

2297 – 3 Wester Broomhouse Cottages, Spott, East Lothian, EH42 1RD Alterations and extension to existing house – 22 Oct 23	
DESIGN AND ACCESS STATEMENT	
This Design statement is not to be considered as a document for approval but is intended to be supplementary supporting information.	
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1.0	INTRODUCTION
	The project aim is to carry out alterations to enhance an existing early 20 th century farm cottage by adding new 1½ storey extension with a kitchen/utility room and master bedroom, dormer roofs and velux windows with an attic conversion.
	The internal attic alterations and the new extension will enhance the existing house and provide more and improved living space.
	The n proposed extension will have timber cladding walls with a facing brick base course and a zinc roof. The proposed dormers will have and single ply flat roof with timber cladding to the front & cheeks. The existing masonry chimney will be removed.
1.1	SITE, LOCATION AND CONTEXT.
	The house is part of small group of 6 or 7 terraced houses that would likely have been cottages for farm workers from Wester Broomhouse Farm
	The site is generally level with a slight step from the front garden down to the shared access road. Access is via a shared gravel access road.
	The scale of the existing adjacent houses is 1 and 1½ storey with pitched roofs. The materials of the buildings vary, mostly render/stone walls with tile/slate roofs and timber/PVC windows & doors.
	The overall site area including the existing house is approximately 385m ²
	The existing house is a 1 storey building with dual pitched slate roof and glazed rear conservatory and single storey side extension. The existing attic is used as storage.
	The rear garden is enclosed with existing fences/hedges and the front garden has a low masonry wall along the access road.

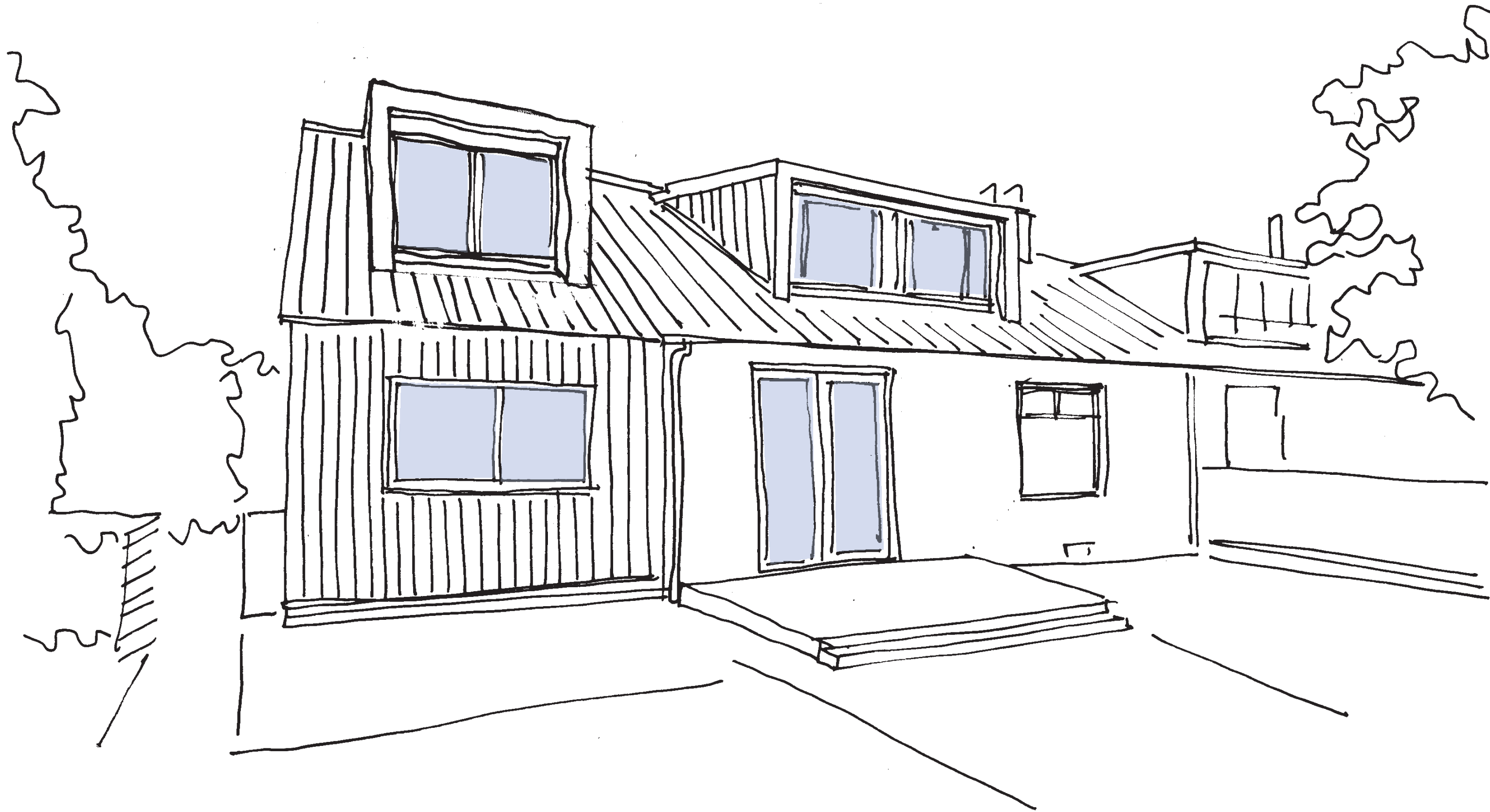
2.0	PLANNING CONTEXT
	The house is not listed or in a conservation area.
	Recent approvals – 21/00757/P – 1-2 Wester Broomhouse Cottages - Alterations, extension to house 20/01443/P – 6 Wester Broomhouse Cottages - Alterations, extension to house 15/00232/P – 4 Wester Broomhouse Cottages - Alterations, extension to house
	The cottages have a mixture of buildings/extension with a variety of materials and styles with modern/contemporary and traditional extension/alterations.
	1-2 Wester Broomhouse Cottages has been upgraded recently and it has a timber clad modern extension(s).
	The surrounding existing land/building use is agricultural and residential.
	The new roof lights/attic windows/doors don't overlook neighbouring houses.
	The new dormers don't overlook neighbouring houses.
	The new extension will not overshadow or overlook neighbouring houses.
3.0	THE PROPOSALS
3.1	USE
	The proposed house extension and alterations will be used as residential living accommodation.

