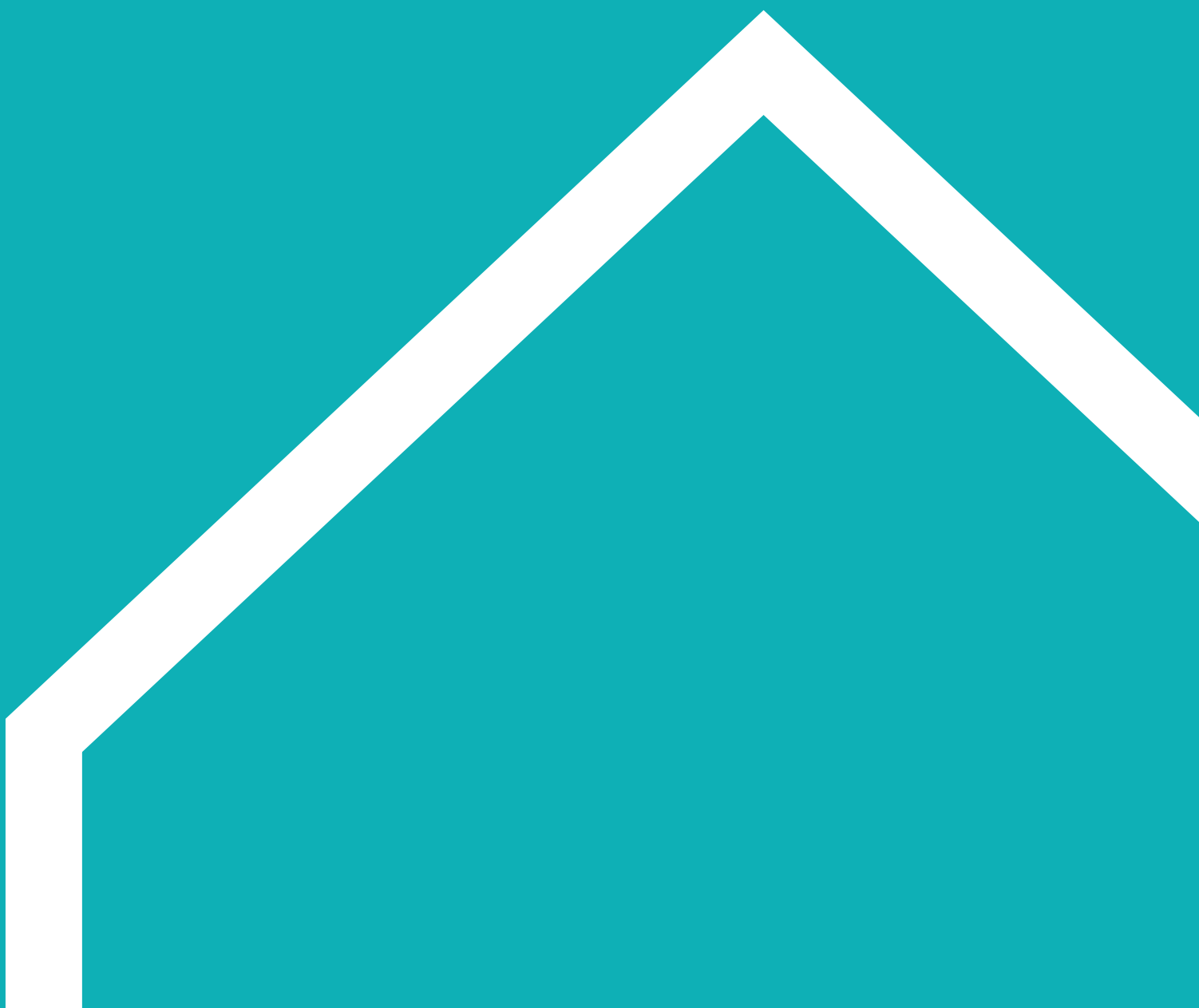


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# Heritage Impact Assessment

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Erection of two additional poultry sheds

Broadway Poultry, Ford Heath, Shropshire,  
SY5 9NW

April 2023



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**PROJECT**

Erection of two further poultry sheds

**BERRYS**

Beech House  
Anchorage Avenue  
Shrewsbury Business Park  
Shrewsbury  
SY2 6FG

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## 1. Introduction

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- 1.1 This report has been prepared to accompany a full planning application for the erection of two further poultry sheds at Broadway Poultry, Heath, Shropshire, SY5 9NW.
- 1.2 The application site, hereafter referred to as the Proposed Development area (PDA) is an area of open grassland directly north of Broadway Farm, grid reference: 52°42'01.5"N 2°53'08.9"W.
- 1.3 The purpose of this report is to understand, assess the significance and to analyse the impact of the proposed work including in order to comply with paragraph 194 of the National Planning Policy Framework (NPPF) and Historic England Advice Note 12.
- 1.4 This Heritage Impact Assessment (HIA) should be read in conjunction with the other supporting planning documents and drawings prepared by Berrys and other consultants.
- 1.5 Table 1 details the planning history of the Site.

Date	Ref No.	App Description	Decision
July 2010	10/02963/FUL	Erection of four poultry units, associated feed bins, detached office/storage building, formation of hardstanding, new access road and alterations and improvements to existing access, together with associated landscaping	Granted
September 2015	15/03902/PSPPA	Application for prior approval under Part 14, class J of the Town & Country Planning (General Permitted Development) (England) Order 2015 for the installation of	Prior approval not required

		960 roof mounted solar panels	
<b>August 2019</b>	19/03007/FUL	Application under Section 73a of the Town and Country Planning Act 1990 for the Installation of four biomass boilers and feed bins (retrospective)	Granted
<b>August 2021</b>	21/03807/SCO	Scoping Opinion for the proposed extension to Broadway Farm poultry unit	Scoping opinion issued

Table 1 - Planning history of the Site.

- 1.5 The Town & Country Planning (Environmental Impact Assessment) (England and Wales) Regulations 2017 require that for certain developments an Environmental Impact Assessment (EIA) is required (hereinafter referred to as The EIA Regulations). The Regulations set out the types of development where an EIA is mandatory (Schedule 1) and when the need for an EIA will be determined if the development is likely to have significant environmental impacts by reason of factors such as the size, scale, location or other likely impacts (Schedule 2).
- 1.6 The development represents a category of development that falls to be considered under Schedule 1 – Installations for the intensive rearing of poultry or pigs with more than— (a)85,000 places for broilers or 60,000 places for hens. In deciding whether the development constituted an EIA development Shropshire Council took into account the size and nature of the proposed development, the location of the potential development site and the likely impact of the proposal on the character and appearance of the area. The Council considered the likely significant effects to include landscape and visual impact, heritage impacts, traffic and effects on biodiversity. Therefore, in conformance with Regulation 5(2)(b) of the EIA Regulations, the proposed development was determined by Shropshire Council to be EIA development.

## 2. Methodology

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- 2.1 The methodology in this report will be based upon Historic England's Good Practice Advice in Planning 31 (GPA 3)<sup>1</sup> which sets out a staged approach to proportionate decision making when assessing the degree to which setting contributes to the significance of heritage assets.
- 2.2 The report has primarily been produced through desktop research, using relevant secondary sources including:
- Historic Environment Records (HER)
  - Historic England National Heritage List England (NHLE)
  - UK Census Records (online resource)
  - National Library of Scotland (online resource)
  - Shropshire Record Office
- 2.3 A site visit was conducted on 13<sup>th</sup> April 2023, with the purpose of carrying out a character assessment for the Site and the role it plays as setting to heritage assets. Conditions were mostly sunny with intermittent cloud cover. Trees were not yet in full leaf which allowed for greater intervisibility than would typically be experienced during the spring and summer months. This should be factored in when considering the potential impact of the proposal on nearby heritage assets.
- 2.4 The assessment is primarily a desk-based study which has utilised secondary sources derived from a variety of published sources. The assumption has been made that this data is reasonably accurate. The records held by the HER and historic maps are not an infinite record of all heritage assets, but a record of the discovery of historic features.
- 2.5 Data has been collated from a 1km radius of the PDA boundary in accordance with step 1 from Historic England. This is referred to as the Study Area.

