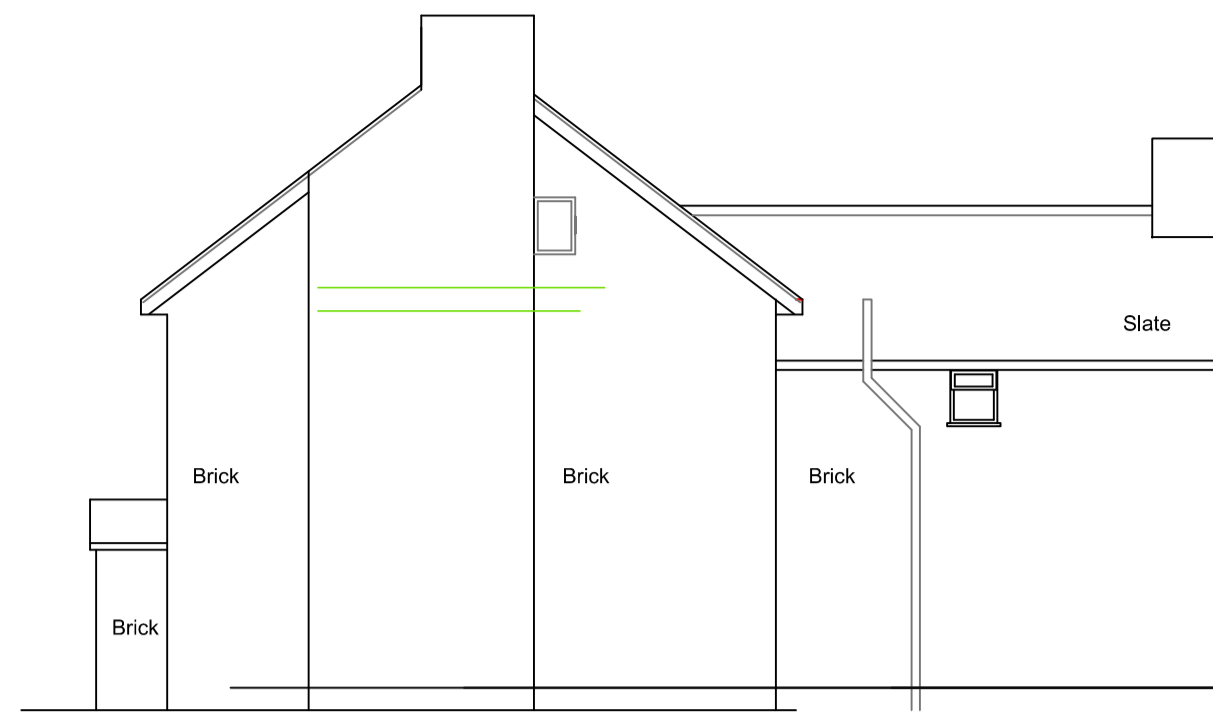
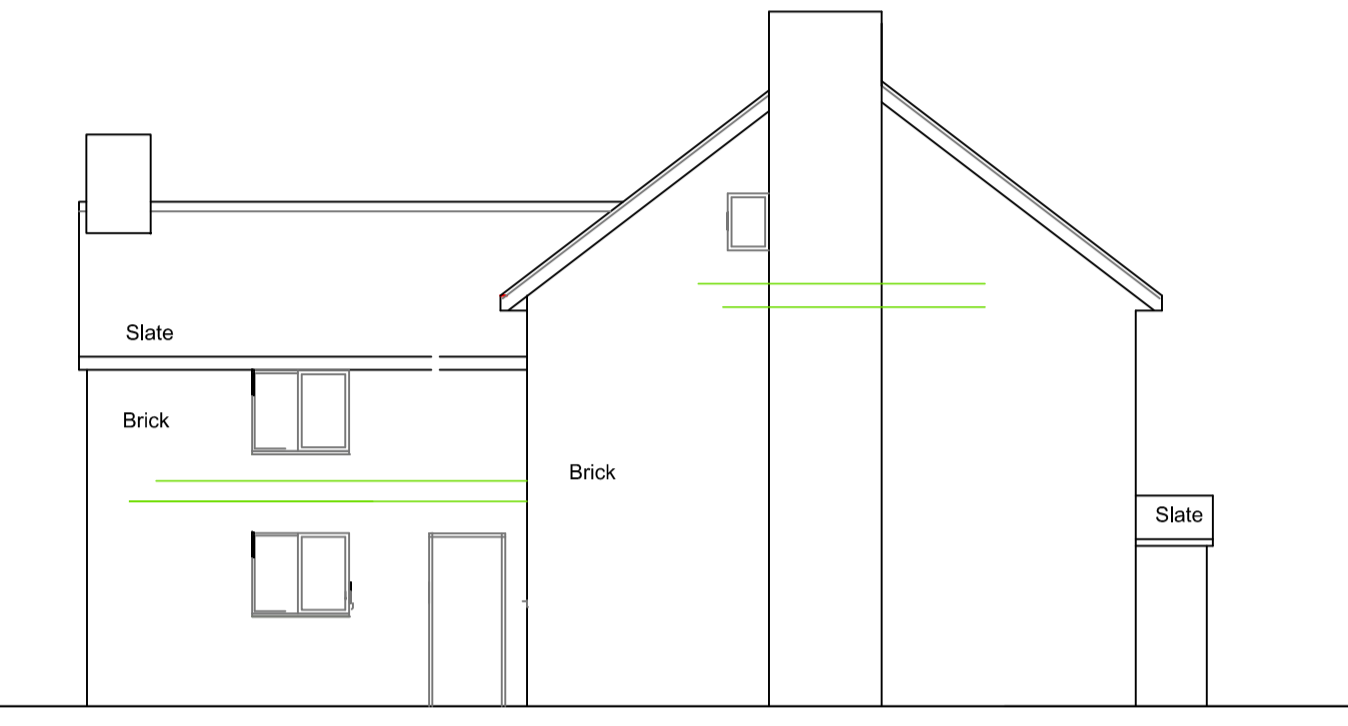


