
RETIREMENT VILLAGES

DESIGN AND ACCESS STATEMENT
KWL ARCHITECTS LTD
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This report should be read in conjunction with the following consultants reports:

1. Planning Statement – Tetlow King
2. Heritage Impact Assessment – RPS Consulting
3. A Foul and Surface Water Assessment – MBA Consulting
4. Arboricultural Tree Survey and Impact Assessment – Evolve Tree Consultancy
5. Preliminary Ecological Appraisal – SLR Consulting
6. Ecology Report and Surveys – Ecological Surveys Ltd



Figure 1 - Roseland Parc – view of a fine example of the communal gardens



Figure 2 - Penlee House – View of the South Principal Elevation

This Design and Access Statement has been prepared on behalf of Retirement Villages Developments Ltd in support of applications for full planning permission and listed building consent to develop Penlee House from an 18-bed care home into 9 extra care apartments within Roseland Parc Retirement Village, Fore Street, Tregony, Cornwall.

The use of Penlee House as a care home has become untenable given modern requirements and the limited scope to continue to adapt the building without compromising its heritage value.

The client brief is therefore to extend and reconfigure to allow for use as self-contained extra care apartments, which (as will be demonstrated) can be achieved whilst better revealing and respecting the key features of the building and without causing significant harm so that overall, the effect will be positive of neutral with any minor heritage harm outweighed by heritage benefits. Additional non-heritage benefits would be secured by the provision of modern extra care accommodation.

Retirement Villages Developments Ltd are part of the Retirement Villages Group who operate 16 villages across the country providing retirement living options, with support and care for older people but also care homes for those with higher dependency levels. They continually look to improve their Care Villages and how they operate not just for today but the future too. Retirement Villages Group home page highlight the focus on future developments:-

Rethink Ageing – Choice, Wellbeing, Support – Connected Communities – Unique people, Unique places – Sustainable futures –

“We make no assumptions as to how people want to live. But support our communities to retain their individuality, diversity and spirit.

We believe in communities that are open and integrated with society. Creating more opportunities for people to stay active, engaged and connected to their wider community”.



Roseland Parc Retirement Village is a “rural settlement” within the area of Tregony, Cornwall.

The existing Roseland Parc Retirement Village (as set out in Roseland Parc Existing Site Accommodation Plan) includes:

- Penlee House – Care Home – Unoccupied for over 5 years
- A mix of Extra Care Apartments and Dwellings
- Communal Facilities
- Roseland Court Care Home and suites

The change from a care home to extra care apartments of Penlee House, has been carefully considered in the context of the site as a care village and the importance of Penlee House. There is a continuing need for extra care living requirements in rural areas, as highlighted below:-

Baroness Andrews - Minister for Planning Policy and Social Exclusion, said:-

“As greater age brings greater complications, the challenge is to make the choices better not worse.....from the cheerfully independent and healthy people enjoying retirement; to those who need a little extra help to live safely and independently; to those who, progressively, need warden assisted sheltered accommodation or intermediate accommodation; or full- time residential care. This choice must be there – not dictated by age bands or assumptions about what people want or need – but determined by what is right for the people involved, and respecting their rights to make a decision that feels right for them”.

In the spring of 2018, “The All-Party Parliamentary Group on Housing and Care for Older People”, published the details of its findings into “Rural Housing for an Ageing Population: Preserving Independence”. The findings warn that the increasing numbers of older people in rural areas will face a huge challenge to their independence and wellbeing as their homes become unsuitable for their needs. By 2039, nearly half of rural householders will be aged over 65 years.

Retirement Villages Ltd continue to create more opportunities supporting residents and enabling them to live independently. Penlee House can offer a solution of extra care living and the increasing demand for this accommodation in rural areas.



Figure 3 - Roseland Parc Existing Site Accommodation Plan

2.1 SITE - LOCATION



Figure 4 - Map Extract of Immediate Site and Context



Figure 5 - Photo: from the access road to Penlee House within Roseland Parc

Roseland Parc – Penlee House is a grade II listed building, set within the wider site of Roseland Parc, it is heavily screened with mature trees and set back off Fore Street, Tregony, Cornwall. The site is located within a small part of Tregony Conservation Area.

Penlee House has its own separate access road within the site of Roseland Parc. The existing site location plan below highlights in red the access to Penlee House off Fore Street and the immediate context associated with Penlee House.

“An oasis located in the pretty hamlet of Tregony. Set in 7 acres of landscaped grounds with a palm garden and views of the Roseland peninsula, it's a beautiful place to wake up to!” – Reference from Roseland Parc website home page.



Figure 6 - Existing Site Location Plan – Penlee House and immediate grounds highlighted in red



