

Prepared by:

AlchemyArchitects Ltd.
Oak Lodge Studio
Sea View Road
Yarmouth
Isle of Wight
PO41 0XU
www.alchemyarchitectsltd.com
will@alchemyarchitectsltd.com
T. (+44) 07835920760
Copyright reserved.

PRINT @ A3 size

DESIGN ACCESS & PLANNING STATEMENT

Site: Aorangi-Halletts Shute-Yarmouth-IOW-PO41 0SB
Domestic extension & refurbishment



CONTENTS

Introduction-

- Principal considerations
- Details of application

Planning statement-

- Planning history
- Island Plan Core Strategy
- Neighbour consultation
- Design development

The Proposal

- Drainage
- Materials
- Amenity, landscape
- Arboreal
- Parking and Highways
- Design summary
- Planning drawings

-END



street elevation view

Introduction

This is a Design, Access & Planning Statement to support an application for a replacement dwelling at Aorangi, Halletts Shute, Yarmouth, IOW, PO41 0XU

A Design, Access & Planning Statement, is a short report accompanying a planning application to illustrate the process that has led to the development of the proposal, and to explain and justify it in a structured way.

Principal Considerations.

- Principal of the development
- Impact on the character and appearance of the area
- Consideration of neighbouring amenity
- Highways considerations

Details of application.

Extension of existing bungalow with new single story wing and car port to south west of site.

External landscaping.



Total site ownership outlined in red, source OS mapping



View looking south east into front elevation



View looking south at boundary condition



View looking north west to shared access road



Rear view of south east elevation

Planning history.

Full Application 37:10:23, Status approved: LPA REF 20/01495/HOU

National Planning Policy.

Section 7: Achieving well designed places.

Section 11: Making effective use of land.

Section 15: Conserving and enhancing the natural environment

Island Plan Core Strategy (relevant policies).

SP1-Spatial strategy. The proposal is within an existing settlement boundary.

SP2-Housing. The proposal is a 1 for an extended domestic dwelling.

SP3-Economy.

SP5-Environment.

SP7-Travel. The proposal is in a sustainable travel location.

DM2-Design criteria for new development. See design explanation page 5.

DM17-Sustainable travel. The proposal is deemed to be in a sustainable travel location.

SPD's-Parking and Recycling.

No Island Roads pre app advice has been sought in this instance as the only material change is an extension of the parking area into a car port with a 'slated' timber fence to increase privacy. This private road has very low levels of traffic and by its nature these are restricted to very low speeds.