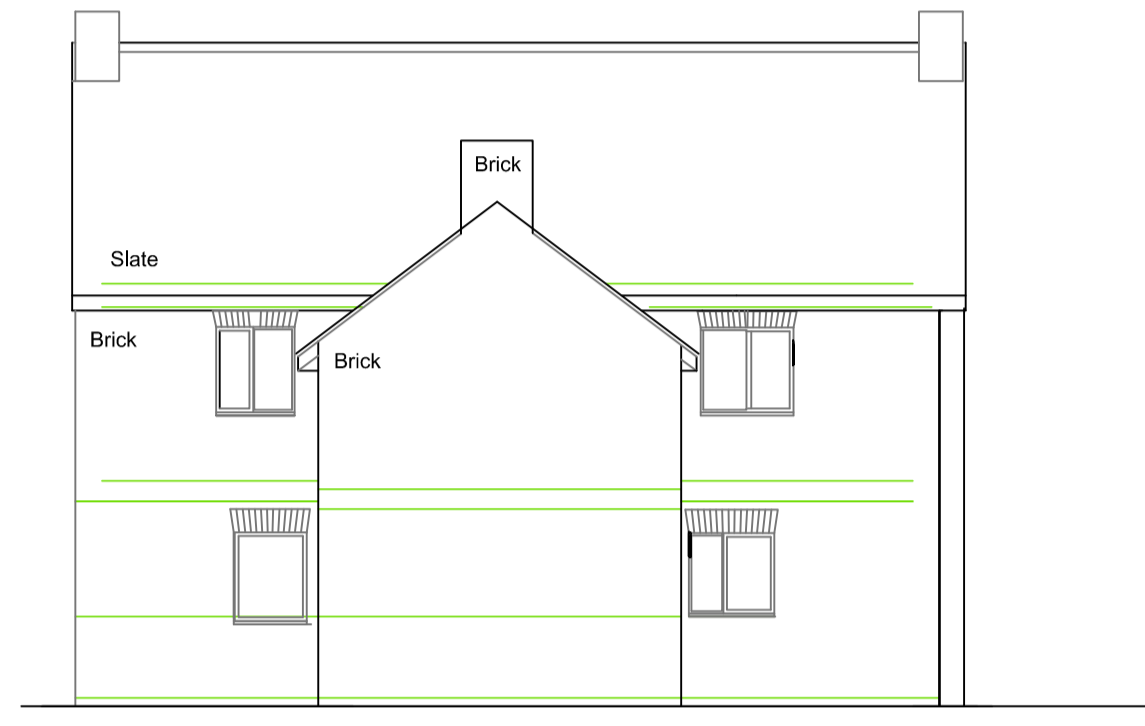
Existing South Elevation



Existing East Elevation



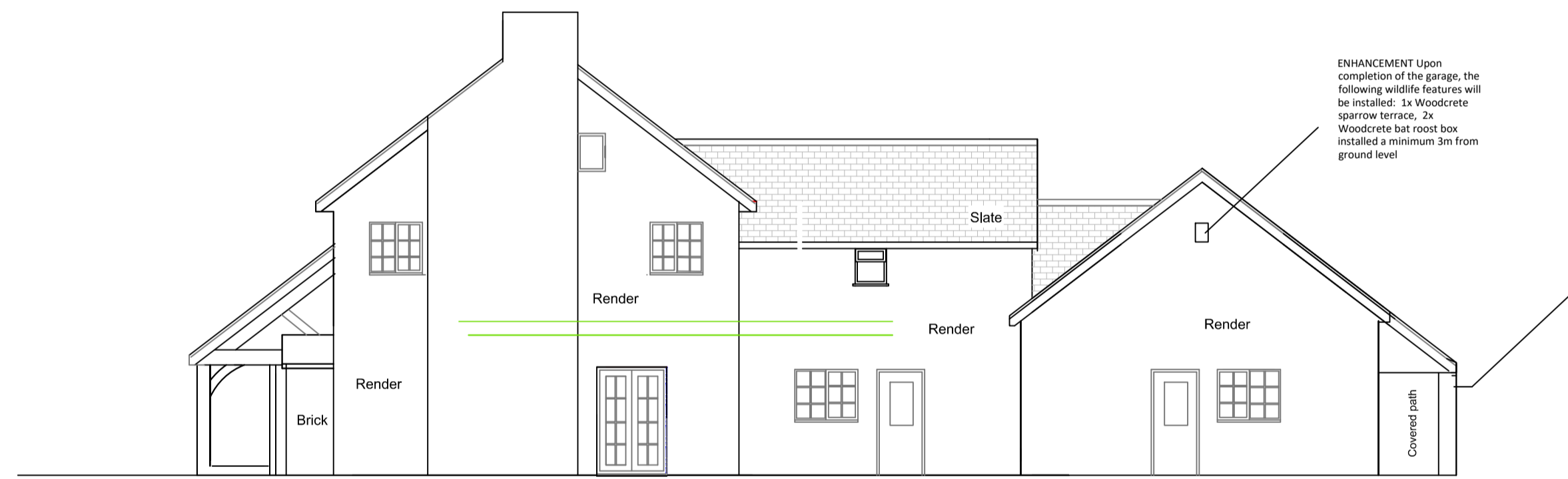
Existing West Elevation



Existing North Elevation

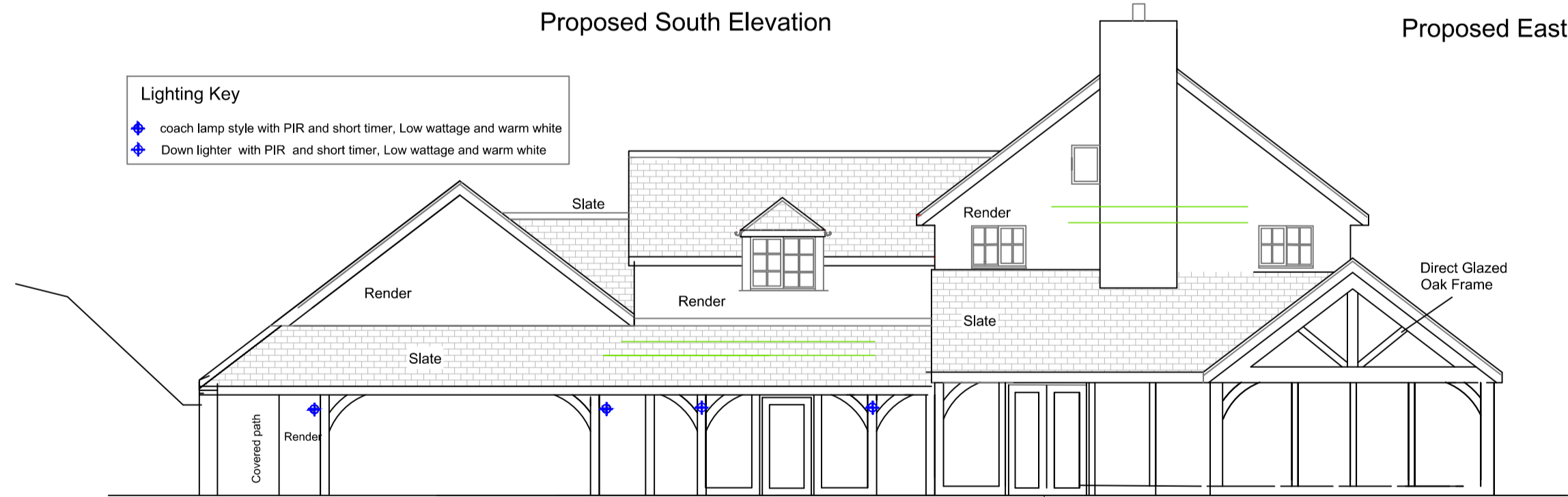


Proposed South Elevation

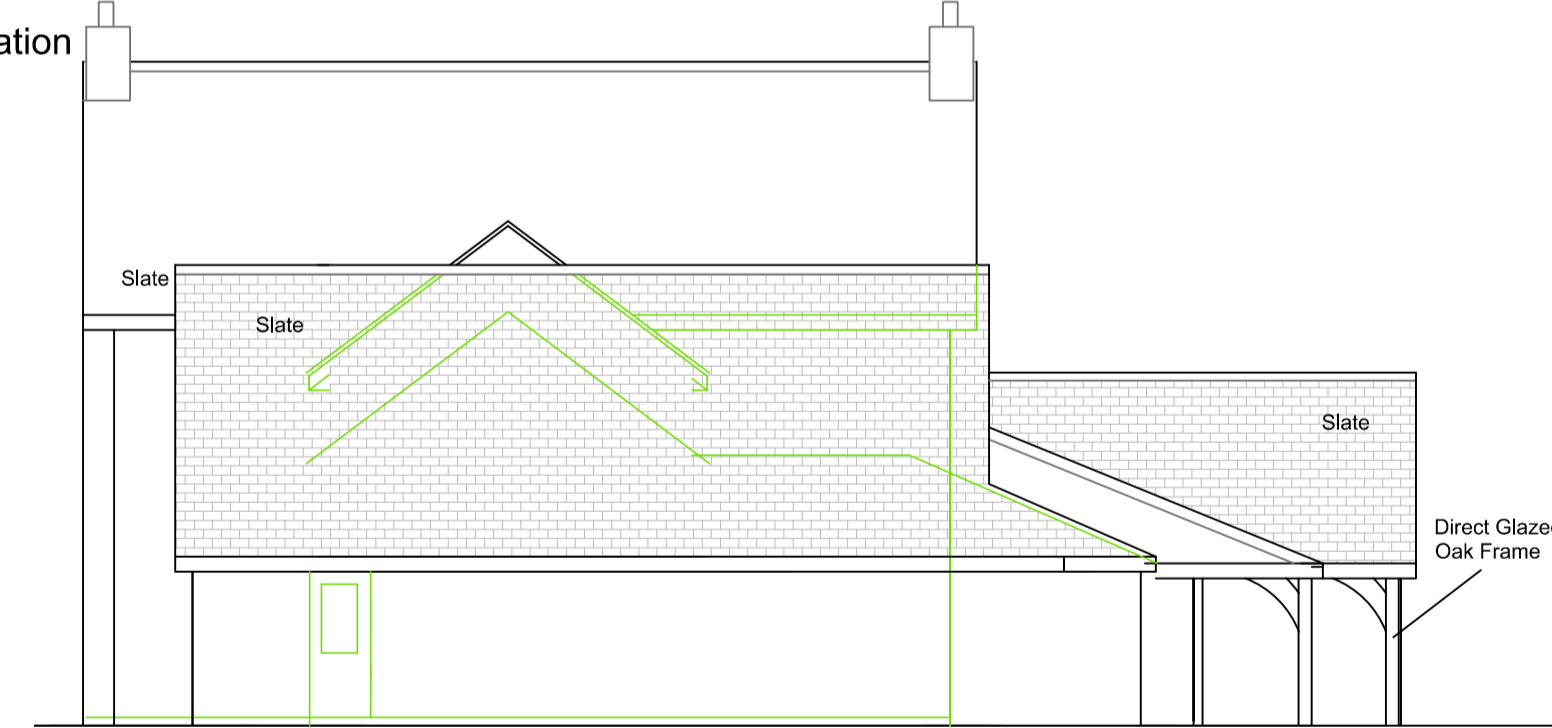


Proposed East Elevation

**Lighting Key**  
 ◆ coach lamp style with PIR and short timer, Low wattage and warm white  
 ◆ Down lighter with PIR and short timer, Low wattage and warm white



Proposed West Elevation



Proposed North Elevation

**MITIGATION & ENHANCEMENT**

- 6.1 BATS Replacing the roof of the property will need to be carried out in a sensitive manner, whilst re-instating roof features and retaining the roof in-situ. Further renovation and extension of the property will also require specific working methods which will be covered in any subsequent EPSDL. The following measures will be required, as a minimum:
  1. Timing of works: The roofing work will be planned for mid-end September/November 2023.
  2. Supervised roof removal: The Named Ecologist will be present whilst the roof is being dismantled. A pre-commencement inspection will be carried 12 out by the ecologist and any bats found will be re-located to an appropriate emergency refuge.
  3. Soft demolition of the roof: All contractors will be briefed on how to remove the slates/features of the roof in a way which reduces the risk of injury to bats, should they be present. 4. Installation of new access points: Bat access and ridge access points will be installed into the new roof to ensure that crevice dwelling species have several access points by which to enter the loft/cavities in use.
  5. Retention of existing 'fly-in' window access point for LH: The broken window at the south west elevation will be repaired or replaced but the same size entrance point will be retained in any replacement window casement.
  6. A new access point in the small window on the opposite (east) elevation will also be created as an alternative for bats to use. The access will be suitable for lesser horseshoe.
  7. Use of Type 3 felt: The loft space will only be lined with Bituminous Type 1F felt, as approved by NRW.
  8. Creation of roosting areas within the new roof: Small sub-divisions of the main loft space will be made to mimic the current conditions. Various roosting features will be installed into the loft to include rough sawn timber fixed to the underside of rafters to create areas for crevice dwellers and also opportunities for LH.
  9. A lighting scheme will be designed for the site which ensures 'dark movement corridors' are maintained and all access points/roosting sites remain unlit.
  10. A native species orchard planting scheme will be created in order to provide linear landscape connectivity to the adjacent woodland from the house.
  11. All work to construct the single storey lean-to extension will take place below the height of the first floor. This will include any necessary scaffold structure.
  12. Dust and noise suppression will be adopted on site. Works along the west elevation of the property will be carried out beneath a canopy to remove any risk of dust travelling up to the higher levels of the house.
  13. Work will take place during daylight hours only and working time will not be extended by the use of artificial lighting. Task lighting may be used on site during re-roofing work, as required.
  14. No mesh or netting will be erected above ground floor level on site.