Figure 7 - Winter Sun Path

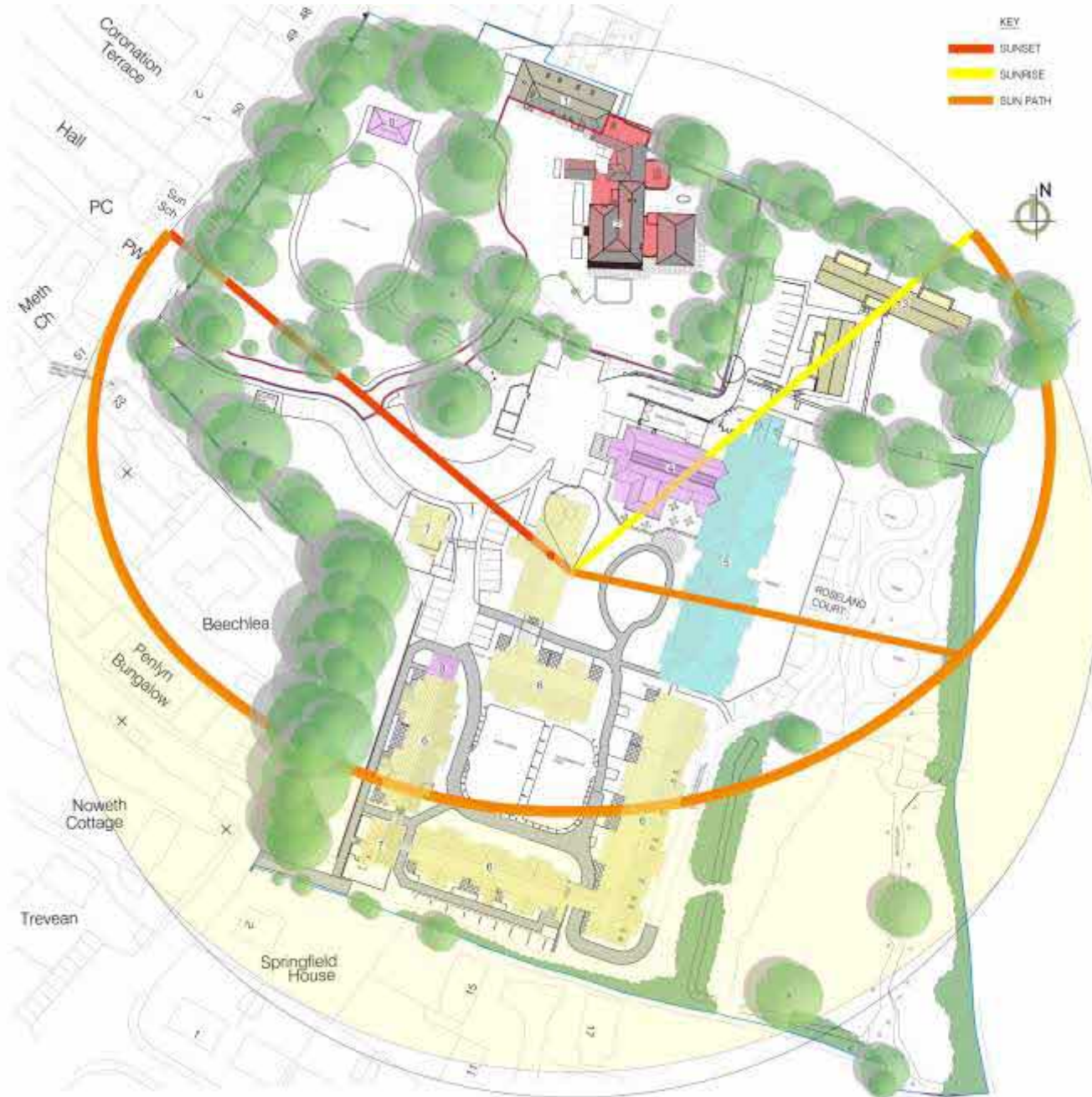


Figure 8 - Summer Sun Path

2.3 SITE ANALYSIS – BUILT ENVIRONMENT



Figure 11 – Extensions to Penlee House



Figure 12 – Penlee House Extensions to Coach House Apartments



Figure 13 – Extensions to Penlee House



Figure 14 – Extensions to rear of Penlee House



Figure 15 – Extension to Rear of Penlee House



Figure 16 – South Principal Elevation – Extension to Penlee House



Figure 17 – Existing window proportion and verandah details



Figure 18 – View from Penlee House overlooking Roseland Parc

- Massing must respond in rhythm and scale to the existing and former styles.
- Built form should be regular in its design
- Window sizes and proportions should be in context to the surrounding buildings
- Main Entrances to communal facilities must be clear and visible
- Roofscapes should contribute to the existing character
- Subsistence of new extensions

