

FOR THE PROPOSED

EXTENSIONS AND ALTERATIONS TO

SEA LODGE, TREGURRIAN

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document no. 23003.3.0050

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Contents:

- 1 Introduction**
- 2 The existing site and historical context**
- 3 Planning statement**
- 4 Design proposals**
- 5 Energy statement**
- 6 Conclusion**



Current satellite image – Google Maps

1 Introduction

This statement has been prepared by Ben White Architecture to support a house holders planning application for alterations and extensions to Sea Lodge, Tregurrian.

The existing bungalow has been used for a number of years by the family. There is already an extant consent for the property under application PA20/ 10888 for the demolition of the bungalow and replacement with a much larger, two storey home and separate studio. This application is being made in order to retain the existing bungalow and add accommodation above to improve the quality of the home in a more sustainable manner.

None of the buildings are Listed and there are no listed buildings near the site. The site is located on the edge of the Area of Great Landscape Value but does not lie within any other designated areas and there are no protected trees in or around the site. The property is approximately a 5-10 minute walk from the Watergate Bay, and sits on Tregurrian Hill within the settlement of Tregurrian.

It is considered that this proposal could represent a sustainable development when assessed against development plan policy and all other relevant material considerations, including national guidance and advice. Following the statutory obligations upon the Council, as prescribed by Section 38(6) of the Planning and Compulsory Purchase Act 2004, it is anticipated that any future application will be supported throughout, and the determination would result in the grant of a planning permission.

THE BRIEF

The brief/client requirements were as follows:

- Respect the location – situated in an Area of Great Landscape Value
- Maintain the reciprocal privacy of occupants and neighbours
- Maintain the privacy of occupants in relation to Public Rights of Way
- Improve existing vehicular access for safer access/ exit of site.
- Retain existing bungalow to avoid demolition.
- Utilise existing bungalow to form ground floor accommodation.
- Create a high-quality dwelling that is contextually appropriate.

2 The existing site and historical context

The site is located on the western edge of Tregurrian. The immediate landscape characteristics are settled pastures and clustered with small farms.

The site faces a westerly direction and can be glimpsed from Tregurrian Hill, otherwise the site is relatively private and cannot be viewed from any other public vantage points.



Photograph showing existing Sea Lodge from Tregurrian Hill

The current access to the site is dangerous, on a relatively fast paced B-Road. Visibility turning out of the existing junction is poor creating a safety risk for road users. The extant consent was approved to create a new, safer driveway entrance with visibility splays leading to parking for the property further down the road. This application maintains the position of the extant consent driveway and access.



Existing property and contextual photos.

3 Planning statement

PHYSICAL & SOCIAL CONTEXT

The development would result in the renovation of one dwelling in a site already utilised as domestic curtilage located in a sustainable hamlet location, adding to the housing stock available on offer in the area. The existing dwelling would be retained as the ground floor with a first floor extension.

PLANNING POLICY

The **Cornwall Local Plan** - adopted in 2016. The most relevant policies are set out below:

- Policy 1 sets out the presumption in favour of sustainable development in line with the NPPF, stating permission for sustainable development will be granted unless adverse impacts would significantly outweigh the benefits.
- Policy 2 relates to key targets and special strategy. Importantly, it seeks to provide for 52,500 homes over the plan period and states that development should respect and enhance quality of place.
- Policy 3 relates to the role and function of places, and identifies that the scale and mix of uses of development and investment in services and facilities should be proportionate to the role and function of places.
- Policy 12 deals with design issues, while policy 13 relates to development standards. Both seek good practice in terms of fundamental design and the relationship of the development to its surroundings.
- Policy 21 in respect of the best use of land and existing buildings gives encouragement to sustainably located proposals that use previously developed land and buildings where they are not of high environmental or historic value.
- Policy 27 relates to Transport and accessibility. It supports larger developments in highly accessible locations in respect of accessibility to public transport.

National Planning Policy Framework (NPPF)

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. The NPPF replaced all of the previous national planning policy statements (except PPS10). The NPPF also has an impact on the weight given to policies within existing Local Plans. Planning policy from earlier Development Plans will be given weight according to their degree of consistency with the NPPF.