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<sup>1</sup> Historic England, 2017. *Historic Environment Good Practice Advice in Planning Note 3 (Second Edition): The Setting of Heritage Assets*

- 2.6 The Study Area has been based on professional judgment considering location, topography, and character as well as considered pre-application feedback from Historic England and the Local Planning Authority.
- 2.7 Data from a 1km radius incorporates both designated and non-designated heritage assets including those from the Historic Environment Record and those considered potential non-designated heritage assets from professional judgment.
- 2.8 Archaeological data and the landscape value has been assessed separately and is not considered in this report, although there is inevitable crossover.
- 2.9 Not all heritage assets identified were visited and those that were had limited public accessibility.
- 2.10 The PDA does not contain any heritage assets. However, the scale of the proposal constitutes the need to analyse the impact on the setting of nearby heritage assets within a 1km radius.
- 2.11 Furthermore the designated heritage asset "*Tithe House*" lies just outside the 1km boundary but was considered to warrant including and visiting, due to its grade II listed status.



### 3. Identifying Heritage Assets

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3.1 The NPPF defines a Heritage Asset as:

*‘A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing).’*

3.2 The Proposed Development Area (PDA) is an area of open grassland directly north of Broadway Farm, near the village of Cardeston in the county of Shropshire.

3.3 Figure 1, Table 4 and Table 5 show the Site within its local context and setting, with nearby heritage assets labelled.

3.4 There are no heritage assets found within the PDA, therefore the principal consideration for this report is the impact the proposal will have on nearby designated and non-designated heritage assets.

3.5 Significance results from a combination of any, some or all of the interests which are defined by the Framework and after the publication of Historic England’s Advice Note 12 (Statements of Heritage Significance: Analysing Significance in Heritage Assets)<sup>2</sup> the criteria of interest have been described in further detail in Table 2.

Significance	Description
<b>Historic</b>	An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation’s history but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.

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<sup>2</sup> Historic England, 2019, *Statements of Heritage Significance: Analysing Significance in Heritage Assets Historic England Advice Note 12*

<b>Archaeological</b>	There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.
<b>Architectural and Artistic</b>	These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skills, like sculpture.

Table 2 – Criteria of Heritage Interest

3.6 Listed Buildings and Conservation Areas are generally designated for their special architectural and/or historic interest. Scheduling is predominantly, although not exclusively, associated with archaeological interest.

3.7 Significance is defined in the Framework as:

*“A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest... significance derives not only from a heritage asset’s physical presence, but also from its setting...”*

3.8 Understanding the nature, extent and level of significance is paramount when assessing any change to heritage assets. In accordance with para. 200 of the Framework, there is a hierarchy of significance set out in Table 3 below.

3.7 It is possible for sites and buildings to have *no* heritage significance.

Significance	Heritage Assets
<b><i>“...designated heritage assets of the highest significance...”</i></b>	Grade I, II* Listed Buildings Grade I, II* Registered Parks and Gardens Scheduled Monuments Protected Wreck Sites

	World Heritage Sites Registered Sites Non-designated heritage assets of archaeological interest of equivalent significance to SAMs
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Table 3 - Heritage Assets of the "highest significance"

3.8 Annex 2 of the Framework defines setting as:

*“The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.”*

3.9 Therefore, setting can contribute to, affect an appreciation of significance or be neutral with regards to heritage interest. However, setting itself is not a heritage asset or a heritage designation.

3.10 The Planning Practice Guidance (PPG) clarifies the levels of harm which can arise from direct physical and indirect impact<sup>3</sup>. If there is no impact on the heritage asset’s significance or the development will enhance its significance, there will be no harm.

- Substantial harm or total loss – this would be harm that would *‘have such a serious impact on the significance of the asset that its significance was either vitiated altogether or very much reduced’*<sup>4</sup>
- Less than substantial harm – harm of a lesser degree than substantial.

<sup>3</sup> MHCLG, Planning Practice Guidance, Paragraph: 018 (ID: 18a-039-20190723 Revision date: 23.07.2019)

<sup>4</sup> EWHC 2847, R DCLG and Nuon UK Ltd v. Bedford Borough Council

- No harm – case law<sup>5</sup> provides us with the articulation of ‘preserving’ which means doing ‘no harm’ with regards to Section 66(1) Planning (Listed Buildings and Conservation Areas) Act 1990.

- 3.11 The term ‘preserving’ does not constitute ‘no change’ as Historic England guidance<sup>6</sup> confirms *‘change to heritage assets is inevitable but it is only harmful when significance is damaged’*. Thus, the concept of change is accepted as part of the evolution of the historic environment. However, it is whether the change is therefore neutral, harmful or beneficial to the significance which is to be determined.
- 3.12 Setting is not fixed and will change over time; therefore, cumulative change should be taken into consideration. In this instance where the significance of an asset has been compromised *‘consideration still needs to be given to whether additional change will further detract from, or can enhance, the significance of the asset.’*
- 3.13 Whilst the statutory duty requires that special regard should be paid to the desirability of not harming the setting of a Listed Building, that cannot mean any harm, however minor, would necessarily require planning permission to be refused as clarified in the Court of Appeal<sup>7</sup>.
- 3.14 These are judgements, and the level of harm are for the decision-maker which should be clearly defined. The PPG states that: *‘it is the harm to the asset’s significance rather than the scale of development that is to be assessed.’*<sup>8</sup>

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<sup>5</sup> EWHC 1895, R (Forge Field Society, Barraud and Rees) v. Sevenoaks DC, West Kent Housing Association and Viscount De L’Isle

<sup>6</sup> Historic England, 2017, *Historic Environment Good Practice Advice in Planning Note 3 (Second Edition): The Setting of Heritage Assets*

<sup>7</sup> Palmer v Herefordshire Council & Anor [2016] EWCA Civ 1061 (04 November 2016)

<sup>8</sup> MHCLG, Planning Practice Guidance, Paragraph: 018 Reference ID: 18a-018-20190723

## 4. Planning Policy

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4.1 Planning decisions should be taken in accordance with local plan policy unless material considerations indicate otherwise, Section 38(6) of the Planning & Compulsory Purchase Act 2004 refers. This statement is written in the context of the following legislative, planning policy and guidance:

- National Planning Policy Framework (2021) ‘*The Framework*’
- National Planning Practice Guidance: *Conserving and enhancing the historic environment (2019)*
- Planning (Listed Buildings and Conservation Areas) Act (1990)
- Ancient Monuments and Archaeological Areas Act (1979)
- Conservation Principles: *Policies and Guidance for the Sustainable Management of the Historic Environment (2008)*
- Good Practice Guide 2: *Managing Significance in Decision-Taking in the Historic Environment (2015)*
- Good Practice Guide 3: *The Setting of Heritage Assets (2017)*
- Statements of Heritage Significance: *Analysing Significance in Heritage Assets (2019)*
- Advice Note 15: *Commercial Renewable Energy Development and the Historic Environment (2021)*

4.2 Section 66(1) of the Act (1990) states that when:

*‘...considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard for the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.’*

4.3 Decision-makers should give “*considerable importance and weight*” to the desirability of preserving the setting of listed buildings when carrying out the balancing exercise<sup>9</sup>.

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<sup>9</sup> Barnwell Manor Wind Energy Limited v East Northants DC, English Heritage, National Trust & SSCLG [2014] EWCA Civ.137.

4.4 There are no Scheduled Ancient Monuments within the PDA, therefore it is not considered relevant to refer to associated policy.