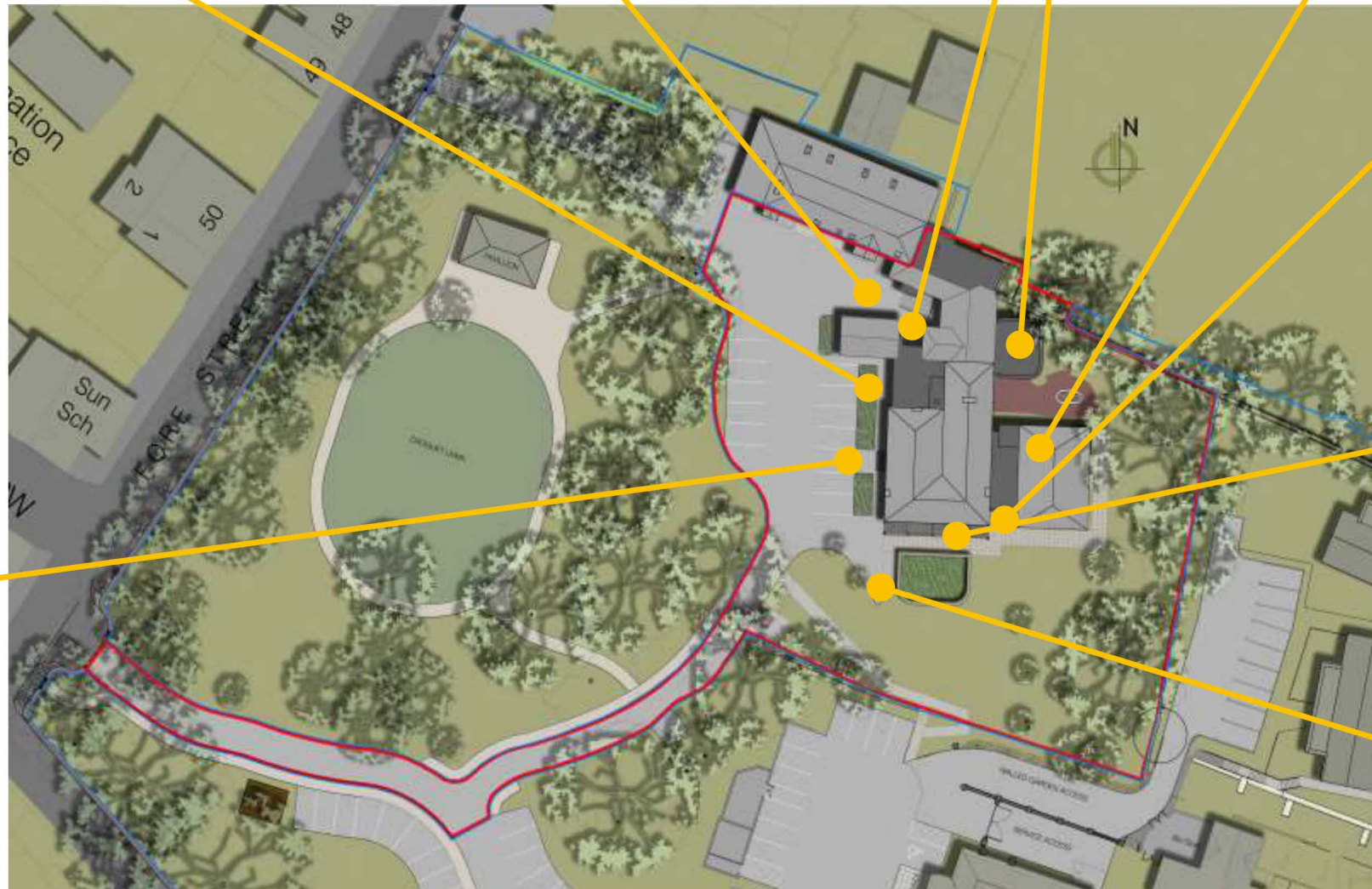


Figure 9 - Penlee House – Existing Site Plan – Highlighting the Photographs of Built Environment



Figure 10 – Principal West Elevation

2.4 SITE ANALYSIS – INTERNAL FEATURES – PENLEE HOUSE



Figure 19 - Existing Ground Floor Plan

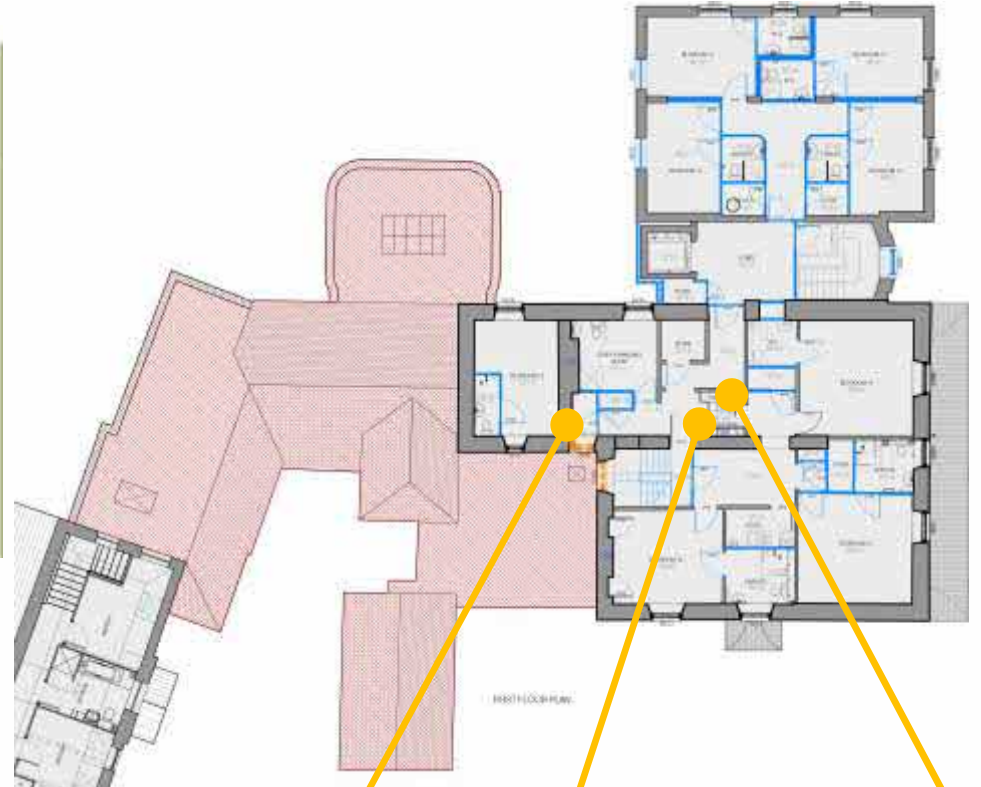


Figure 20 - Existing First Floor Plan



Figure 21 - Feature Fireplace



Figure 22 - Original feature in principal hallway



Figure 23 - Original features in Principal Hallway



Figure 24 - Principal Feature entrance



Figure 25 - Original features in Principal Room



Figure 26 - Original door reveal features



Figure 27 - Original stairs protected



Figure 28 - Original feature cupboard

2.5 SITE ANALYSIS – DESIGN CONCEPT



Figure 29 – Concept Plan



3.0 DESIGN - OPPORTUNITIES AND CONSTRAINTS

CONSTRAINTS:

Following analysis off 2.1 through to 2.5, location, sun path, built environment, internal features within Penlee House . There are a number of constraints that will affect the layout of the proposed extensions and reconfiguration of Penlee House floor plans. These can be divided into primary and secondary design factors:

Primary issues:

- Heritage Assessment
- New development having due regard to heritage assets
- The desirability of preserving or enhancing listed buildings and their settings
- Penlee House has not be used in nearly 5 years
- Proximity to the Coach House Extra Care Apartments
- Proximity to the mature trees
- Proximity to the garden walls
- Viability of modern 2 storey extension
- Enhancing the Listed Building

Secondary Issues:

- Abutments to the existing grade II listed Penlee House and Coach House
- The viability of reconfiguring the existing single storey buildings

OPPORTUNITIES:

- Enhancing the Principal West Elevation of Penlee House
- Opening up views from Penlee House and the Coach House offering an improved visual connection to the local context and wider Roseland Parc
- Subservience of any new extensions and its relationship with the built form of Penlee House
- Establishing the Primary Entrance and any Individual
- New proposals to be subservient in roofscape
- Provide new external access to existing plant room
- Enhancing the existing hard landscape (permeable paving) areas and introducing new soft landscape
- Provide new electrical charging points
- Open up original Principal Rooms as part of the reconfiguration proposals to apartments
- Enhance original features

The Design Concept Plan shown in Figure 29 of 2.5, takes into consideration when looking at the constraints and determining opportunities for suitable areas for any proposed extensions, together with the reconfigured floor plan proposals.

