

Design, Access and Heritage Statement

Single storey rear extension and alterations

at

Milton House, 57 South Street, Manningtree, CO11 1BQ

September 2023

R O G E R B A L M E R

D E S I G N



FOUNTAIN HOUSE STUDIO THE STREET EAST BERGHOLT COLCHESTER CO7 6TB

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1.0 INTRODUCTION

- 1.1 This document has been prepared to accompany a Householder and Listed Building Consent Application for extension and alterations to Milton House, 57 South Street, Manningtree.

2.0 SPECIAL ARCHITECTURAL OR HISTORIC INTEREST AND IMPACT OF PROPOSED WORKS

- 2.1 The dwelling is located on South Street, Manningtree. Milton House is a Grade II Listed dwelling, with its Heritage List Entry noted below –

MANNINGTREE SOUTH STREET TM 1031 (east side)

9/187 No. 57. House attached to north east of No. 59

GV II

House. C18 of possibly earlier origin. Gault brick faced. Hipped red plain tiled roof. Large red brick chimney stack to south. 2 storeys. East face. Parapet, band under. Central 2 storey angled bay, angled panels between storeys. Blocked doorway to right with sunk panel over. Left return (north face). Step approach to recessed 6 panel door, plain surround, 2 C20 windows to left. Included for group value.

Listing NGR: TM1070031628

Milton House is attached to 59 South Street. For context, the Heritage List Entry for this building is noted below –

MANNINGTREE SOUTH STREET TM 1031 east side)

9/188 No. 59 29.4.52

GV II

House. C18/C19 of possibly earlier origin. Gault brick facade. Red plain tiled roof. 3 storeys. Parapet, moulded band under and bands to each storey. Plinth. 5 window range of small paned vertically sliding sashes. Gauged plastered arches. Central 6 panel door, reveal panels, half columns with moulded capitals and bases, moulded frieze and pediment.

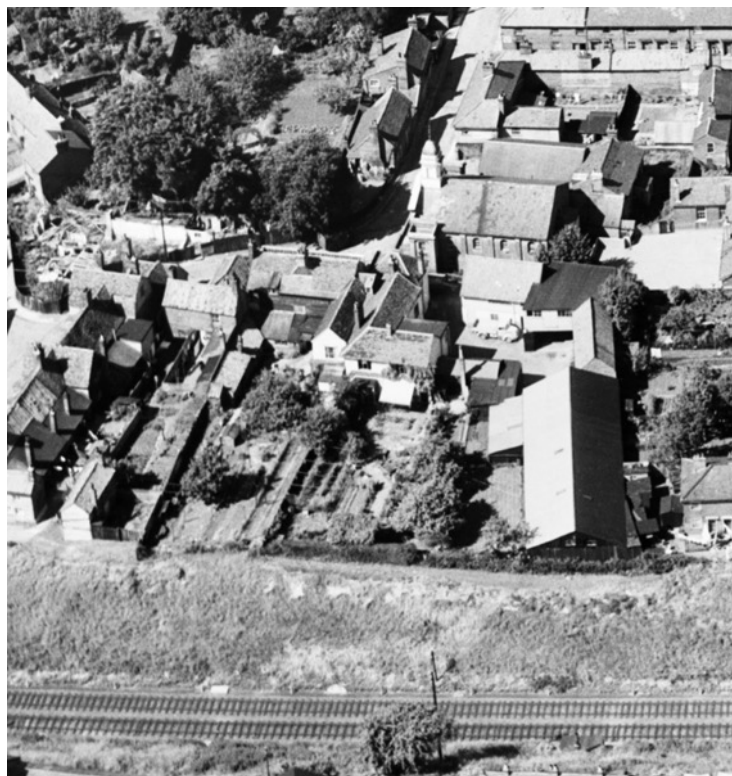
Listing NGR: TM1068931630

- 2.2 The site is located within Manningtree and Mistle Conservation Area.

2.3 The 2 storey brick element positioned to the rear (South) of the dwelling was constructed in C20 as evidenced by the below aerial shots taken in 1927 and 1952 respectively. This shows the 2 gable elements, one of No.59 South Street and the other of No.57 (Milton House) which was later altered by the C20 two storey element.