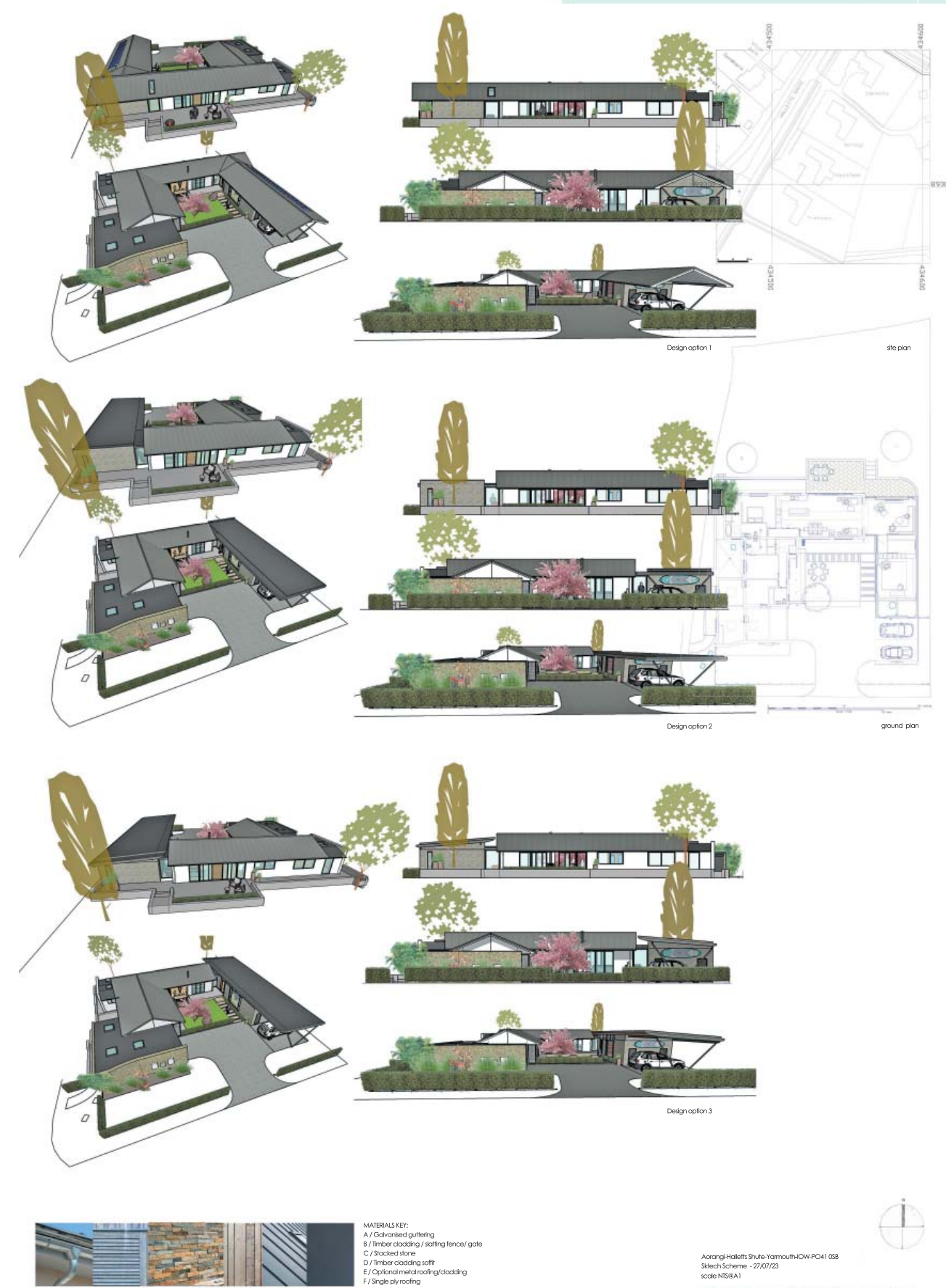
A built in hard standing for 2 no. IWCC bins is to the north corner of the property, screened by an existing timber fence, and existing situation.

LPA Pre app enquiry

A pre app consultation was not carried out with the LPA due to the simple / straight forward nature of the extension.

Neighbour consultation

Immediately adjacent neighbours at Westfield have been consulted during the design process and given a copy of the final design drawings. Only minor impact is envisaged and no objection has been voiced at this time.



THE PROPOSAL - design strategy explained.

Drainage.

Existing combined mains connection in Halletts Shute Road utilised. No real variation in the existing situation.

Materials.

These are outlined on the design elevations.

- Roof – existing grey standing seam metal retained on existing roofs and extended to new roof
- Walls – Large sections of existing render retained and extended to south west wall of extension. Natural stone cladding to areas of wall shown, galvanised metal rainwater goods.

External amenity space & landscape.

Existing tree and grass garden to the south to be retained. Paved terrace to the south to be remodelled. Front semi courtyard garden to be remodelled as indicated with low random stepping stones.

Parking and highways.

No change is proposed to the existing situation. Parking for 2 vehicles already available in garage with additional 2 spaces directly in front of existing garage

Arboreal.

The proposed design has been arrived at with a view to no change in the existing arboreal situation. Sufficient separation has been left to the south west boundary to retain the existing hedge. Small rear garden existing trees will not be affected by distance of new build elements.

Design Summary

The new extended design will undoubtedly be a little more 'visually prominent' than the existing bungalow, but the architect has tried to show careful consideration to a well sited and scaled contemporary extension, that arguably sits comfortably within the street scene.