Retirement Villages Developments Ltd are hoping to achieve and sustain a long-term future for Penlee House, together with the heritage significance and the level of impacts. The proposed design strategy for the extensions and reconfiguration of Penlee House appraises this in the context of the Built Heritage Statement prepared by RPS Consulting as the parameters to work with along with the previous pre-application advice from the Conservation Officer on behalf of Cornwall Council, set out in 3.1 – Design Consultations.

The focus of the design is broken down into extension and reconfiguring layouts highlighted in 2.5 – Design Concept Plan. This provides clarity on the benefit of the building's re-design to improve the heritage assets and enhance the setting of the listed building. The improvement of the listed building within the wider context of the site will integrate further, the wider context of the landscape and setting of Roseland Parc, significantly improving the evolution of Penlee House and its character.

It is assumed that this report will be read alongside the Built Heritage Statement and therefore background Heritage information such as Listing Descriptions, historic mapping and historical development etc, are referred to from the Built Heritage Statement document but not reproduced in this report.

3.1 DESIGN – CONSULTATION



The initial development ideas of Penlee House sought to provide focal points for extension and reconfiguration of the existing Layouts. With focus on areas where significant changes had previously taken place.

During the pre-application stages with the Local Authority Conservation Officer and subsequent considerations, emerged the primary focus for the design development. The initial floor plans shown in figure 30 were the proposals put forward to the Conservation Officer within the Local Authority – they included a larger two storey extension attached to Penlee House existing modern two storey link proposing a new two storey extension directly attached to Penlee, in part to the West Elevation and Coach House Apartments facing South.

Following feedback, we submitted a second set of floor plans to reflect the Conservation Officers comments to recommend we decrease the two-storey element on the west elevation to a single storey element, as shown in Figure 33.

Further liaison with the Conservation Officer after the second submission of the floor plan proposal submission included: on-site discussions, teams meeting during Covid Lockdown, together with written feedback. This established the parameters and expectations to best reflect the communication with the Authority in order to submit final proposals that included; creating a single storey layout directly attached to the coach house extra care apartments; changing the roof types to single storey and two storey proposed extensions; new material choices that reflected and enhanced Penlee House and existing modern extension to remain.

The Conservation Officer also wanted to see a decreased footprint in the two-storey extension to the North elevation, to avoid large canopy trees in the vicinity and encouraged us to provide setbacks in footprint and elevation, ensuring the new extensions were subservient from the original heritage asset, not just in footprint but in roofscape too. The Local Authority Conservation Officer was very keen to remove the care home modern partitions highlighted in blue in figures 34 & 35 of 3.2 – Design Evolution, within the internal layouts to enhance the principal rooms within their original setting and character. It was also highlighted the original stairs that was blocked up remain as it was to protect the original feature no longer in use shown in Figure 27 – 2.4 – Internal features Penlee House .

The considerations and ideas were explored further and eventually drew us to the scheme proposals that form the basis of this Planning Application.



Figure 30 – Initial Proposal of Ground and First Floor Plans



Figure 31 – East Elevation Proposals following consultation with Conservation Officer



Figure 32 – West Elevation Proposals following consultation with Conservation Officer



Figure 33 – Second Proposal of Ground and First Floor Plans

3.2 DESIGN – DESIGN EVOLUTION



It was our primary focus how best to improve the character of Penlee House and establishing its identity into extra care apartments, considering sustainability and inclusive design whilst enhancing its distinctive natural and historic character.

The existing floor plans and elevations illustrated in figures 34 – 38 together with the demolition and feature reference key, highlight the modern extensions in a blue hatch, the orange hatch highlights the original fabric that requires new openings for windows and a door opening minimising impact on the original fabric of Penlee House. The green hatch highlights proposed demolitions from later additions to the original fabric of Penlee House, all described in the Heritage statement, with particular attention given to their importance and viability of use to reconfigure and develop Penlee House into Extra Care Living Apartments.

The internal layouts of the early developments as a care home have impacted on the principal rooms within the Listed Building and a lot of heritage details and features have been removed or partitions added which have greatly impacted on the heritage asset before Retirement Villages took over the site. They have made best use with the building as a care home over a number of years but unfortunately, are no longer able to use Penlee House as a care home due to modern living conditions and regulations that require the utmost in care provision standards to continue operating as a care home.

As shown in the Arboricultural report, there is a tree that is to remain very close to Penlee House on its West Elevation. This is highlighted on the plans and in figure 37, this tree is shown in elevation (semi opaque) very close to the original entrance of Penlee House. At ground floor to basement level there is an existing lightwell. It is proposed to extend the lightwell to provide external basement access with minimal impacts to original fabric and form, this also improves safe access and egress to the existing plant room. Refer to 3.5 – Design Alteration and Enhancements for details.