4.5 Section 16 of the NPPF contains policies for conserving and enhancing the historic environment. All of which are relevant to this application due to the nature and scope of heritage assets potential impact. However, specifically to Paragraph 202:

*‘Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.’*

4.6 Public benefits do not need to be *visible* or *accessible* to the public. They may include:

- Sustaining or enhancing the significance of a heritage asset
- Reducing or removing risks to a heritage asset
- Securing the optimum viable use of a heritage asset

4.7 Non-designated heritage assets are afforded a lower level of protection in the Framework under Para. 203 which states that although the significance of a non-designated heritage asset should be considered when determining an application *‘...a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.’*

4.8 The following policies from the Shropshire Local Plan are relevant:

**Core Strategy (adopted February 2011)**

- CS5: Countryside and Greenbelt
- CS6: Sustainable design and development principles
- CS17: Environmental Networks

**SamDev Plan 2006-2026 (adopted December 2015)**

- MD2: Sustainable Design
- MD13 Historic Environment

4.9 It should be noted that Shropshire Council is currently undergoing a review of its Local Plan Review which will replace the Core Strategy and SAMDev Plan and will cover a plan period of 2016-2038. The review is at an advanced stage and the revised plan has been submitted to the Planning Inspectorate for examination on 3rd September 2021. It is anticipated that following the examination the Local Plan will be adopted in 2023. The key policy in the emerging plan which may attract some limited weight in advance of the adoption is:

- DP23 Conserving and Enhancing the Historic Environment

## 5. Historical Environment

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### Area Summary

- 5.1 The PDA is an area of grassland directly northwest of Broadway Farm in a rural part of west Shropshire. The Site is roughly 9km from Shrewsbury, Shropshire's County town and only 1km from Cardeston, the largest nearby settlement. The PDA is roughly 25 metres by 105 metres. The existing poultry buildings directly south of the PDA are of steel framed construction with the roof and side walls clad with box profile polyester coated steel sheeting. The buildings measure 24.384 metres by 105.462 metres with an eaves height of 2.59 metres and ridge height of 4.77 metres. The associated feed bins are 7.5 metres in height. The four buildings run parallel with a yard area to the front. The poultry site is accessed separately from the original farmstead off Yockleton Road which runs between 'Five Turnings' and the A458.
- 5.2 Cardeston was recorded in the Domesday Book as a minor settlement, with the lord in 1066 being Leofnoth. This implies there has been a settlement in the area going back to at least the Anglo-Saxon period.
- 5.3 Tithe records (Figure 2) show the development site has always been in a rural setting, though the boundaries have changed in the intervening years. In 1847, part of the Site was owned by Thomas Harries, but occupied by John Gittins, with the description stating: *"Old House, Leasow"*. Another portion of the Site was owned and occupied by Timotheus Burd with the land described as *"Whistone Priory Mansion, Slang"*. A *"slang"* refers to a narrow strip of farmland, usually of a size that could be managed by a single household.
- 5.4 Map regression shows the character of the Site, and its surroundings has changed little since the mid-19<sup>th</sup> century. The area consists of open fields or arable farmland with only a few isolated farmsteads dotting the landscape. This is much the same now, with only the A458 providing a major change within this landscape.



## Heritage Assets

5.5 This report focuses on non-designated and designated heritage assets within a study area of 1km from the centre of the PDA. As mentioned, Tithe House (NHLE: 1308103) falls outside this boundary, however, it is considered to warrant inclusion due to its grade II listed status and its close proximity to the boundary area.

5.6 Access was not possible to some heritage assets, due to lack of public access, and therefore assessment was not possible. Assets not accessible were:

- Cowhouse at Coppice House Farm – HER ref. 40390
- Cowhouse at Coppice House Farm – HER ref. 40389
- Cartshed at Coppice House Farm – HER ref. 40388
- Farmhouse at Coppice House Farm – HER ref. 40387
- Whiston Farm – HER ref. 27854
- Cardeston Manor – HER ref. 34312

5.7 A large number of non-designated heritage assets were agricultural buildings located within a few farmstead sites. In these cases, the impact on the setting of all assets within each farmstead as a whole has been considered, rather than individually. This is due to their significance being mainly derived from their group value within each individual farmstead and therefore collectively their setting has been considered as a whole, unless in exceptional circumstances.

### Far Broadway Farm:

- Farmhouse at Far Broadway Farm – HER Ref. 40831

- Cartshed/Granary at Far Broadway Farm – HER ref. 40832
- Cartshed and Shelter Shed at Far Broadway Farm – HER ref. 40833
- Threshing Barn converted to Cowhouse, Far Broadway Farm – HER ref. 40834

5.8 The heritage assets at Far Broadway Farm are the closest in proximity to PDA and therefore most likely to be affected by the proposed development. However, it should be noted that none of them are designated heritage assets.

5.9 The farmstead as a whole retains its historic courtyard layout, but the buildings themselves have seen a number of modern additions and alterations, as well as the erection of further modern farm buildings within their vicinity.

5.10 The farmhouse is constructed from rubble with minor red-brick additions including detailing around two first floor windows as well as two red-brick chimneys. The windows and doors have been replaced with uPVC models which are not in-keeping with the existing character of the farmstead and detract from the historic and architectural interest gained by the retention of historic building materials (Figure 11).

5.11 It should be noted that there will be very limited intervisibility between the PDA and Far Broadway Farm, with the existing Broadway Poultry sheds situated in the intervening space between the two.

5.12 The barns included within the farmstead have also seen further alterations such as modern brick extensions, replacement of roof which corrugated iron and installation of infrastructure such as oil-fired heating storage. The cart shed with granary (HER ref. 40827) is also constructed from the same stone rubble as the main farmhouse, with some small red-brick additions also. This historic building material being shared between the two heritage assets lends them some additional historic and architectural significance (Figure 12).

5.13 In contrast the granary and shelter shed are entirely constructed from red brick with timber window shutters. There is a large amount of material located within the farmstead that detracts from the historic interest of the Site but are required for the active running of the farm (Figure 10).

5.14 The farmstead is accessed via an unnamed farm lane to the east. From this approach the PDA will not be visible as the existing poultry sheds and Far Broadway Farmstead obscure this view.

5.15 The significance of the barns within Far Broadway Farmstead has seen cumulative harm through modern additions and alterations, as detailed in 5.12. Further to this, the erection of modern farming structures within the farmstead site has further undermined the remaining significance. Therefore, it is necessary to consider the extent to which the setting of the farmstead contributes to its remaining significance. In this respect the farmsteads setting is considered to be defined by two key aspects, as specified in Historic England's Good Practice Advice in Planning Note 3 – The Setting of Heritage Assets. These two key elements are:

- The surrounding rural landscape
- Surrounding land in use for mixed agricultural and/or pastoral farming

Setting does contribute to the significance of the farmstead; however, this is considered to be limited to the northern, eastern and southern sides of the farmstead. The western portion of its immediate setting is already dominated by the pre-existing poultry sheds which have fundamentally changed the character of this part of the farmstead's setting already, limiting the extent to which setting can contribute to significance.

5.16 The proposal will change the use of an area of land that is currently an open grassland and not in commercial or industrial use and, in this respect, the proposal will change the setting of the Far Broadway Farmstead site. However, it is argued that this impact is mitigated by cumulative harm already done to the farmstead's setting by elements such as the current poultry sheds south of the PDA and the modern farming structures within

the Far Broadway Farmstead (Figure 13). Moreover, the visibility between the farmstead and the PDA is limited, due to the presence of natural screening formed by trees and hedgerows. The pre-existing poultry sheds also limit intervisibility between the PDA and the farmstead. The issue of intervisibility will be further alleviated by the provided Landscape Mitigation Plan, which has been designed to fit the surrounding landscape character, improve the biodiversity, structure, and connectivity of the vegetation resource, and provide screening/filtering of the proposed development. The landscape mitigation plan includes the following planting and seeding:

- ~2260m<sup>2</sup> of native screen planting, comprising 7 different species of trees and shrubs; and
- ~43 linear metres of existing native hedgerow gapped up;
- Grass seeding as required.

5.17 When considering the direct or indirect impact of a proposal on a non-designated heritage asset, the NPPF asks us to make a balanced judgement in regard to the scale of any harm or loss and the significance of the heritage asset. It is argued that the significance of the Far Broadway Farmstead as a group has already seen its significance harmed due to the cumulative impact of modern farming structures within its curtilage and modern alterations to its heritage assets. Setting does play a factor into the remaining significance of the farm; however, it has been demonstrated that this has already seen fundamental changes due to the pre-existing poultry sheds just south of the PDA. It is therefore concluded that, on balance, the proposal will not fundamentally change the manner in which the heritage assets within the farmstead are appreciated as a group.