Paragraphs 1-5 provide the introduction to the NPPF, setting out that the NPPF is the Government's planning policy that sets out the requirements of the planning system providing a framework within which local people and their accountable councils can produce their own distinctive local and neighbourhood plans, which reflect the needs and priorities of their communities. It sets out that applications are required to be determined in accordance with the development plan unless material considerations indicate otherwise, with the NPPF being a material consideration in the decision-making process and acting as the principal policy consideration where the development plan is out of date. Paragraph 6 states that the purpose of the planning system is to contribute to the achievement of sustainable development. Paragraphs 7 and 8 consider that there are three dimensions to sustainable development: economic, social and environmental all of which gives rise to the need for the planning system to perform a number of mutually dependent roles. Paragraphs 14 – 16 set out that at the heart of the NPPF is a presumption in favour of sustainable development, which is the key conductor for decision-taking in the planning system. This means that:

- Local planning authorities should be positive when assessing opportunities presented that meet the development needs of their area;
- Local Plans are to have sufficient flexibility to adapt to rapid change while meeting objectively assessed needs, unless:
In doing so there are any adverse impacts that would significantly and demonstrably outweigh the benefits of the development proposal, if when the development proposal is assessed against the policies in the NPPF the development it should be restricted.
- The approval of development proposals that accord with the development plan unless again:

In doing so there are any adverse impacts that would significantly and demonstrably outweigh the benefits of the development proposal, if when the development proposal is assessed against the policies in the NPPF the development it should be restricted.

Local Plan policies are meant to follow the approach of the presumption in favour of sustainable development so that it is clear that development that is sustainable can be approved without delay. All plans should be based upon and reflect the presumption in favour of sustainable development, with clear policies that will guide how the presumption on should be applied locally.

Paragraph 17 sets out a number of core planning principles that should underpin the decision making process for development application - these include:

- possessing creative ways to enhance and improve the places in which people live their lives proactively drive and support sustainable economic development taking account of the needs of the residential and business communities;
- supporting taking full account of flood risk and coastal change, and encourage the reuse of existing resources and brownfield sites
- the allocation of land for development should prefer land of lesser environmental value;
- encouraging the effective use of land by reusing land that has been previously developed (brownfield land), provided that it is not of high environmental value;
- actively managing growth to make the fullest possible use of public transport, walking and cycling, and focus significant development in locations which are or can be made sustainable;

Paragraph 49 requires housing development to be considered in the context of the presumption in favour of development – small infill sites such as this in locations that that are not isolated will reduce the pressure on progressing perhaps less integrated proposals outside of development boundaries, i.e. in open countryside.

Paragraphs 56–68 are relevant to this proposal as they state that developments require good, high quality and locally sensitive designs. As would be defined by this scheme proposal the scale, form and materiality of the dwelling would be considered to reflect the character and appearance of the surrounding area.

Paragraph 111 encourages the re-use of land that has been previously developed (brownfield land).

CORNWALL DESIGN GUIDE 2021

The Cornwall Design Guide seeks to ensure that developments are informed by the character of the area in which they are proposed. Design should take into account, landscape and potential visual implications that the development may have on the immediate area and existing buildings. This design statement suggests the principle of the development proposals and their reasoning/design development and how the final architectural language and form has come about.

SUMMARY OF PLANNING STATEMENT

The National Planning Policy Framework supports sustainable development in terms of location and viability. In this case the application relates to the provision of an additional residential unit on what can be considered previously developed land, and in a highly sustainable location.

The National Planning Policy Framework states that housing applications should be considered in the context of a presumption in favour of sustainable development and for all development, it says that such a presumption means that planning permission should be granted where a development accords with the development plan as this does.

National policies and guidance, as well as Local Plan policies, give clear and strong support to applications that make use of previously developed land and support the economy.

PLANNING GUIDANCE

The Chief Planning Officer's Advice Note: Good Design

The following extract was taken from the Chief Planning Officer's Advice Note: Good Design in Cornwall.

The Council wishes to work with applicants to achieve the best outcomes by encouraging innovation in sustainable building construction and seeking good design solutions, but we do not wish to impose an artificial vernacular or aesthetic taste. There is evidence that well designed places not only benefit our quality of life but also make an improvement to the quality of places and their financial value whether meeting open market or an affordable housing need.

Fundamentally all new development in Cornwall should feel Cornish and be shaped by its history, culture, landscape and, where relevant, its relationship to the sea. Development should not be stuck in the past or replicate poor quality development; it should respond creatively and positively to its surroundings.