Figure 34 – Existing Ground Floor Plan – Proposed Demolitions

DEMOLITION AND FEATURE REFERENCE KEY

- Existing external wall construction to remain
- Modern fabric to be demolished
- Existing original fabric and features to be demolished or blocked up
- Post original fabric to be demolished
- Existing catwalk / staircase / substructure / roof structure to be demolished
- Ground floor room / area reference
- First floor room / area reference
- Ground floor internal door reference
- First floor internal door reference
- Original feature / fireplace reference on ground and first floor
- Ground floor external window reference
- First floor external window reference
- Ground floor external door reference
- Existing tree to remain – refer to arboricultural report

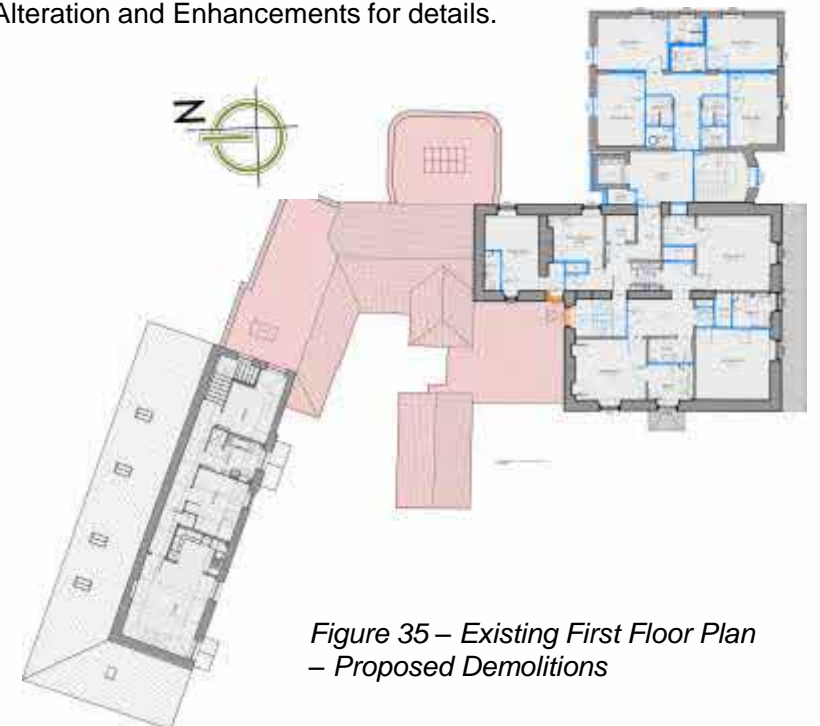


Figure 35 – Existing First Floor Plan – Proposed Demolitions



Figure 36 – Existing East Elevation – Proposed Demolitions



Figure 37 – Existing West Elevation – Proposed Demolitions



Figure 38 – Existing North Elevation – Proposed Demolitions



3.3 DESIGN – PROPOSED SITE LAYOUT



Figure 39 – Proposed Site Plan – Immediate Context

3.4 DESIGN – PROPOSALS

The design approach to Penlee House looks closely at the Design Consultations with the Local Authority, Site Analysis – Sun Path, Built Environment, Internal Feature and Design Concept together with the Design Constraints / Opportunities have been considered and included in the proposed site plan shown in Figure 39 - 3.3 Design – Proposed Site Layout. The new proposals are now shown in a formal arrangement for the new extensions, set back to provide subservience to Penlee House. Highlighted on the proposed site plan in light grey is Penlee House existing footprint and in dark grey the proposed extensions. This has provided views to be opened up for the principal elevations to the South and West of Penlee House and the Coach House highlighted in beige.

The proposed layouts highlighted in blue are 2-bedroom apartments, in green 1-bedroom apartments and in yellow the existing communal areas that include circulation and existing basement plant services.

The majority of modern fabric additions internally at both ground and first floor levels within Penlee House are proposed to be removed. Enabling clarity to the original building form creating good circulation spaces throughout for extra care living. As shown in figures 40 and 41, the proposed floor plans, the external fabric and internal layouts of the principal rooms of Penlee House provide a natural separation to create the apartments with very little additions and interventions to satisfy Parts B / E fire and sound regulations.

There is an opportunity to improve the sound, fire and insulation standards within the new layouts without any detrimental impact to original fabric and details, the principles and details are set out in 3.5 - alternations and enhancements to fabric.

The extensions and reconfiguration proposals shown in the floor plans figures 40 & 41, adopts a low density with minimum impacts and more emphasis on enhancements of the listed building. Envisaged is more open plan living with the scale and splendour of the principal rooms re-engaged to their original form and function.

The proposals key highlights important features to be retained, modified for protection, and providing enhancement to support modern day living with minimal impacts to the fabric.



Figure 40 – Proposed Ground Floor And Existing Basement Plans



Figure 41 – Proposed Ground Floor Plan

3.4 DESIGN – PROPOSALS CONTINUED

Establishing a more formal footprint and subservience to the new extensions attached to Penlee House as shown in elevation view, figures 42 and 43 - Proposed West and East Elevations.

The exterior of Penlee House will have a very light touch other than some new window openings at the rear North Elevation (figure at ground and first floor levels, along with a new door opening extended from a window opening at Basement Level to include an extended lightwell and a new door opening, as shown in more detail.

Following the principles of subservience in floor plan the same is proposed for the elevations at roof level as shown in figures 42 – 45. The proportions and details of the windows and doors will reflect the existing traditional sliding sash box profile windows and all new doors will be in timber with glazing apertures.

The external materials on the new extensions will be a new stone finish on the two storey extension shown in figure 42 set back and attached to Penlee House. The new stone heads and cills will reflect the detailing on Penlee House.