### Near Broadway Farm

- Near Broadway Farm – HER ref. 40825
- Farmhouse at Near Broadway Farm – HER ref. 40826

- Cartshed with Granary at Near Broadway Farm – HER ref. 40827
- Cowhouse and Table at Near Broadway Farm – HER ref. 40828

5.18 Near Broadway Farm is located 450 metres southeast of the PDA, with Far Broadway Farm in the intervening space. Access was limited to the interior farmstead courtyard, but it is still possible to analyse the potential impact on the setting of the farmstead.

5.19 Near Broadway Farm has retained some elements of its historic layout, though this has been harmed by the erection of a large number of modern agricultural sheds.

5.20 The Cartshed and Cowhouse at Near Broadway Farm are constructed from stone rubble with red brick used for detailing such as edging around the timber door and shuttered windows. This large amount of retained building material does lend the farm some historic and architectural significance, though this should be noted that some elements are in a state of disrepair which have harmed the Site's significance.

5.19 The farmstead's setting is principally defined by the surrounding rural landscape which is mostly in use as agricultural or pastoral farmland and a change from this would constitute harm to the farms setting. However, the potential impact on this setting that could be generated by the proposal is limited by the distance between the PDA and Near Broadway Farm, which also negates any potentially intervisibility between the PDA and the farmstead.

5.20 The surrounding rural landscape will remain unimpacted. The distance between Near Broadway Farm and the PDA is roughly 450m with open grasslands, buildings, and a country lane all in the intervening space. Therefore, the immediate surrounding rural landscape will remain unimpacted, though there will be a change when looking at the wider context. However, this will be mitigated by the distance from the PDA and

the existing poultry sheds at Far Broadway Farm which have already changed this element of the surrounding landscape.

5.22 The use of land in the immediate surrounds will not be changed from the use as agriculture/pastoral farming. In respect to these factors, it is considered that the way in which the assets are experienced will not be changed and therefore there will be no harm to the setting to Near Broadway Farm as a non-designated heritage asset.

### Heath Farm

- Heath Farm – HER ref. 22008
- Heath Farmhouse – NHLE ref. 1052156
- Open Barn at Heath Farm – HER ref. 21828

5.23 Heath Farm is a collection of historic farm buildings which have now been converted to residential use. The central focus of this farmstead is Heath Farmhouse which is a grade II listed building and therefore of higher consideration and significance than the non-designated farm site and barn. The association between the farm and the farmhouse is highlighted by the retention of the historic courtyard layout of the farm, despite these buildings now being in separate ownership and use.

5.24 Heath Farmhouse is dated the early 19<sup>th</sup> century and is chiefly constructed from sandstone rubble with some brick dressings, notably on the chimneystacks (Figure 16). The Farmhouse is surrounded by a stone rubble wall with planted hedgerows forming natural screening. This shields the farmhouse considerably from view. It should be further noted that a modern dwelling has been erected directly in front of the farmhouse, in the intervening space between Heath Farmhouse and the PDA therefore further limiting intervisibility between the farmhouse and the PDA.

5.25 The associated barn and farm site are similarly constructed from a mixture of sandstone rubble and red brick as a supplemental building material

(Figures 17 and 18). These historic farm buildings are no longer in their original use and have now been converted for residential use. This has resulted in some harm to their significance, due to the required installation of modern materials for items such as doors and windows.

- 5.26 The distance between the Heath Farm and the PDA is over 400m, with the Yockleton Road bisecting the intervening space creating a physical division between the PDA and Heath Farm. Furthermore, there are later dwellings and commercial units placed within this area as well which have already impacted the setting of the Farm and caused cumulative harm.
- 5.27 The setting of the Heath Farm would be chiefly defined by the ruralness of the surrounding landscape and views looking north. With the PDA being located east of Heath Farm and the presence of intervening structures and natural screening, it is considered that the proposal will not impact the experience of this. The distance ensures the surrounding rural landscape is unaffected, furthermore, the existing poultry sheds on site at Far Broadway Farm have already resulted in a visual change to the landscape, due to their scale and the further infrastructure installed associated with them. The proposal is considered to do no further harm in regards to this. Views between the PDA and the Heath Farm are restricted by the topography, which is slightly raised before the PDA, and the presence of 20<sup>th</sup> century dwellings erected in the intervening space. The views out north will be unimpacted as the development will take place directly east of the Heath Farm site.
- 5.28 It is for these reasons that it is concluded that the proposal will do no harm to the grade II listed farmhouse and its associated barns, nor will it impact the setting of any of these heritage assets.

#### **Church of St Michael, Cardeston – NLHE ref. 1055215**

- 5.29 The Church of St Michael in Cardeston is a Grade II listed Anglican church dating to the mid-18<sup>th</sup> century, though the official listing does indicate there are some older fragments incorporated, dating back to possibly the 12<sup>th</sup> century. Constructed from Uncoursed Alderbury breccia with sandstone

ashlar dressing, the church is a designated heritage asset with a prominent position within the landscape, therefore affording it far-reaching views of the area, making it one of the most important assets to consider when looking at the potential impact of the proposal (Figure 25).

5.30 The church and the PDA are separated by over 850m, meaning there is no chance for physical or direct harm. Therefore, the principal consideration is the setting of the church. In this respect, the church's setting is argued to be chiefly defined by the following characteristics:

- Surrounding landscape
- Views to and from the asset
- Visual dominance

5.31 The landscape surrounding Cardeston Church is chiefly defined by the agricultural and pastoral farmland which forms its rural setting, but also by the village of Cardeston. The distance between the PDA and the church leads to the conclusion that this element of the church's setting will not be impacted by the proposal. This element of how the asset is experienced will be changed. The church's significance is derived from its architectural and historic interest which is enhanced by its prominent location and will not be lost from the proposed development. Its significance can be appreciated from the PDA to some degree, largely due to the scale of the tower and the prominent position the church occupies. However, whilst there is some intervisibility it should be noted that the distance between the PDA and the church does limit this appreciation, as architectural details cannot be discerned from this distance.

5.32 The main consideration when considering the impact of this proposal, is the potential harm to views looking out from and towards the church. Despite the distance the PDA is visible, and development will constitute a change in experience. Topographically, Cardeston Church and the PDA are both raised compared to the intervening land between them, which falls into a slight valley. This therefore means views from the church are far reaching. Whilst it is acknowledged that the proposal may result in a change to these views, it is argued that this impact is mitigated by the existing poultry sheds on



the Far Broadway Farm site, which have already caused harm to this element of the church's setting. Furthermore, the PDA is located within the profile of the existing sheds, thereby mitigating the potential impact of development.

- 5.33 Cardeston Church sits in a prominent position within the landscape, due to the topography discussed in 5.32. The PDA is located of sufficient distance from the church to conclude that this visual dominance will remain unaffected. It is concluded that there will be *a less than substantial harm* to the setting of Cardeston Church, due to the impact on views looking out from the listed building. Whilst there is potential for cumulative harm when factoring in the existing poultry sheds at Far Broadway Farm, it is considered that the provided Landscape Mitigation Plan is sufficient in preventing further harm by restricting intervisibility between the PDA and the church.

#### **Church Farm, Cardeston – HER ref. 27857**

- 5.34 Church Farm has been included within this report for completeness only. Being a non-designated heritage asset, it holds less weight than the nearby Cardeston Church. It does not command the same views nor position of prominence and is located a large distance from the PDA. Therefore, it is concluded there will be no harm to Church Farm or its setting.

#### **Cardeston Manor – HER ref. 34312**

- 5.35 Cardeston Manor has been included in this report for completeness and it is concluded that the proposal will do no harm, due to the distance from the PDA.

#### **The Pound, Cardeston – HER ref. 14864**

- 5.36 The Pound in Cardeston has been included in this report for completeness and it is concluded that the proposal will do no harm, due to the distance from the PDA.

### **Primitive Methodist Chapel, Ford Heath – HER ref. 14288**

5.37 Former methodist chapel, now converted to a private dwelling. Constructed from red brick with a tiled roof, the chapel retains its ecclesiastical windows and has a decorative brick string course following the roofline on the front elevation. These elements offer the asset some historic and architectural interest (Figure 19).

5.38 The chapel is located on the edge of the village of Ford Heath, roughly 500m southeast of the PDA. In this respect it is concluded that the proposal will do no harm to the chapel or its setting. The distance is too great, and the chapel is surrounded by natural screening and other dwellings which mean views towards the PDA are restricted entirely.