1927



1952

- 2.4 The internal arrangement has been heavily altered by C20 insertions and amendments. The former fireplace to the Snug has been previously concealed, and internal walls have been reconfigured.
- 2.5 As outlined within the listing description, the main historic significance of Milton House is attributed to its group value; notably the East and North elevations of the two-storey hipped element. The proposed works will not impact these areas of significance, with alteration works contained to the Southern 1927 x 1952 range, and other areas of the house where previous C20 alterations and insertions have previously been undertaken. Externally, a former chimney to the West will be reinstated, informed by the evidence apparent in the historic photographs. It is put forward that the proposals are sensitive, polite amendments which respect the host building, causing no harm to the historic setting. The proposed works respect and preserve the significant historic fabric and will help sustain this listed building through maximising its viable use as a residential dwelling, which is consistent with its conservation.

3.0 PROPOSALS – (USE, LAYOUT, AMOUNT, SCALE AND APPEARANCE)

- 3.1 The proposals consist of a single storey rear extension to the South following the removal of 2no. C20 bay windows, internal alterations, and restoration of West chimney, as noted on drawing no. 1622-04. The proposal seeks to improve upon the previous muddled C20 alterations to provide a living arrangement suited to modern family life, with improved aspects to the rear garden.
- 3.2 *Use* – All of the application site is currently in residential use, and so no change in use class is required.
- 3.3 *Layout / Amount* – The proposed layout is as shown on drawing no. 1622-04. The single storey rear extension has a proposed floor area of 25m².
- 3.4 *Scale* – The proposed scale and form of the extension seeks to provide an addition which is a subservient addition, via a simple lean to arrangement, and reflects a sensitive further evolution in this buildings history.
- 3.5 *Appearance* – The single storey extension is proposed to be constructed of vernacular gault brickwork walls to match the existing, combined with contemporary features of a standing seam metal roof with integrated solar panels and powder coated metal fenestration to aid in sensitively defining the architecture of the new extension from the historic asset.
- 3.6 All of the proposed works are clearly shown and scheduled on drawing 1622-04.

4.0 LANDSCAPING, ECOLOGY AND ACCESS

- 4.1 Local soft and hard landscaping works are proposed to the rear of the dwelling as shown on drawing no 1622-04. The existing tiered site levels and modern retaining wall/step arrangement will be rationalised to provide an improved space for outdoor living.
- 4.2 In all other areas, landscaping and access will be retained as existing.

- 4.3 The site lies entirely within Flood Zone 1, hence there is no risk of flooding to future occupants of the dwelling.
- 4.4 It is not deemed that an Ecological Appraisal is required for this application due to the nature of the existing structure and the scale of the alteration works proposed.

SCHEDULE OF WORKS

Refer to drawing no. 1622-04 including schedule of works.

Services – These will be as required for a typical domestic situation, with electricity, hot and cold-water provision. Minor changes to existing will involve small amounts of chasing etc. for new services.

SITE PHOTOS



South Elevation (Rear)



Late C20 boundary wall



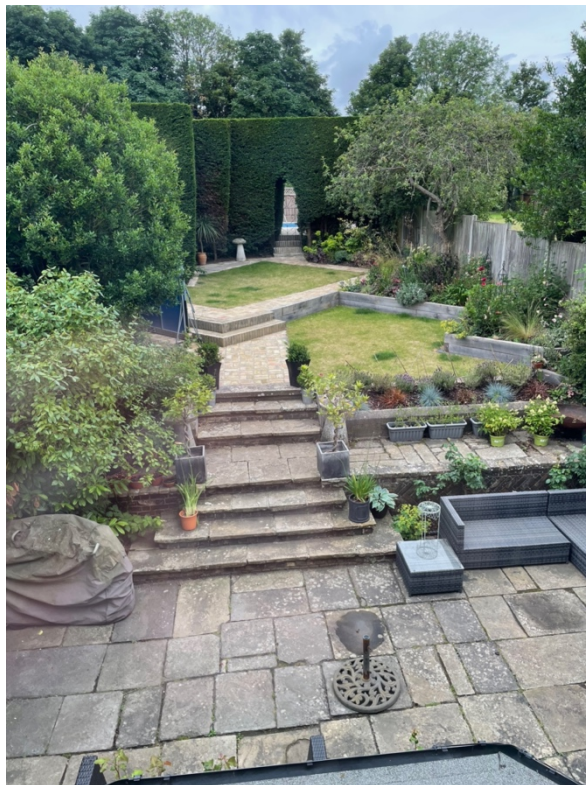
East Elevation of rear element (1927 x 1952)



West Elevation facing Parsons Yard



West Elevation showing former chimney stack previously reduced.



Rear garden to South



C20 staircase