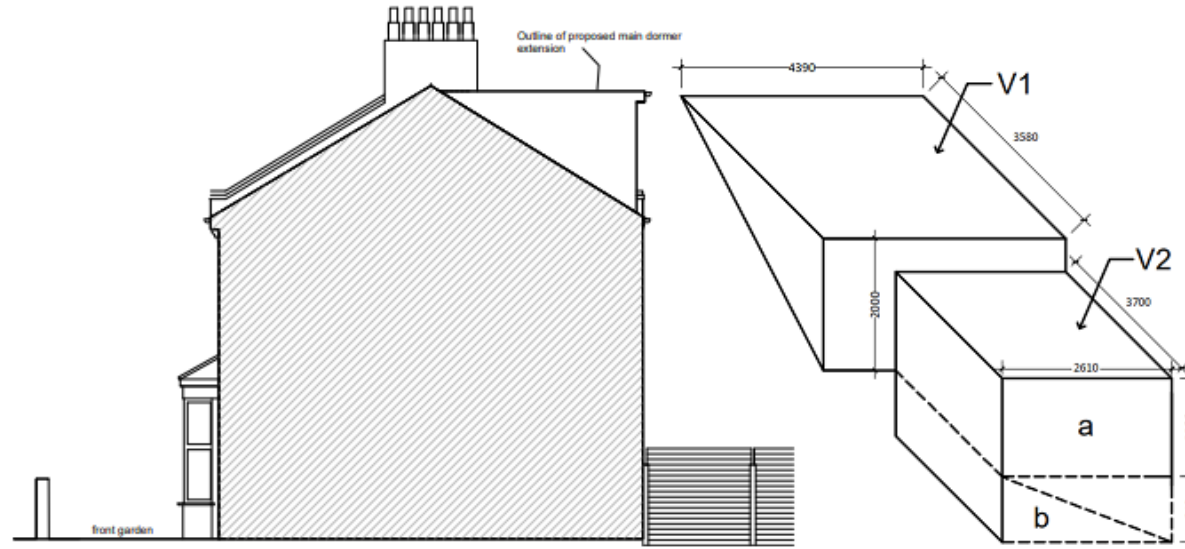




30 Caistor Park Road- Application site 32 CPR
Proposed Front Elevation



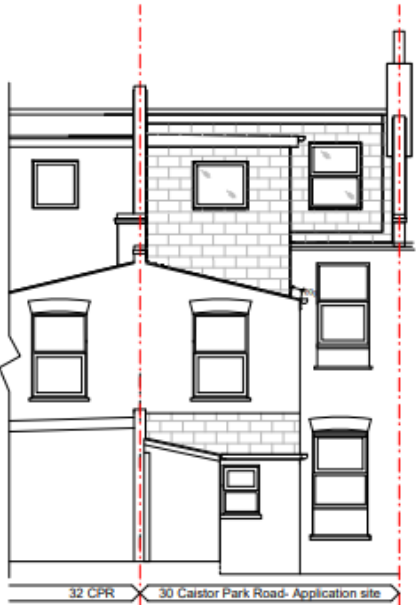
Proposed Flank Elevation
 (view towards No.28 CPR)

MAIN ROOF DORMER VOLUME – V1
 L X W X H X 1/2
 4.39 x 3.58 x 2 = 31.43 x 1/2 = 15.72 m3

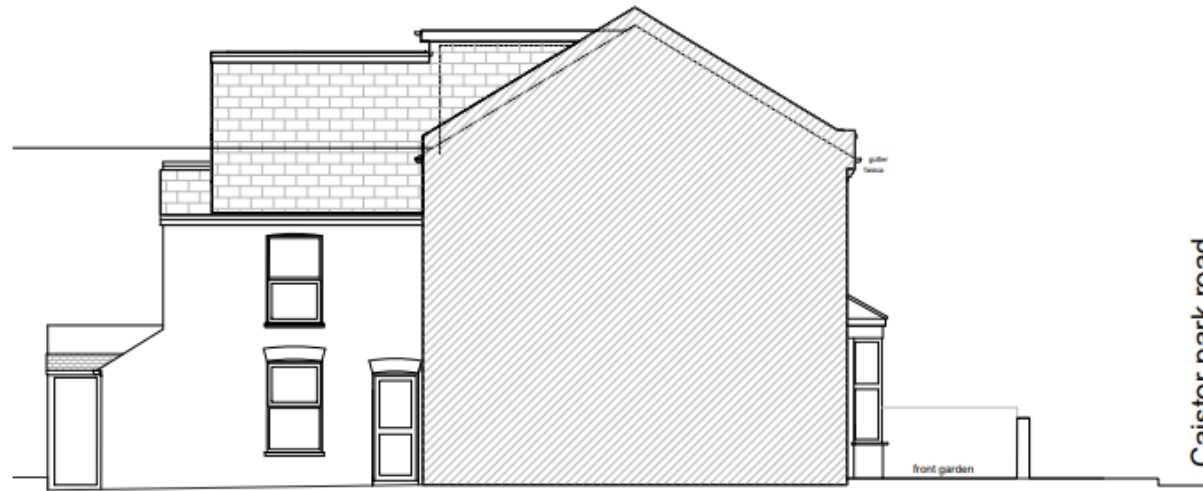
REAR ROOF DORMER VOLUME – V2
 (a) 2.61 x 3.7 x 2.2 = 21.25 m3
 (b) 2.61 x 3.7 x 0.646 = 5.79 x 1/2 = 2.90 m3

V2 = a + b
 20.09 + 2.74 = 24.15 m3

TOTAL VOLUME = V1 + V2
 15.72 + 24.15 = 39.87 m3 < 40m3



32 CPR 30 Caistor Park Road- Application site
Proposed Rear Elevation



Proposed Side Elevation

Materials:-

- New Flat roofs to be finished in asphalt with three coat solar reflective paint.
- New guttering/downpipes to match existing.
- New windows to match existing white upvc double glazed windows
- Dormer extension walls to be vertical tiled with tiles. colour of tiles to match existing roof tiles.
- New low profile double glazed rooflights.



			Client		Drawing	
			30 Caistor Park Road, London, E15 3PT		PLANNING Proposed Elevations	
			Ref 1025	Date 22/10/2023	Scale 1:100@A3	