### **Beechfield Farm – HER ref. 22009**

5.39 Beechfield Farm is an isolated farmhouse located around 800m from the PDA. The farmhouse is constructed from brick and has been painted white. Further associated farm buildings are also brick constructions (Figure 21).

5.40 The farm is approached via a quiet country lane with no-through road. The lane is highly wooded on either side. This level of foliage continues to the farm site, giving it a sense of privacy and isolation. From this point views towards the PDA are entirely restricted by the natural screening. Due to this sense of enclosure and the distance between this and the heritage asset, it is concluded that the proposal will result in no indirect harm to Beechfield Farm.

### **Tithe House – NHLE ref. 1308103**

5.41 Tithe House (Figure 22) is included in this report for completeness only as it is a grade II listed farmhouse located a short way from the PDA assessment area boundary. The farmhouse is located over 1km from the PDA with large areas of natural screening in the intervening space. The PDA will do no harm to Tithe House or its setting.

## 6. Conclusion

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6.1 The National Planning Policy Framework (NPPF), helps to define what constitutes harm and how to assess the impact. It explains that:

*“It is the degree of harms to the asset’s significance rather than the scale of the development that is to be assessed. The harm may arise from works to the asset or from development within its setting.”*

6.2 The PDA does not contain within it any heritage assets, therefore the main consideration for the proposal is its impact on the setting of nearby heritage assets.

6.3 It is concluded that the proposal will lead to no harm to the setting of nearby designated heritage assets, with the exception of Cardeston Church, which will experience less than substantial harm, though it has been demonstrated that this harm is limited due to the distance between the church and the PDA and the abating factors of the Landscape Mitigation Plan.

6.4 It is further concluded that the proposal, on balance, will not harm the significance of the nearby non-designated heritage assets, with the exception of those assets at Far Broadway Farm, which will see a minor change in their setting. However, it has been shown this setting has already been fundamentally changed already and the significance of the heritage assets at the farm already affected by cumulative harm.

6.4 However, evidence has been given to show that the impact in all cases has been mitigated, the most important of these being the pre-existing poultry sheds already on site and the provided Landscape Mitigation Plan, which looks to provide further natural screening around the PDA.

6.5 The minor harm that is concluded to occur in this report must therefore be weighed against the potential benefits of the proposal, in this instance benefits to the local rural economy.

