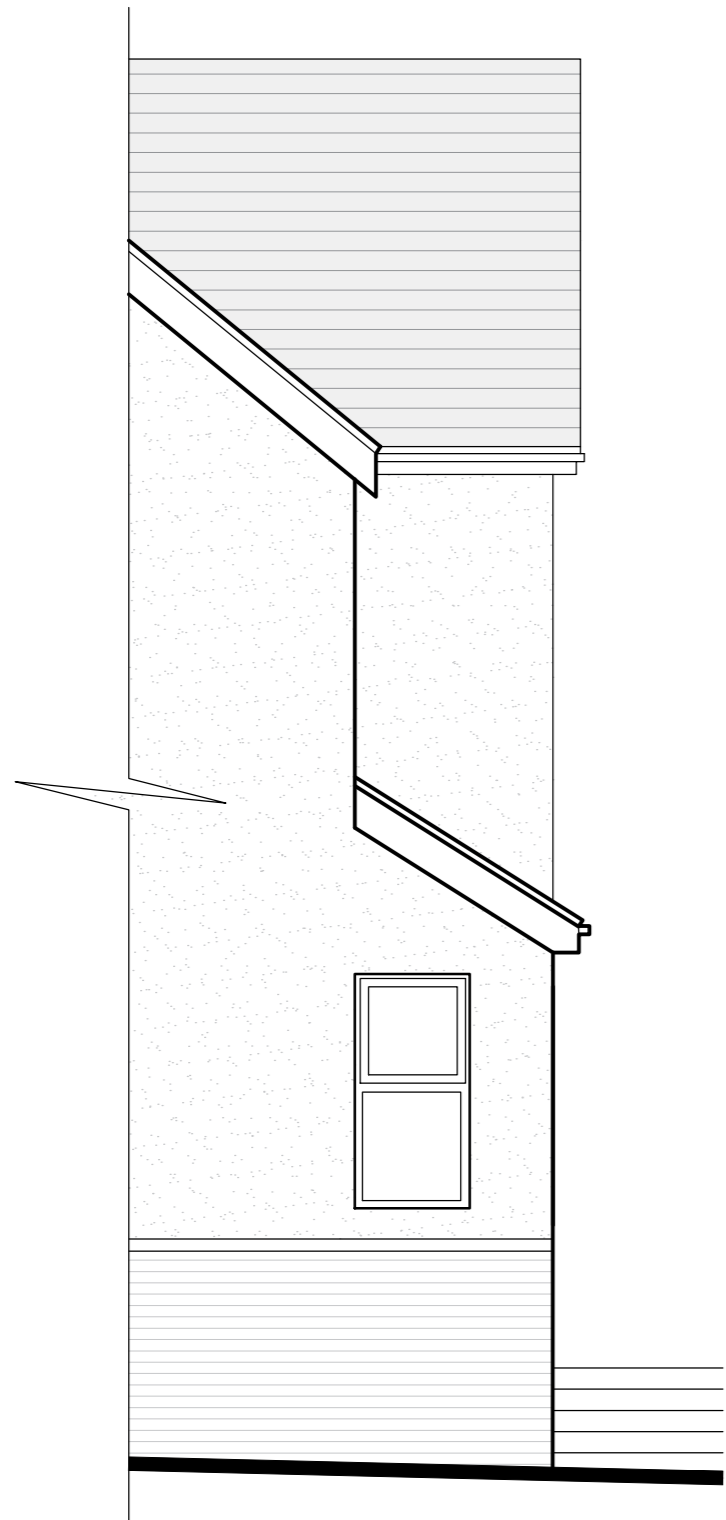


**EXISTING SIDE ELEVATION**



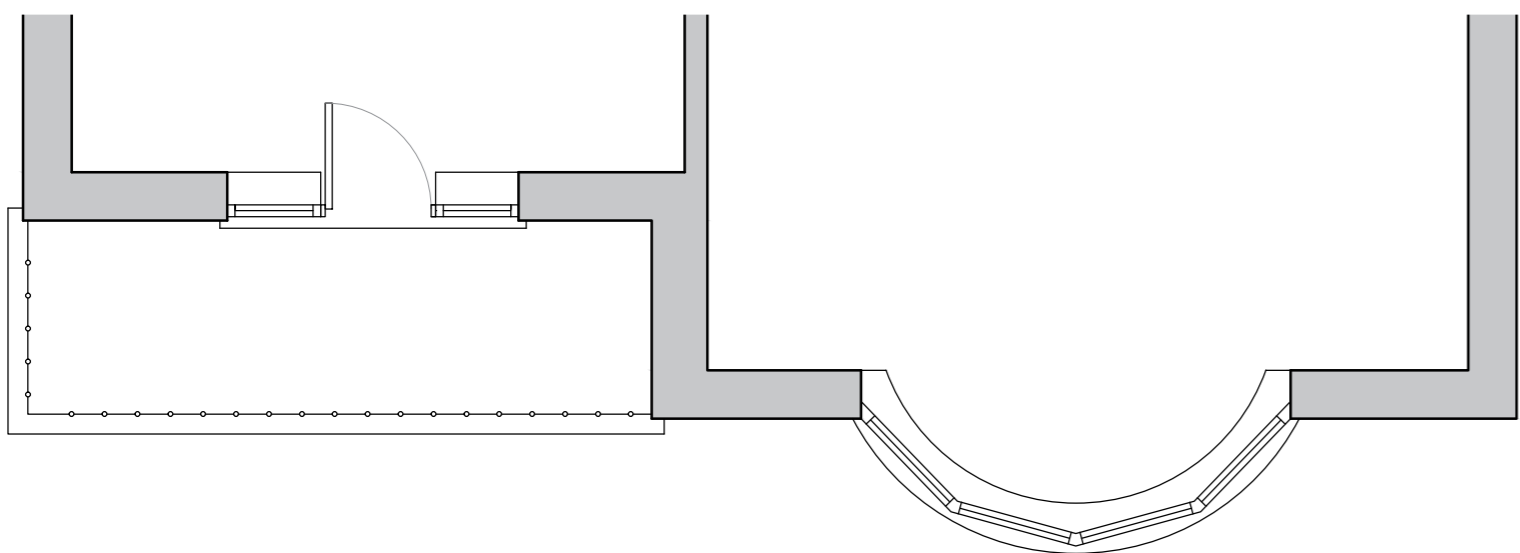
**EXISTING FRONT ELEVATION**



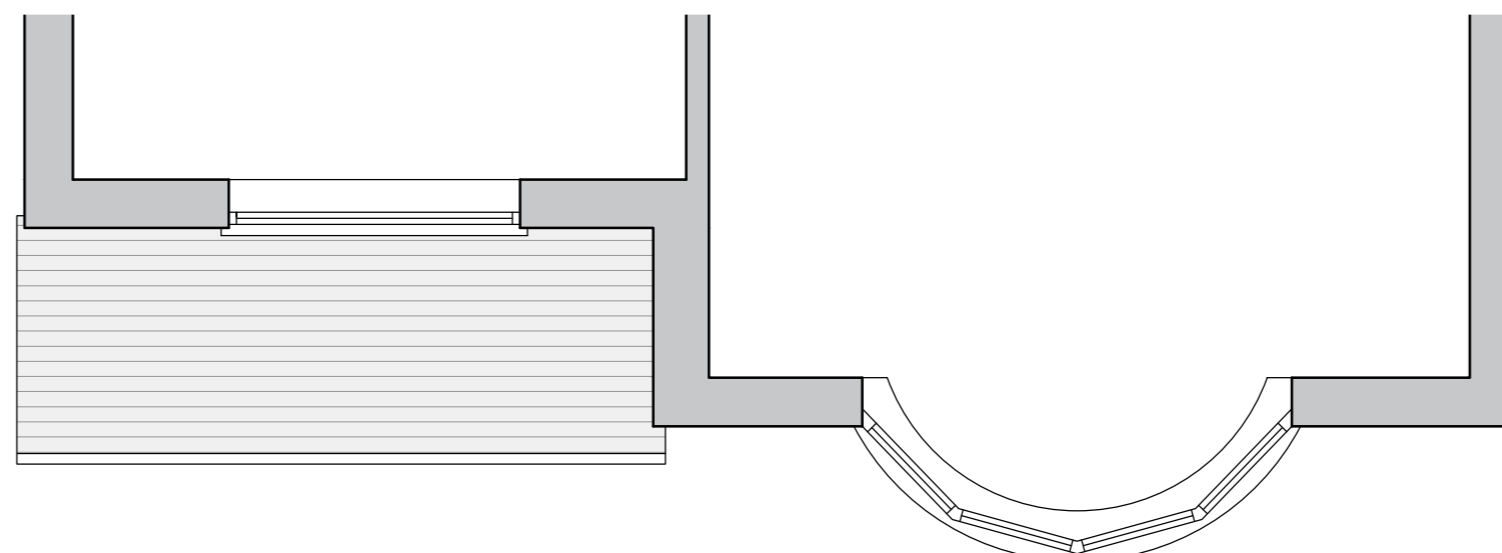
**PROPOSED SIDE ELEVATION**



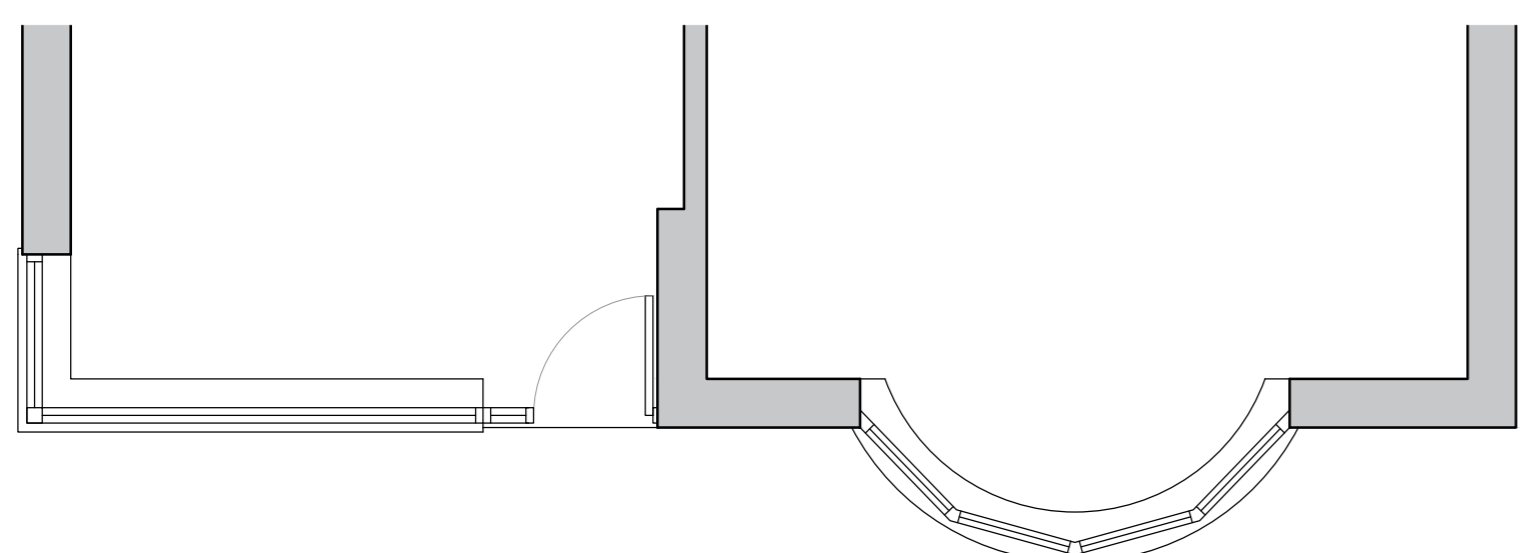
**PROPOSED FRONT ELEVATION**



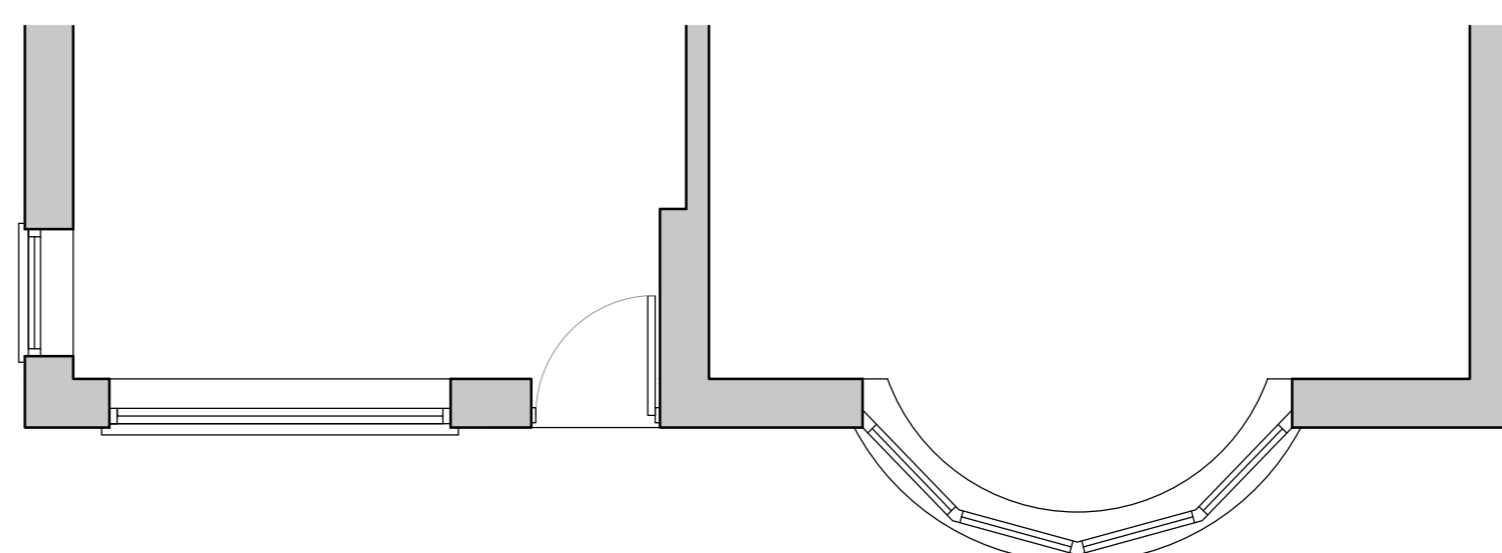
**EXISTING FIRST FLOOR PLAN**



**PROPOSED FIRST FLOOR PLAN**



**EXISTING GROUND FLOOR PLAN**



**PROPOSED GROUND FLOOR PLAN**

It is the responsibility of the Contractor to check all sizes, site dimensions and positions of drains and services prior to setting out or shop work.  
 Any discrepancies to be reported to the contract details below.  