Proposed external finishes on the two-storey extension at the rear and the single storey extension on the west elevation will be smooth render with a cream finish to match the existing two-storey extension. Below are the new and existing elevation material schedules in detail: -

PROPOSED NEW ELEVATION MATERIAL SCHEDULE

- New Roof - Natural Slate
- Smooth Render Finish - Heritage Cream
- Natural Stone - Type TBC
- Natural Stone Cills and Heads
-
- New RWGS - UPVc - Colours - Black Traditional Profile
- New Traditional Style Double Glazed Sliding Sash Timber Windows - Heritage White
- New Timber Doors - Traditional Style Double Glazed - Heritage White - New Door to Existing Plant Room - Timber loured - Painted White - Glazed Juliette Balcony to ED106
- New Fascias and Soffits - Timber - Heritage White
- New Flat Roof - Single Ply - Dark Grey
- New Lightwell - Natural Stone Coping to match Head and cills - Natural Stone to elevation below ground level - Metal railings Heritage Colour TBC
- Refer to Ecology Report for Bat Requirements and suitable Locations - Not indicated on the drawings

EXISTING ELEVATION MATERIAL SCHEDULE

- Natural Slate Roof
- Slate Rubble - Painted Cream
- Granite Quoins - Painted Cream
- Granite Voussoirs - Painted Cream
- Brick Chimneys
- Natural Stone
- Brick Heads
- Natural Stone Cills and Heads
- Smooth Render Finish - Painted Cream
- Cast Iron Porch and Verandah - Painted White - Corrugated Roof
- Traditional RWGS - Cast Iron - Painted Black
- Modern RWGS - UPVc - Colours - Black and White
- Penlee House - Traditional Sliding Sash Timber Windows - Painted White
- Traditional Windows - Timber - Painted White
- Penlee House - Traditional Entrance Door - Painted Green
- Doors - Timber - Painted White
- Fascias and soffits - Timber - Painted White
- Flat Roofs - Single Ply - Dark Grey



Figure 42 – Proposed West Elevation



Figure 43 – Proposed East Elevation



Figure 44 – Proposed North Elevation



Figure 45 – Proposed South Elevation

3.5 DESIGN – ALTERATIONS AND ENHANCEMENTS TO FABRIC

Including Retirement Villages Ltd ethos to continually sustain and provide fit for purpose extra care accommodation that further enhances Penlee House and secures a long-term future. The removal of the secondary stairwell within the current layout due to its damage has simplified the access to each apartment. This also includes the permanent blocking up to protect the original stairwells at first floor level and basement level.

The reconfiguration allows new interventions away from principal rooms as is reasonable. New bathrooms which tend to truncate spaces and require potentially invasive service routes, have been located away from the core and set within spaces that have already been heavily altered.

It is important to keep in place original features / details. These support the full planning application and listed building consent to fully illustrate and demonstrate the minimal impacts on floors, walls, existing windows and doors to remain blocked up, establishing the main principles of enhancing and retaining the character of Penlee House. The proposed treatment details highlighted in figures 46 and 47 offer solutions that are sensitive in nature to the fabric of the listed building and upgrades the fabric discretely, greatly improving the building to current Regulations from a care home into extra care apartments.

There is a window schedule with a repair, modify and renew method statement submitted as part of this planning application. It is important to retain the original form, function and details externally and internally to all the existing sliding sash windows, as shown in figure 46. This sets out the importance and principles respecting and enhancing the original character of Penlee House, but also retaining its character.

There will also be more clarity within the new proposals to safely access and exit the new apartments at first floor level. The removal of the secondary stairwell within the current layout due to its damage has simplified the access to each apartment. This also includes the permanent blocking up to protect the original stairwells at first floor level and basement level.

Typical Acoustic Floor and Wall Detail –

It is our intention to set out principles that enhance the existing fabric with minimal impacts. The new floor finish and new wall details include the existing floorboards to remain and existing skirting if original to be cut to provide new acoustic floor finish. Existing floorboards to be temporary removed to provide the new service routes or structural upgrades to the floor if necessary. Figure 47 illustrates the principal of providing acoustic and fire rating from above – this keeps impacts to a minimum on the original fabric.