## 7. Appendix 1 - Maps/Plans



Figure 1 - Heritage Assets

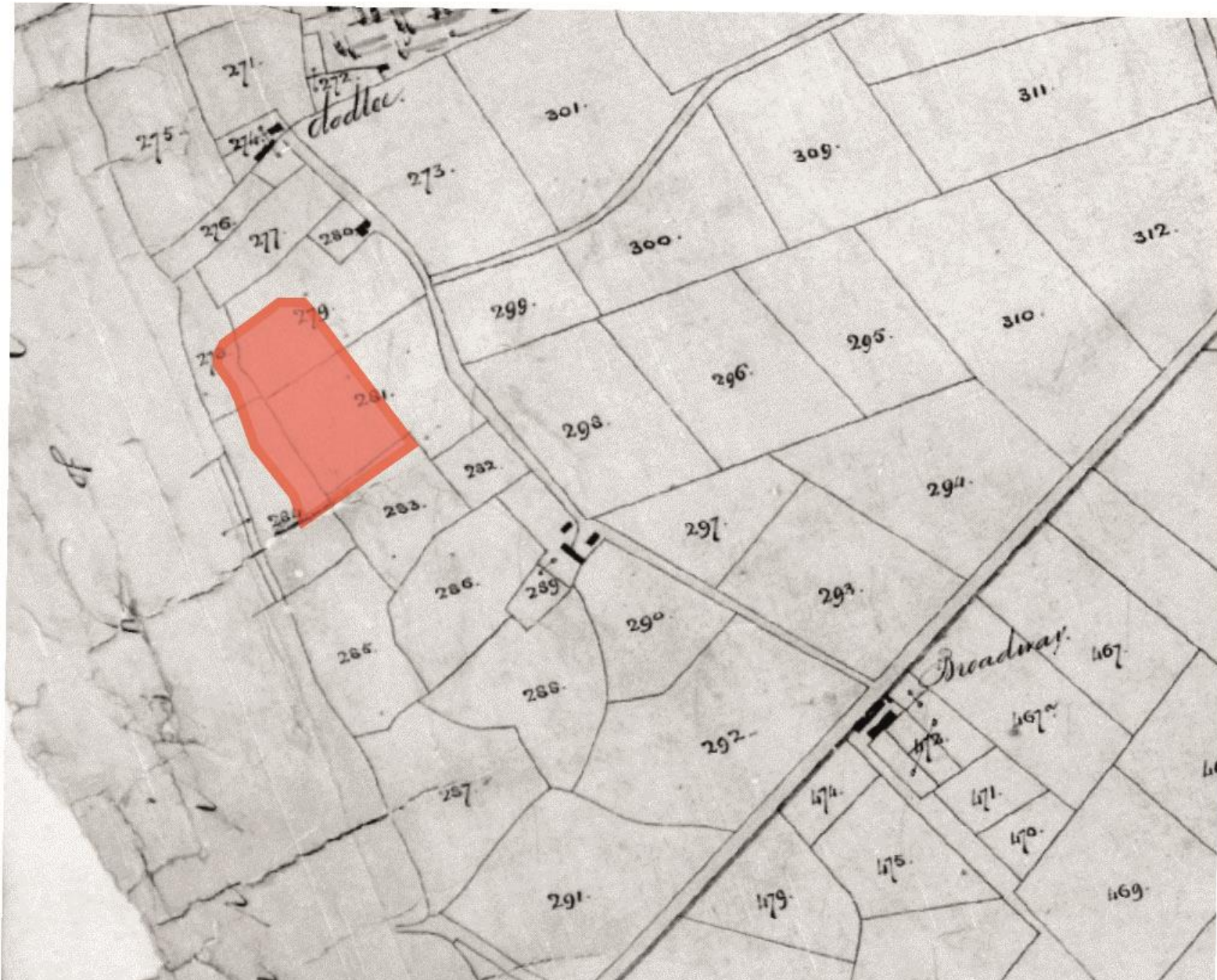


Figure 2 - Tithe Map, 1847

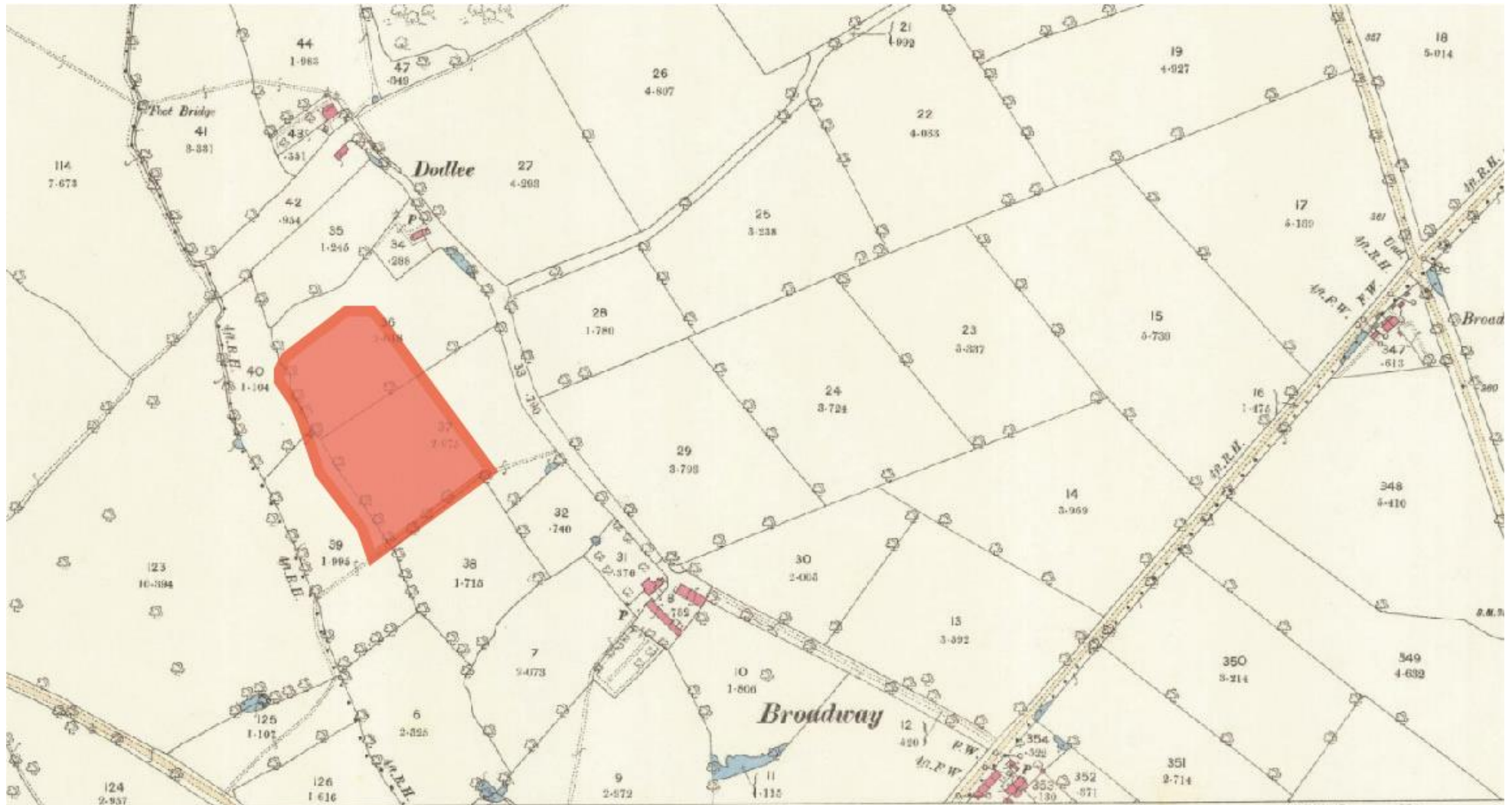


Figure 3 - OS Map, 1882

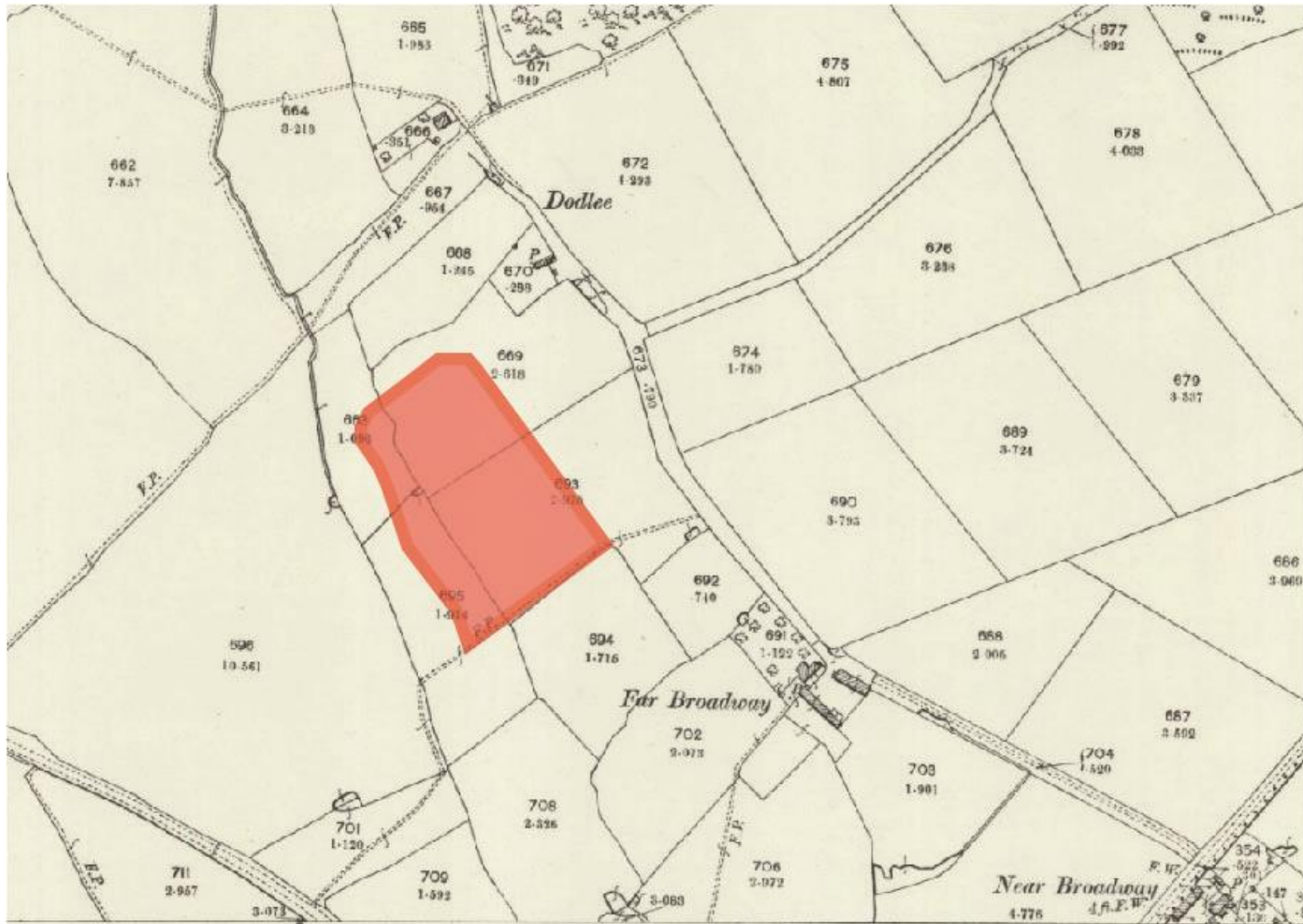


Figure 4 - OS Map, 1902

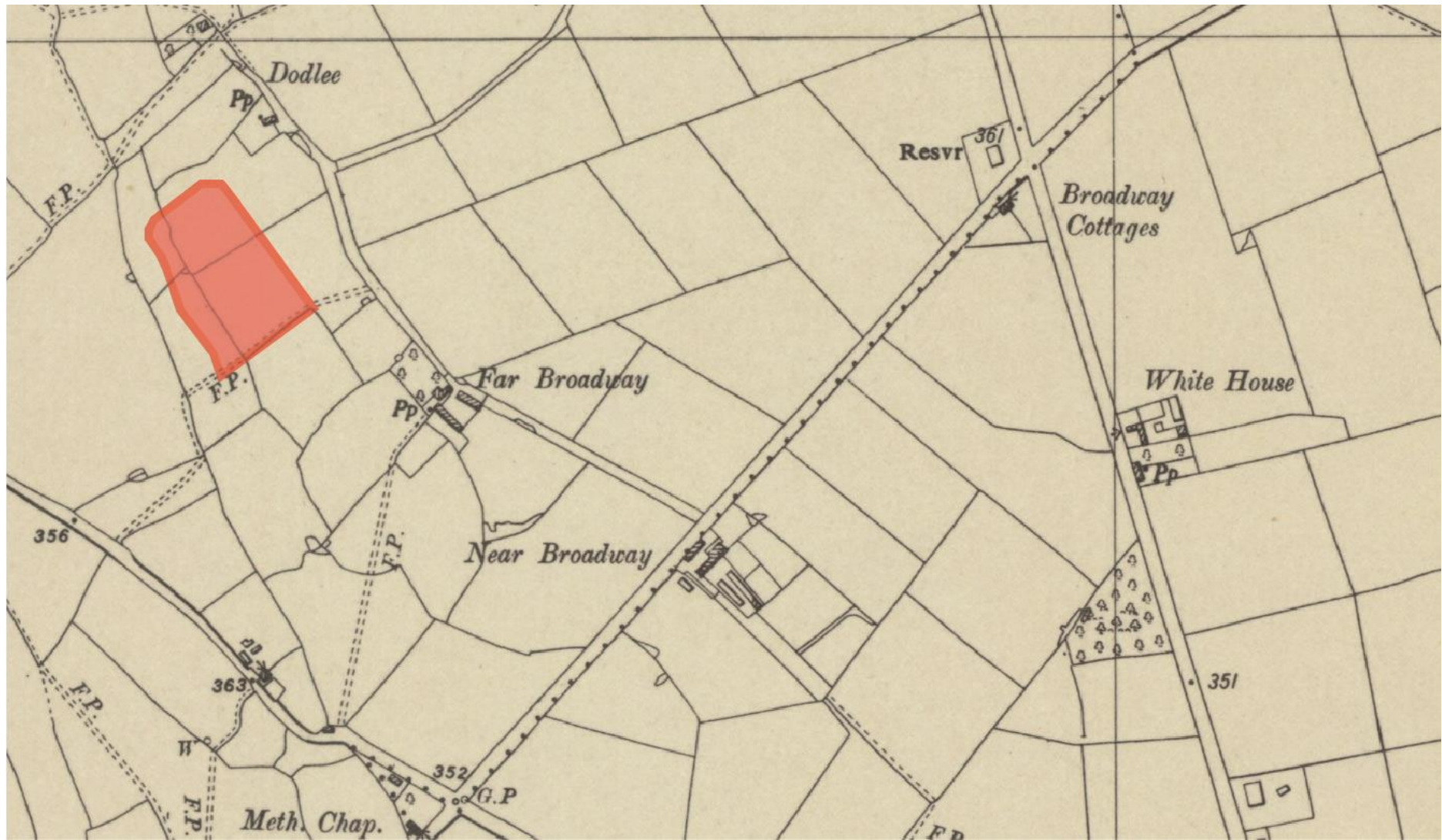


Figure 5 - OS Map, 1954



## 8. Appendix 2 – Designated Heritage Assets

Name	Listing	Description
<a href="#">Heath Farmhouse</a>	II	Farmhouse. Circa early C19. Sandstone rubble with brick dressings. Plain tile twin-span roof with gabled ends and with dentil eaves. Gable end stacks with short brick shafts. PLAN: Double-depth plan. 2 principal front rooms. Hall-kitchen on right and parlour on left, with entrance lobby and straight staircase between. At rear back kitchen on left and back stairs and dairy on right.
<a href="#">Church of St Michael</a>	II	Parish church. Dated 1749, incorporating probably C12 fragments, remodelled and west tower and link added in 1844 (datestone), and restored and vestry added in 1905. Uncoursed Alberbury breccia with red and grey sandstone ashlar dressing; plain tile roofs. 4-bay nave, one-bay chancel with north vestry, and short link block to west tower. 1844 remodelling on a free Perpendicular style.
<a href="#">Tithe House</a>	II	Farmhouse, now disused. Dated 1755. Red brick on coursed rubblestone plinth; asbestos slate roof. 2-room plan. One storey and gable-lit attic. Projecting brick eaves courses and parapeted gable ends with chamfered red sandstone copings; external brick end stacks.

Table 4 - Listed Buildings

## 9. Appendix 3 – Non-Designated Heritage Assets

HER No.	Name	Description
<b>03340</b>	Suggested moat Sire at Cardeston	Possible rectangular moated site lying athwart a stream SE of Cardeston Church. The site is defined by a slight inward facing scarp defining a rectangular area but there is no trace of any ditch. Its size and siting are suggestive of a moated site but the slight field evidence is inconclusive.
<b>18606</b>	Church of St Michael, Cardeston	A parish church dated 1749 with 12th century fragments and remodelled in 1844, which is protected by Grade II Listing.
<b>19662</b>	Heath Farmhouse, Yockleton Road	An early 19th century, 2-storey, stone farmhouse, which is protected by Grade II Listing. Sandstone rubble with brick dressings. Plain tile twin-span roof with gabled ends and with dentil eaves. Gable end stacks with short brick shafts.
<b>04256</b>	Enclosure c 200m SE of Corner Cottage	A circular cropmark enclosure of unknown date. Photographed during aerial survey in 2011.
<b>40387</b>	Farmhouse at Coppice House Farm	Farmhouse recorded in the 1982 -1983 Farm Buildings Survey
<b>40388</b>	Cartshed, converted to Workroom, at Coppice House Farm	Cartshed recorded in the 1982 -1983 Farm Buildings Survey
<b>40389</b>	Cowhouse, converted to Loose Boxes, at	Cowhouse recorded in the 1982 -1983 Farm Buildings Survey

	Coppice House Farm	
<b>40390</b>	Cowhouse, converted to Loose Box and Milking Parlour, at Coppice House Farm	Cowhouse recorded in the 1982-1983 Farm buildings Survey
<b>40391</b>	Cowhouse, converted to Garage, at Coppice House Farm	Cowhouse recorded in the 1982 -1983 Farm Buildings Survey
<b>40826</b>	Farmhouse at Near Broadway Farm.	Farmhouse recorded in the 1982 -1983 Farm Buildings Survey
<b>40827</b>	Cartshed, with Granary over, converted to Cowhouse, at Near Broadway Farm	Cartshed/Granary recorded in the 1982 -1983 Farm Buildings Survey
<b>40828</b>	Cowhouse and Stable at Near Broadway Farm	Cowhouse recorded in the 1982 -1983 Farm Buildings Survey