**ENHANCEMENT** Upon completion of the garage, the following wildlife features will be installed: 1x Woodcrete sparrow terrace, 2x Woodcrete bat roost box installed a minimum 3m from ground level!

**NOTES:**  
 1. Copyright: The contents of this drawing may not be reproduced in whole or in part without the written consent of G. G. Lloyd  
 2. No dimensions to be scaled from this drawing.  
 3. All dimensions to be checked on site by Contractor.  
 4. Where discrepancy occurs between specification and drawings then G. G. Lloyd must be notified immediately.  
 5. This drawing is to be read in conjunction with specifications or other consultants drawings as applicable.  
 6. This drawing is intended to identify main features and principal components. Construction work should be carried out and supervised by experienced and suitably qualified personnel, therefore extensive detail is not required.  
 7. Underground electric supply and water supply services positions have not been established.

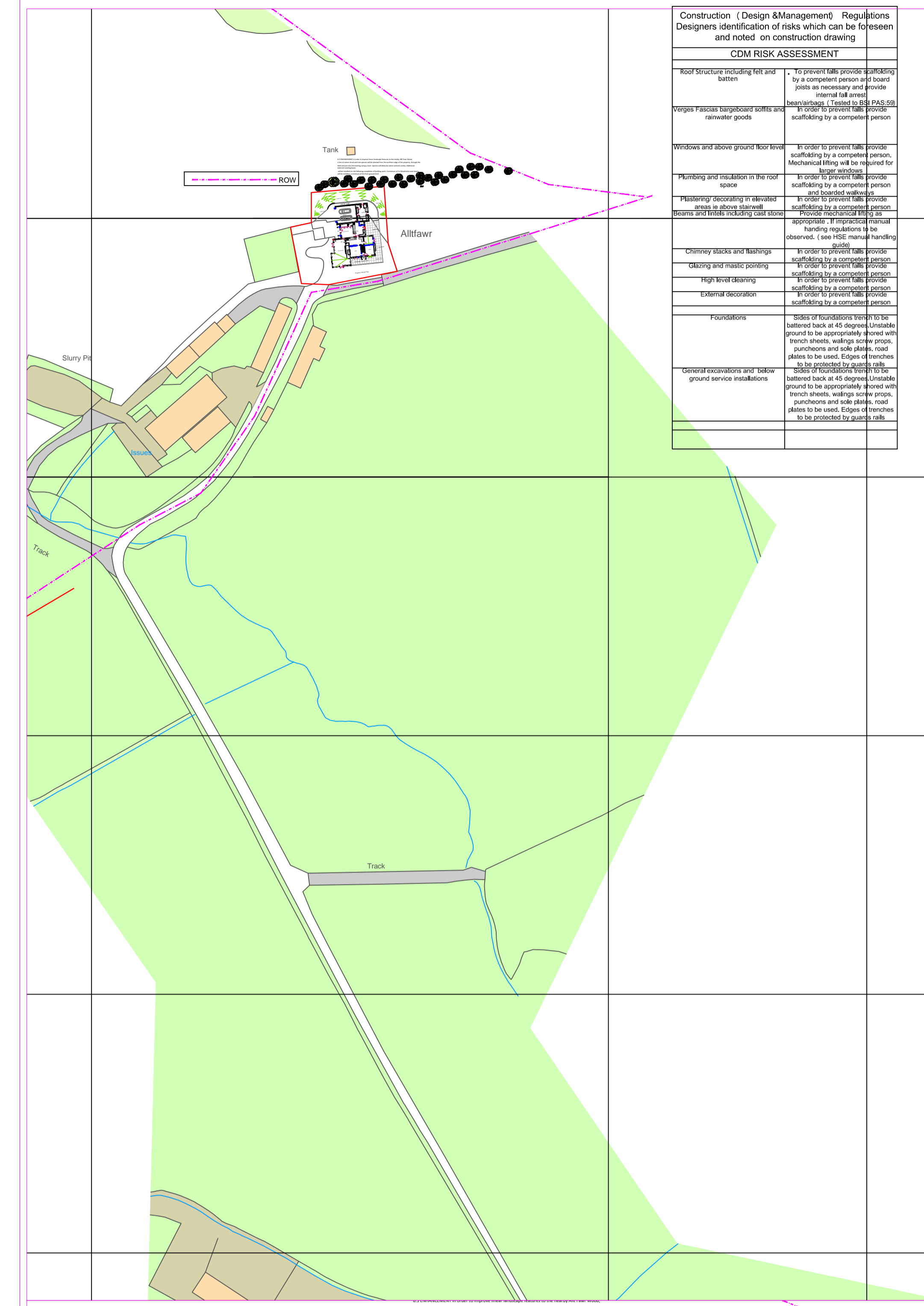
Revisions	Date	By	Ch
B Revisions			
A Front extension reduced			



