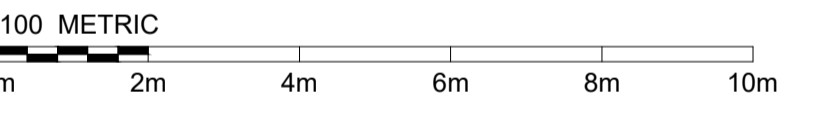


DRAWING LEGEND

- Site boundary line
- PROPOSED PRIVATE FOUL DRAINAGE
 - Private foul water drainage
 - Private foul water manhole
 - Soil vent pipe
 - Stub stack
- PROPOSED PRIVATE SURFACE WATER DRAINAGE
 - Private surface water drainage
 - Private surface water manhole
 - Private surface water soakaway
 - Rainwater pipe
 - Threshold drain (details by others)

Surface Water Strategy
 Current surface water runoff rates:
 2yr = 31.5/s
 30yr = 79.1/s
 100yr = 95.1/s
 Surface water will have a controlled discharge to the public surface water sewer.
 50% of the 30yr runoff 79.1/s. Therefore controlled to 40/s



- DRAINAGE NOTES**
- The location of any existing drains and sewers are to be accurately located and reported prior to any work commencing on site.
 - All materials, workmanship and construction to be in accordance with the requirements of 'Sewers for Adoption - 7th Edition' and published addendum and corrigendum.
 - Channel drains shown are only to collect surface water run-off from hard paved areas and door thresholds and are not intended to collect groundwater or run-off from gardens and landscaped areas.
 - All abandoned pipework to be completely removed or grout filled unless stated otherwise.
- NOTES**
- The Contractor should check all dimensions on site.
 - It is the Contractors responsibility to ensure compliance with building regulations and current codes of practice.
 - Drawings cannot take into account any drains or underground works not locatable by visual survey of the site.
 - Commencement of any building works prior to full building regulation approval is entirely at the clients risk.

Rev	Description	Date
A	First issue to client	25/10/2023

PROJECT: Proposed residential development at St Peters Presbytery, 117 Canterbury Road, Westgate-On-Sea, Kent CT8 8NW

CLIENT: AGI Architecture

SCALE: 1:100

DATE: 25/10/2023

SIZE: A1

STATUS: PRELIMINARY

REF: T-2023-081-02



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