

Client: MR. T. LAMBORN + MISS S. PRICE	
Scale: 1/500 + 1 @ A3	Date: OCT. 2022
Dwg. Title: SITE LOCATION PLANS	
Dwg. No.: 029/22/1	
PROPOSED CONVERSION AND EXTENSION OF STORE TO DWELLING AT ISLAND STARE, THE FRADGEN, NEWLYN TR18 5BE	
<p>GARY WILSON Architectural Technician 1 Aldreath Cottages, Aldreath Road, Madron, Penzance, Cornwall TR20 8ST Tel: 01736 333482</p>	
<p>0 5 10 15 20 M 1/500 @ A3</p>	



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LICENCE NUMBER: AL100034596

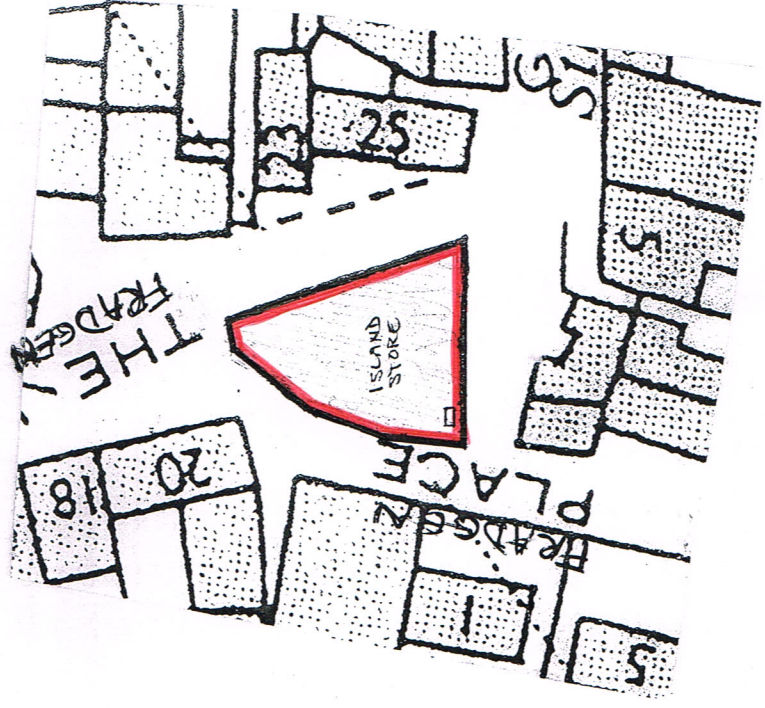
LOCATION PLAN 1/2500

FLOOD RISK ASSESSMENT:

THE PROPERTY STANDS WITHIN A FLOOD ZONE 1 WHICH IS THE LOWEST CATEGORY. THE PROPOSALS WILL NOT AFFECT THE FLOOD RISK AREA.

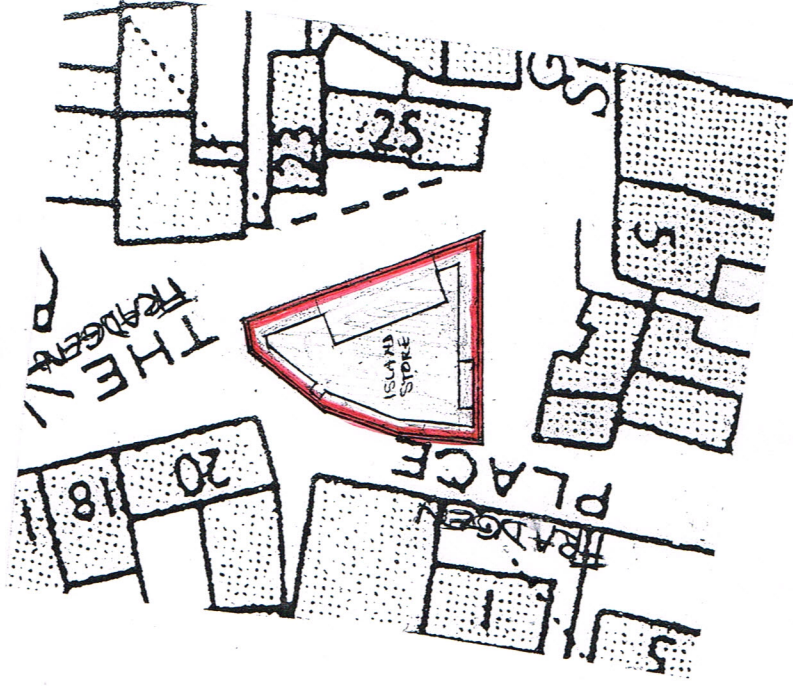
CRITICAL DRAINAGE REPORT:

DUE TO THE PROPOSALS AND GROUND FLOOR EXTENSIONS THERE WILL BE NO EFFECT ON THE CRITICAL DRAINAGE AREA.



EXISTING SITE

PLAN 1/500



PROPOSED SITE

PLAN 1/500