Eleven Practical Considerations for Good Development in Cornwall

Integrating into the Neighbourhood

- 1. Does the proposal suit its context?*
- 2. Does the proposal connect people, places and wildlife and encourage healthy lifestyles?*
- 3. Does the proposal consider the people who will live in, work in and use the development in the future?*

Creating a Place

- 4. Does the proposal have a sense of place and would it add to local distinctiveness?*
- 5. Street and home*
- 6. Is the street a good quality design with integrated parking?*
- 7. Can you see the drainage systems above the ground as surface features?*
- 8. Does the proposal include energy efficient features or energy generation?*
- 9. Is the proposal wildlife friendly and does it safeguard and provide trees?*
- 10. Does the proposal have usable gardens?*
- 11. Is there adequate external storage for bins, recycling, cycles and other lifestyle equipment?*

4 Design proposals

INTRODUCTION AND PRINCIPLE

The principle of this proposal is to extend the existing dwelling to create a family home that is contextually appropriate, practical and of high-quality design aesthetically and sympathetic to its surrounding buildings and area. The proposal is mindful of the site's location in an Area of Great Landscape Value; its location in Tregurrian and its proximity to Watergate Bay, the community's values and priorities as set out in the Neighbourhood Development Plan.

CONSTRAINTS AND OPPORTUNITIES

Constraints and opportunities identified as follows:

- Located within an Area of Great Landscape Value.
- Respect and be sympathetic to the current local vernacular.
- Reflect the aims of the Neighbourhood Plan.
- Extension to existing dwelling for a local family.
- Views
- Orientation
- Privacy and views of neighbours and occupants
- Retaining the existing bungalow rather than demolishing as per the previous extant consent.

CONCEPT

The principle of the development of this site is to provide a well thought out dwelling utilising the existing bungalow at Sea Lodge. The principle will allow the owners to create a family home and still live in the immediate area they are local to. The use accords with the dwelling use in the area. Any design would need to form a truly integrated building that reflects the landscape character and is sensitive to the neighbouring properties.

Extant consent PA20/ 10888 had permission to replace the bungalow with a large two storey dwelling. The footprint of the previous consent is approximately 180m² whereas by retaining the bungalow the footprint is reduced to approximately 90m².

The volume of the proposed replacement dwelling is far less than the design for PA20/10888 and the elevations of the scheme follow a similar roof form and material palette to stay close to the style of the consented scheme.

ACCESS

Extant consent PA20/10888 already has permission for a new access and driveway to make access to the site safer. The extant permission has consent to move the driveway entrance further down Tregurrian hill from the existing access. This application retains the position of the extant permission.