Figure 46 – Existing Window Plan - Retaining character form and details

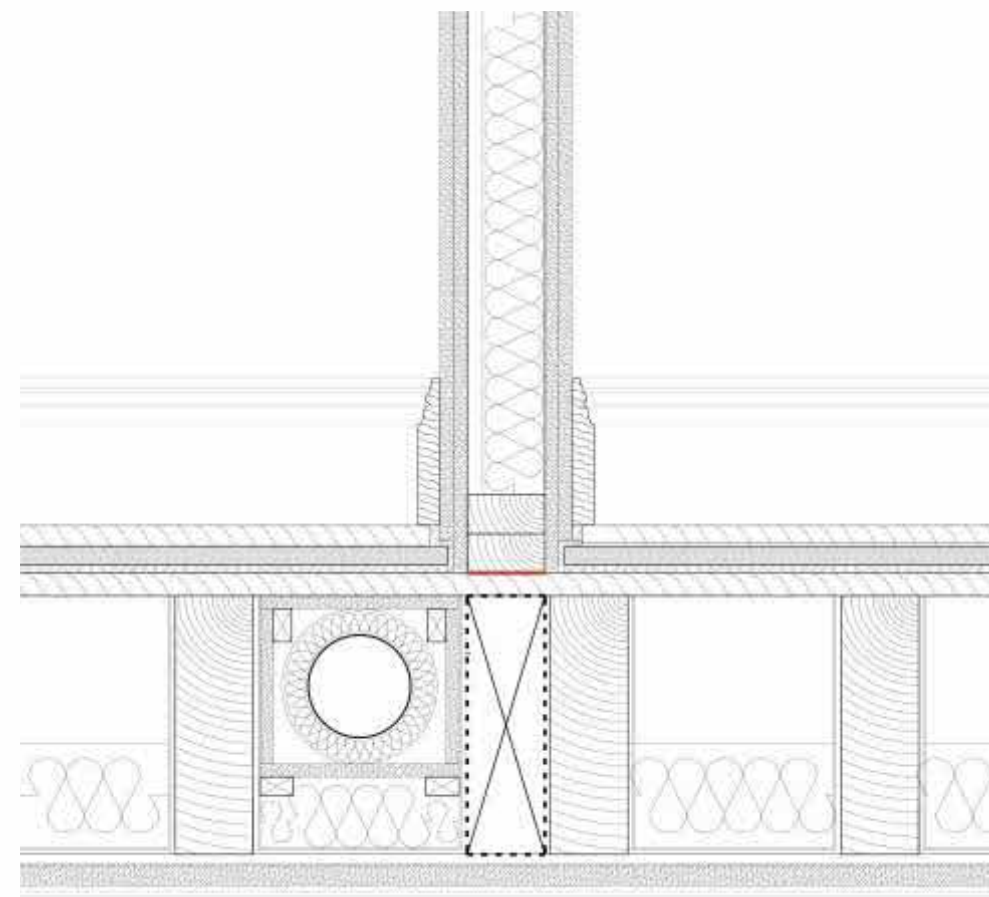


Figure 47 – Proposed acoustic floor and wall interventions with existing internal fabric

3.5 DESIGN – ALTERATIONS AND ENHANCEMENTS TO FABRIC

Applying the same principles as described and illustrated for internal fabric alterations. The same criteria is proposed to provide external safe access and egress to the existing basement plant room.

As illustrated in figures 48 - 52, it is important to keep minimal impact to existing external fabric. The details illustrate an extended lightwell from external ground floor level to just below basement level, providing a new door access using the existing opening of the window at basement level. This keeps any fabric intervention to a minimum, also avoiding any further interventions internally to provide safe access and egress to and from the basement within the footprint of Penlee House. There is an opportunity to retain and protect the original stairs leading to the basement.



Figure 48 – South Elevation View



Figure 49 – South Elevation View



Figure 52 – Photo - South Elevation View of existing lightwell access

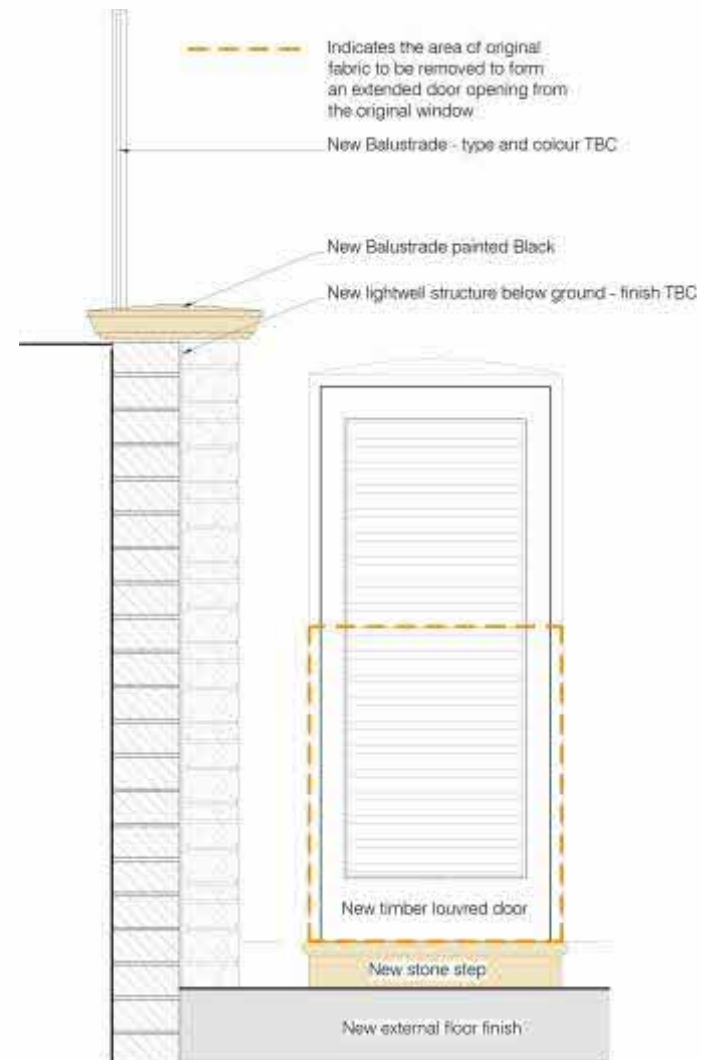


Figure 50 – Sketch Detail of lightwell and new door proposals



Figure 51 – Photo of basement window



To support this planning application, Ecology and Survey Reports have been submitted:-

Below are examples of provisions for bats before construction and proposals for enhancement to Ecology recommended in the reports:



Safe Capture Bat Provision – Before Construction



New Bat Provision



Bat Slate – Existing Penlee House

4.0 LANDSCAPE

The client would like to propose the improvement and enhancement of the landscaping immediately servicing Penlee House and Coach House, to reflect the green infrastructure that is currently adopted at Roseland Parc. This also provides residents the same standard and varying spaces to cater for their needs and hobbies.

The landscape strategy forms an integral part of the remodelling and integration with the listed building improving its setting and new proposed use. This allows the new development and the aim of the strategy to secure a landscape that works for the residents whilst respecting and protecting natural features. It shows an approach to ensuring that the existing environmental assets of the site are enhanced and new interventions are in keeping with the character, charm and significance of the immediate grounds and heritage assets.

There are plans to install electric vehicle charging to the proposed new car park layout that.



Figure 52 – Proposed Site Plan with New Landscape Schedule

5.0 SUSTAINABLE STATEMENT



It is expected that the proposed extensions will exceed current Building Regulation standards by improving the thermal efficiency of the walls, floors, windows / Doors and roof, reducing air permeability. Within the listed buildings there will be modifications to windows / doors / the internal fabric to external walls, floors and new party walls that is subject to listed building consent, conditions and conformity to meet building regulation requirements for existing listed buildings.