3.2	AMOUNT
	The footprint of the existing house is 78.3m ² .
	The footprint of the extension is 19m ² .
	The footprint of the extended/altered house and attic is 117m ² .
3.3	LAYOUT
	The ground floor will have a new kitchen, utility room and alterations to the existing bedrooms. A new attic access stair will be installed. The existing front door will have a new entrance porch.
	The new attic bedrooms/master en-suite will have new rear dormer windows and roof lights to the front and rear.
	The new extension ridge height will match the existing roof.
	Views - The existing house is not highly visible from the surrounding public roads, the frontage and north gable are visible from the shared access road.
3.4	SCALE
	The eaves and ridge height of the house will remain as existing and the ridge of the new extension will match the existing house. The dormer roof heights will match the existing ridge.
3.5	LANDSCAPING
	The existing garden will be retained with a new deck/patio.
3.6	APPEARANCE
	The style on the new extension and alterations reflect the style of the existing and neighbouring house alterations/extensions. Timber cladding to the new extension reflects the existing timber cladding in adjacent houses.
	Existing house Walls – Masonry/render. House Roof – slates Side extension – Rendered timber framed walls with a felt flat roof. Windows – Double glazed PVC. Doors – Timber and aluminium. Conservatory – Glazed aluminium frames. Gutters and RWP's – Cast iron.
	Proposed extension & alterations Walls – Facing brick base and timber weather boarding. Roof – Zinc Dormer – Single ply membrane flat roof with timber weather boarding. Porch roof - Slates Roof lights – Double glazed timber. Windows – Double glazed PVC or timber. Doors – Double glazed PVC or timber.
3.7	ACCESS & PARKING
	The new extension will not generate the need for any additional car parking spaces. The house currently has space for 2 cars.
	Pedestrian access will be maintained.
	The existing gravel drive will be maintained.
3.8	ENVIRONMENTAL CHECKLIST
	Heating – New gas boiler and storage tank.
	Insulation – The walls, roof and floor of the extension and attic will be insulated to meet and exceed the current building standards.
	Drainage, the existing drainage connections will be maintained.
	Use of local materials that are renewable, recyclable and contain non-toxic finishes.
	The accommodation allows for home working. This could reduce the need for commute to work, thereby helping reduce carbon emissions and congestion.
3.9	REFUSE & SERVICING STRATEGY
	As existing



EXISTING PHOTOGRAPH

2297 - 3 WESTER BROOMHOUSE COTTAGES



PROPOSED SKETCH

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