LAYOUT, SCALE AND FORM

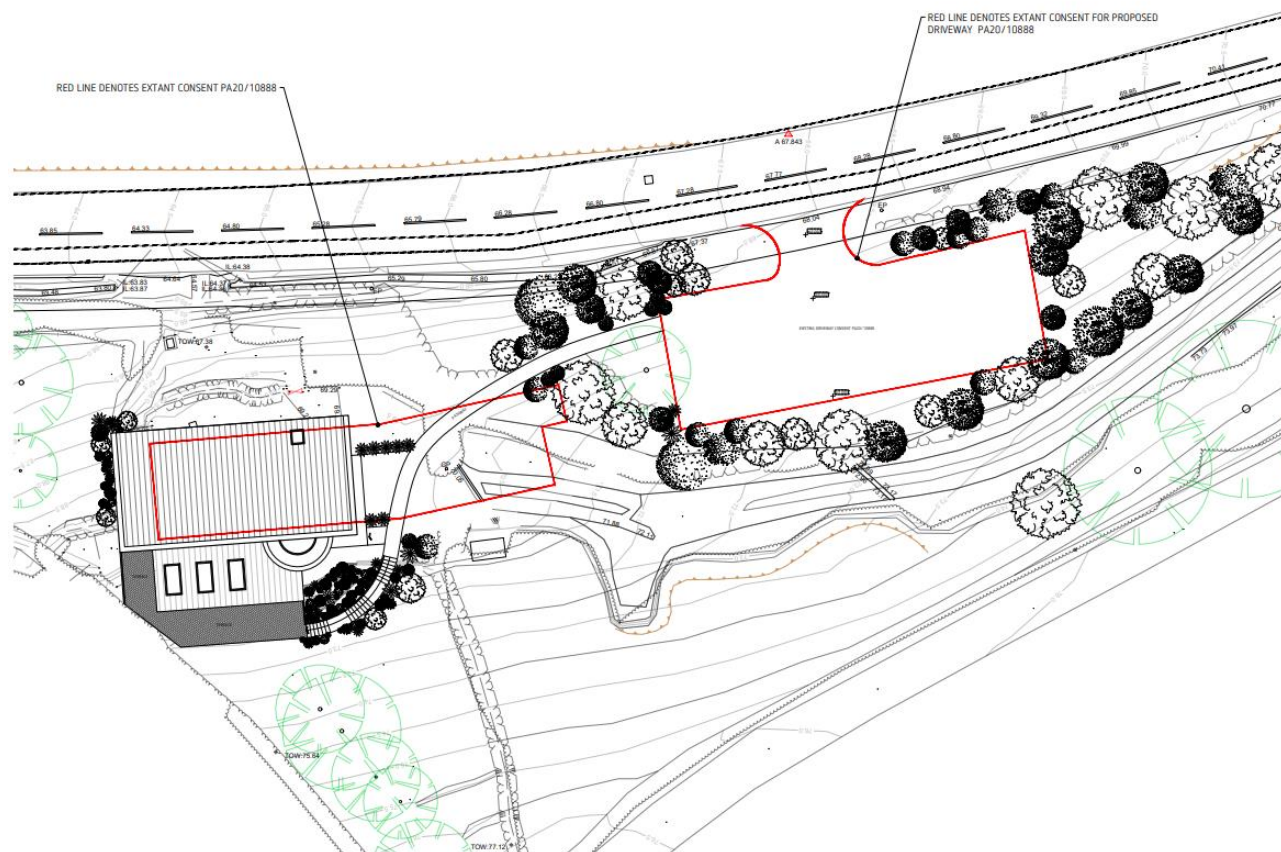
Layout:

The position of the existing bungalow is maintained with a small extension to the southern side to gain space for a stair. Otherwise, the layout of the site remains very similar to extant consent PA20/10888.

Scale:

The proposal for an extension to the bungalow, making a two-storey dwelling will have domestically scaled floor to floor heights is contextually scaled when compared to surrounding properties.

As can be seen from the site plan below the proposed scheme footprint is much reduced from the extant consent (red line) of PA20/10888.



Form:

The proposed form of the dwelling is intended to respond to the surrounding site and context. The form of the proposals are similar to the existing consent albeit smaller in scale.

LANDSCAPE AND EXTERNAL AREAS

The site is not in a Tree Preservation Order Area and there are no Tree Preservation Order Points on the site.

Due to the domestic and agricultural setting of the site it is anticipated that the landscaping proposals will be simple and robust in nature and materials.

APPEARANCE

It is anticipated the proposed building will use a simple palette of natural materials and will be designed in such away to be recessive in the landscape and so will be very much in keeping with the scale of the existing structures in the area.



5 Energy statement

The retained existing building fabric will be upgraded where possible to meet and exceed Building Regulations. It will be detailed and constructed fully in accordance with the latest robust details to ensure it is airtight. We also feel that it is important to note that the existing oil tank on site will be removed and the building will use renewables to fuel the dwelling.

The proposed dwelling is anticipated to be built achieve minimum EPC A standards in its design detailing, with a strong emphasis on thermal mass, air tightness and high levels of insulation. The new home will exceed the current minimum requirements as set out in the Building Regulations (at time of writing) and will utilise proven technologies for more sustainable methods of running a dwelling.

Coupled with the above the new dwelling will be constructed with a high thermal mass, high performance insulations, high performance glazing as well as sourcing materials from sustainable sources where possible. It will be detailed and constructed fully in accordance with the latest robust details to ensure it is airtight.

6 Conclusion

In formulating these proposals, we as designers have been mindful of the site's location in an Area of great Landscape Value. From without, to create a pleasing aesthetic that sits comfortably within the landscape and surrounding homes. From within, to optimise the experience for occupants of the site's location in a beautiful area. Care has been taken for the proposed architecture to blend in and make a positive contribution to the surroundings.

This document and associated drawings provide a considered and detailed proposal for the extension and alterations to Sea Lodge.