Further enhancements may be made in the following areas; the use of more energy efficient lighting, reducing the amount of water that runs off the site into storm drains, minimise the water consumption by providing high efficiency machinery. Enhancing the sound and thermal insulation use in the home and enhancing the security of the home to meet 'Secure By Design' criteria where appropriate.

Site Waste will be minimised; with a Site Waste Management Plan in progress during construction. High standards of site management throughout the construction phase of the project will ensure a clean, safe and tidy site, which will minimise damage, loss, the waste of materials and labour.

Local materials are to be sourced wherever possible.

The proposals will have a minimal impact on the surrounding landscape and wherever there is no impact to existing trees and vegetation are to be retained and enhanced.

The location of the proposed extensions has been designated unsuitable to provide PV panels, the position of them is North facing and overshadowed by boundary trees and the coach house, it is not feasible to provide these panels on the new extensions.

For all new dwellings, evidence will be required by the developer to demonstrate that all of the following criteria have been considered (proportionate to the scale of development):

How the proposal aims to protect and enhance the environment, both built and natural. Where this is not possible, how any harm will be mitigated.

This Listed Building Application and new extensions has been designed in full accordance to enhance the immediate setting, character and wider site requirements.

The proposal achieves a minimum of 110 litres per person per day including external water use.

We can confirm that the specification of all sanitary goods will be chosen to meet this requirement.

New development complies with Building for Life Standards or equivalent replacement national minimum standards, whichever are higher by ensuring it is accessible to all, flexible towards future adaptation in response to changing life needs, easily accessible to facilities and services; and takes into account, the need for on-site waste reduction and recycling.

Where appropriate, the proposals apply sound sustainable design, good environmental practices, sustainable building techniques and technology, including the use of materials that reduce the embodied carbon of construction and the use of re-used or recycled materials.

The materials chosen all reflect the approved criteria set out within the Approved Design Code and materials that have been used elsewhere on the wider development site. We also propose to utilise an enhanced building fabric approach that adopts significantly better U-Values than the base limits set out within approved document L (See item 5 below)

Energy consumption will be minimised and the amount of energy supplied from renewable resources will be maximised to meet the remaining requirement, including the use of energy efficient passive solar design principles where possible.

In addition to this we propose to utilise, as a minimum the following U-values:

Building Element:	Approved Doc L2A – Proposed u-values New Fabric in Existing	Approved Doc L2A – Proposed u-values Improvement in existing
External Walls	0.18	0.30
Floors	0.18	0.25
Roof	0.15	0.16
Windows / doors	1.4	
Party Wall	0.20	

The proposals include measures to adapt to climate change, such as the provision of enhancing the green infrastructure, linking up to sustainable urban drainage systems, suitable shading of pedestrian routes and open spaces and drought resistant planting/landscaping.

Some of these criteria relate to the existing site wide development, however the use of SuDS, the provision of shaded seating areas for residents and suitable planting / landscaping are all being provided and are detailed on the relevant consultant's information supplied with this application.



6.0 ACCESS STATEMENT

Approaches

The proposals to the existing listed building will provide new facilities to current standards. Design Criteria include Part M4(2): of the current Building Regulations and BS: 8300, plus guidance from the Centre for Accessible Environments.

The totality of the proposals will provide accessible homes for all residents, including those with disabilities.

Parking

The on site parking is relevant to the existing care home and will reflect the choices and electric car charging options. The disabled bays and positions have also been included for better ease of access.

Doors

Doors will have clear opening widths of at least 800mm, and more often 850mm. Where possible, all doors will have door handles at least 300mm from any side wall, so that wheelchair users can reach them. All door-opening pressures will not be greater than 30 Newtons.

External doors will have no thresholds higher than 15mm if higher than 5mm, their edges will be chamfered.

Windows

The window types are large sliding sashes. The existing will be modified to upgrade the mechanisms for ease of use.

Alarms

A high-tech nurse call system will be installed. These will include facilities for people who may have fallen to summon assistance.

Emergency alarms will be both audible and visible.

Dexterity

Door handles will be lever arm type where necessary so that they are easy to grip and operate.

Dexterity

Door handles will be lever arm type where necessary so that they are easy to grip and operate.

Emergency Evacuation Plans

The building managers will design procedures around known residents and will include recognising visitors with particular needs. Where possible, residents will be kept in safe locations and only moved if necessary.

Policies and Procedures

In addition to increasing the accessibility of the facilities, Retirement Villages regularly review their policies and procedures, including the Disability discrimination and Equality Act as they develop. This includes considering existing and new staff and continual monitoring of their service users.

7.0 CONCLUSION



In summary: the reconfiguration approach to Penlee House seeks in the first instance to minimise impact on the principal spaces of the building. Where we propose new interventions, these have been kept to a minimum or located in areas where modern alterations have already taken place. On balance these will ultimately secure greater benefit in the restoration and future preservation of the building, character and setting.

The proposed development will provide much needed improved services designed to meet the provision for extra care apartment needs with the focus of Retirement Villages Ltd ethos to further enhance Penlee House and offer more options for extra care living at Roseland Parc Retirement Village residents and staff using these services. It represents a carefully considered scheme that makes efficient use of the site. The proposals are designed to a very high standard.

The scheme incorporates appropriate provision for access to service the communal facilities to a higher standard.

It is intended the proposals will greatly improve the living standards of the residents and staff, designed to meet the demand for extra care living needs of people within this part of Cornwall. It represents a carefully considered scheme that makes efficient use of the site overall. The proposals are designed to a very high standard. The scheme also incorporates appropriate provision for access to, parking, landscaping and communal spaces.

The scale and design of the proposed extensions and the reconfiguration of the Grade II listed building and immediate environment are well considered and will enhance the character and appearance of the setting of Penlee House within the site. The proposal will not result in any material harm to the amenities of any neighbouring properties.