<b>40829</b>	Threshing Barn, possibly converted to Mixing House, converted to	Threshing Barn recorded in the 1982 -1983 Farm Buildings Survey

	Garage/Workshop, at Near Broadway Farm	
<b>40831</b>	Farmhouse at Far Broadway Farm	Farmhouse recorded in the 1982 -1983 Farm Buildings Survey
<b>40832</b>	Cartshed, with Granary over, at Far Broadway Farm	Cartshed/Granary recorded in the 1982 -1983 Farm Buildings Survey
<b>40833</b>	Cartshed and Shelter Shed, converted to Calve Pens, at Far Broadway Farm	Cartshed recorded in the 1982 -1983 Farm Buildings Survey
<b>40834</b>	Barn, converted to Cowhouse, at Far Broadway Farm	Threshing Barn recorded in the 1982 – 1983 Farm Buildings Survey
<b>40386</b>	Coppice House Farm	The farmstead at Coppice House Farm was recorded in Feb 1983 during the 1982-1983 Farm Buildings Survey. It was subsequently classified by the Historic Farmsteads Characterisation Project, 2008 – 2010, (ESA6427), largely from the digital version of the c. 1900 OS large scale mapping.
<b>40825</b>	Near Broadway Farm, Broadway	The farmstead at Near Broadway Farm was recorded in March 1983 during the 1982-1983 Farm Buildings Survey. It was subsequently classified by the Historic Farmsteads Characterisation Project, 2008 – 2010, (ESA6427), largely from the digital version of the c.1900 OS large scale mapping.
<b>40830</b>	Far Broadway Farm, Broadway	The farmstead at Far Broadway Farm was recorded in Mar 1983 during the 1982-1983 Farm Buildings Survey. It was subsequently classified by the Historic Farmsteads Characterisation Project, 2008 – 2010, (ESA6427), largely from the digital version of the c.1900 OS large scale mapping.

<b>14864</b>	The Pound, Cardeston	The site of a village pound, now disused, which was built sometime between 1750 and 1914
<b>14288</b>	Primitive Methodist Chapel, Ford Heath	A nonconformist chapel built in 1867, disused in 2003. Possibly now converted to a house.
<b>22008</b>	Heath Farm, Cardeston	Heath Farm, a farmstead first identified and classified by the Historic Farmsteads Characterisation Project, 2008 – 2010, (ESA6427), largely from the digital version of the c.1900 OS large scale mapping.
<b>22009</b>	Beechfield Farm	Beechfield Farm, a farmstead first identified and classified by the Historic Farmsteads Characterisation Project, 2008 – 2010, (ESA6427), largely from the digital version of the c.1900 OS large scale mapping.
<b>27854</b>	Whiston Farm	Whiston Farm, a farmstead first identified and classified by the Historic Farmsteads Characterisation Project, 2008 – 2010, (ESA6427), largely from the digital version of the c.1900 OS large scale mapping.
<b>27857</b>	Church Farm	Church Farm, a farmstead first identified and classified by the Historic Farmsteads Characterisation Project, 2008 – 2010, (ESA6427), largely from the digital version of the c.1900 OS large scale mapping.
<b>21828</b>	Open barn at Heath farm, Cardeston	Open barn at Heath farm.
<b>29604</b>	Quarry, pre-1901, Whiston Priory, Ford	A quarry first identified and classified by the Historic Mineral Workings Data Capture Project carried out by the Minerals Section of Shropshire County Council and its successor Shropshire Council. This was a desktop exercise largely utilizing the digital version of the c.1900 OS large scale “County Series” mapping.
<b>31487</b>	Irregular single ditched enclosure, c.400m W of Ford Heath	An irregular single ditched enclosure at Heath Farm, faintly visible as a cropmark, identified during 2013 aerial photographic survey.