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 Llanfyllin,  
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Proposed Extension			Existing and Proposed Plans		
Scale	Date	Drawn by	Checked	Number	Rev
1:100, 1:500 1:250	10/22	GGL	GGL	645/01	B



Construction (Design & Management) Regulations Designers identification of risks which can be foreseen and noted on construction drawing	
CDM RISK ASSESSMENT	
Roof structure including felt and batten	To prevent falls provide scaffolding by a competent person and board joints as necessary and provide internal fall arrest.
Verges Fascias supported rafters and rainwater goods	Internal fall arrest beams/rafters (Tested to BS PAS 55) To prevent falls provide scaffolding by a competent person.
Windows and above ground floor	In order to prevent falls provide scaffolding by a competent person and boarded walkways.
Plumbing and insulation in the roof space	In order to prevent falls provide scaffolding by a competent person and boarded walkways.
Plastering (operating in elevated areas above ground)	In order to prevent falls provide scaffolding by a competent person and boarded walkways.
Beams and trusses including cast stone	In order to prevent falls provide scaffolding by a competent person and boarded walkways. Provide mechanical fixing as appropriate. Inspect structural.
Chimney stacks and flabings	In order to prevent falls provide scaffolding by a competent person and boarded walkways.
Ceiling and mastic pointing	In order to prevent falls provide scaffolding by a competent person and boarded walkways.
High level cladding	In order to prevent falls provide scaffolding by a competent person and boarded walkways.
External decoration	In order to prevent falls provide scaffolding by a competent person and boarded walkways.
Foundations	Sides of foundations trench to be battered back at 45 degrees. Unstable ground to be appropriately shored with trench shields, walings, soldier piles, punchions and side plates, road plates to be used. Edges of trenches to be protected by guays rails.
General excavations and below ground service installations	Sides of foundations trench to be battered back at 45 degrees. Unstable ground to be appropriately shored with trench shields, walings, soldier piles, punchions and side plates, road plates to be used. Edges of trenches to be protected by guays rails.

A line of native shrub and tree species will be planted from the southern edge of the property, through the rear and onto the existing Slurry Pit. Species will vary by site and soil variety. Additional work will be required in the following completion of planting work, in accordance with the conditions set out in the contract of the final ground plan.