDELIGHTS  
3. DOORS, SIDELIGHTS AND WINDOW TO BE "ANTHRACITE GREY" - RAL 7016  
4. GLAZING TO SOUTH WEST ELEVATION TO BE FROSTED

1:50  
1m 0 1m 2m 3m 4m 5m

Frosted glass panel

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**JML Garden Rooms**  
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www.jmlsips.co.uk

Rev.	Date	Description	App'd
P01	27/09/23	Sketch design	
P02	11/10/23	Revised design for planning application	

Project Title	Mr & Mrs Shaw Proposed Garden Room Cellardyke KY10 3AN
Project Number	JMLSIP-23-34-SHAW
Drawing Title	PLAN & ELEVATIONS

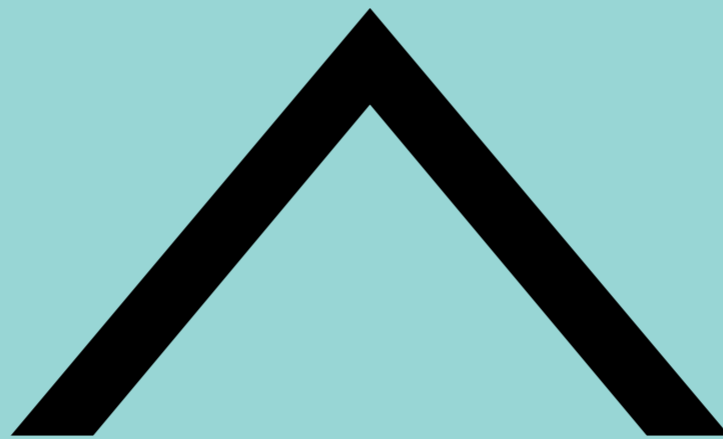
Drawn By	RA	Checked By	JC
Drawing Sheet Size	A3	Scale	1:50
		Date	OCT'23
Project Number	JMLSIP-23-34-SHAW	Drawing Number	D001
		Revision	P02
Drawing Set	PLANNING APPLICATION		

# 3D External Views

Revised Design Proposal 3D Images



# Summary



# Summary

## Summary of Updates to Consented Scheme (Ref: 22/O2878/FULL)

- Remove garden extension and replace with external stair link from rear consented dormer.
- Dormer to attic bathroom separated from main central dormer massing.
- Garden studio relocated to rear of garden.
- External landscaping to rear garden.
- Works to the existing house remain as consented.