<b>34312</b>	Cardeston 'Manor', Cardeston, Ford	A rectory of 1833 which replaced a 17th-century house on the site.
<b>ESA3044</b>	1981 field observation by Shropshire County council	None recorded
<b>ESA4787</b>	1994-1999 Wroxeter Hinterland Project	Full record and links yet to be constructed. Multiple Event records created for field walking surveys and excavations.
<b>ESA5888</b>	2000-2003 buildings at risk survey, SABC	Between 2000 and 2003 a buildings at risk survey was carried out by Shrewsbury & Atcham Borough Council. The survey, which was an update of a previous survey in 1990-1993, looked at all the Listed Buildings in the district, together with about 100 additional buildings of architectural or historic importance. Buildings identified by the survey as being at risk through neglect and decay, or vulnerable to becoming so, were included on a new Local Register of buildings at risk.
<b>ESA6455</b>	2002 photographic survey of the open barn, Heath Farm, Cardeston, Ford	Photographic record of the open barn at Heath Farm, Cardeston, including interior and exterior features and fittings.
<b>ESA6987</b>	2002 photographic survey of farm buildings, Heath Farm, Cardeston, Ford	Photographic record of the farm buildings at Heath Farm, Cardeston, including interior and exterior features and fittings.

Table 5 - Non-designated heritage assets.

## 10. Appendix 4 – Photos

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*Figure 6 – The PDA is an open area of grassland directly north of Far Broadway Farm.*

Client: Broadway Poultry Ltd  
Berrys Reference: SA43277



*Figure 7 – The farm already contains within it 4 poultry sheds with associated infrastructure.*





*Figure 8 – The view north-west from the PDA towards the grade II listed church at Cardeston.*



*Figure 9 – The view from the PDA back towards Far Broadway Farm, with the existing poultry sheds and associated infrastructure in view.*



*Figure 10 – Granary/Shelter Shed within Far Broadway Farmstead. Material such as oil heating container is visible.*



*Figure 11 – Far Broadway Farmhouse.*



*Figure 12 – Threshing Barn converted to Cowhouse at Far Broadway Farm site.*



*Figure 13 – There has been the erection of further modern agricultural buildings within the setting of Far Broadway Farm which has already impacted the setting of the heritage assets found here.*



*Figure 14 – Further modern agricultural buildings within the Far Broadway Farm site.*



Figure 15 – Overview of Far Broadway Farmstead.





*Figure 16 – Heath Farmhouse as viewed from its main approach. The barns which form Heath Farm are visible on the right.*



*Figure 17 – The overall Heath Farmstead site. The historic layout is retained, despite the site having been converted to residential.*



*Figure 18 – Further evidence of the Heath Farm’s conversion, including the replacement of windows.*



*Figure 19 – Former Methodist Chapel on the edge of Ford Heath. The asset is considered to be sufficiently distant from the PDA, and with intervening foliage and development, to ensure the proposal will not harm the setting of the chapel.*



*Figure 20 – Near Broadway Farm site. Whilst access to the inner courtyard was restricted, it was still possible to assess the setting of the heritage assets located here.*



*Figure 21 – Beechfield Farm. The distance between this heritage asset and the PDA, as well as the intervening screening, is considered to be sufficient enough to consider that the proposal will not harm the setting of the heritage asset.*



*Figure 22 – Tithe House. This listed building lies outside the PDA study area, but has been included for completeness.*



*Figure 23 – Cardeston Pound, included for completeness.*





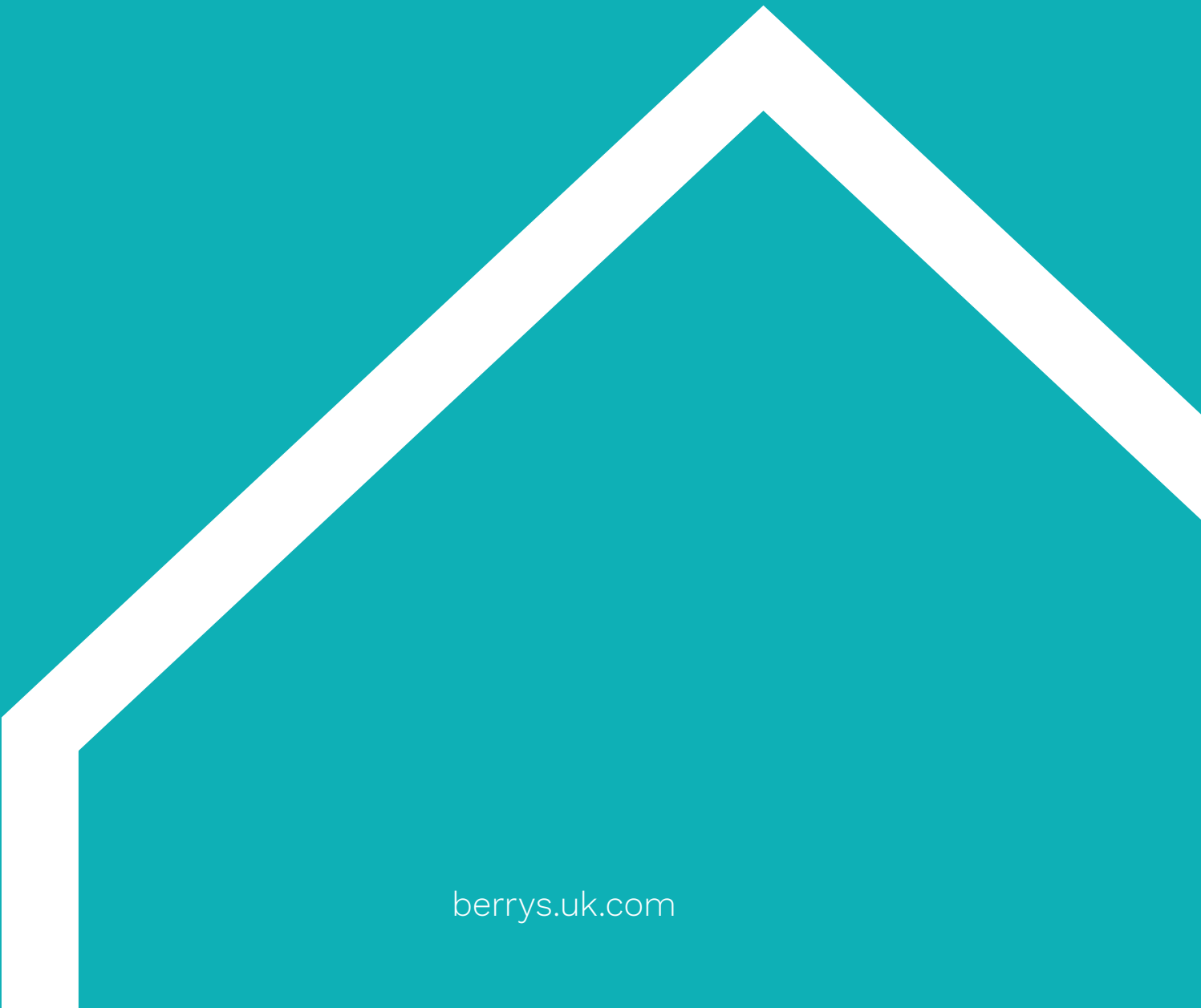
*Figure 24 – Church Farm, included for completeness.*



*Figure 25 – Cardeston Church holds a position of prominence within the landscape and its tower is visible from a distance.*



*Figure 26 – The view from Cardeston Church towards the PDA.*



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