 Liability shall not be taken for any defects in this drawing unless, prior to commencement, this drawing and all its dimensions have been checked and verified.  
 Proposed floor levels will be no lower than existing floor levels and flood protection measures in accordance with Environmental Agency guidelines will be incorporated into the build.  
 Existing structure including foundations, basements, walls and timbers carrying new and altered loads are to be exposed and checked for adequacy prior to commencement of works and as required by the Building Control Surveyor.

**PARTY WALL ACT**  
 The owner, should they need to do so under the requirements of The Party Wall Act 1996, has a duty to serve a Party Structure Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:

- Support of base;
- Insertion of CPC through wall;
- Raising a wall or cutting of projections;
- Demolition and rebuilding;
- Underpinning;
- Insertion of lead flashings;
- Excavations within 3m of an existing structure where the new foundations will go deeper than Existing foundations, or within 6m of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.

A Party Wall Agreement is to be in place prior to the start of work on site.

**CDM REGULATIONS**  
 The owner, should they need to do so, must abide by the Construction Design and Management Regulations 2015 which relate to any building works involving more than 500 person days OR, longer than 30 days duration and have 20 persons working simultaneously at any one time. It is the client's responsibility to appoint a Principal Designer and a Principal Contractor on all projects that require compliance with the CDM Regulations.

rev	date	note

**PLANS AND ELEVATIONS**

**PROJECT**  
**9 MADISON AVENUE**  
**BLACKPOOL**  
**FY2 9HE**

**CLIENT**  
**MRS E. WEBSTER**

SCALE	DATE	STATUS
1:50	27.10.23	PLANNING

SHEET SIZE	DRAWING NUMBER	REVISION
A1	23-40-1	-

**RT**  
 ARCHITECTURE | DESIGN

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