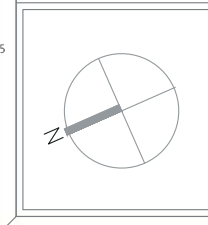
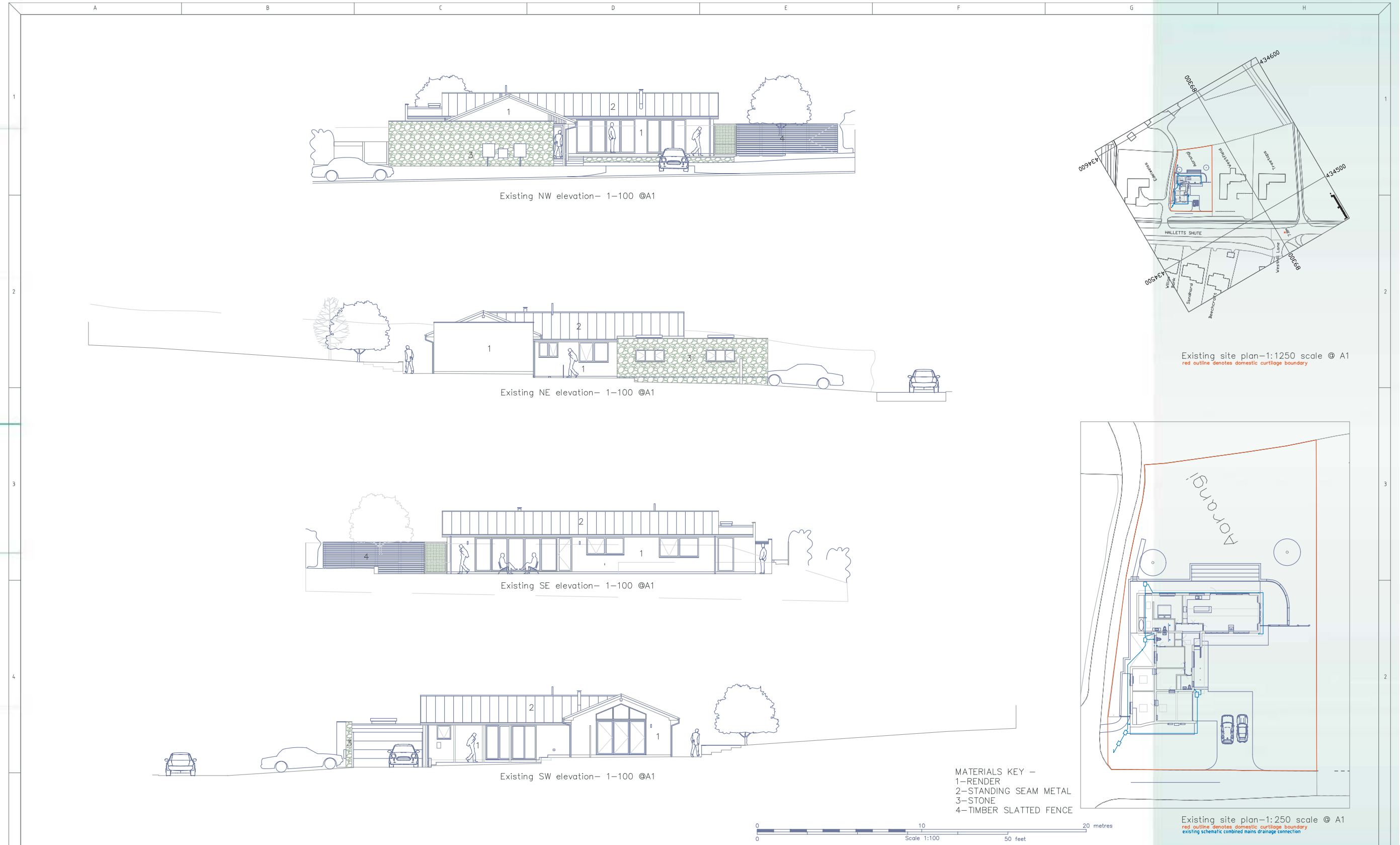
view from the north



view from the internal elevation



view from the internal elevation and courtyard



NOTES

1. THIS DRAWING IS THE COPYRIGHT OF AALtd AND MUST NOT BE COPIED OR USED WITHOUT AALtd's AUTHORITY.
2. DO NOT SCALE FROM THIS DRAWING.
3. ALL WORK & MATERIALS TO CONFORM TO BRITISH STANDARDS & MANUFACTURERS INSTRUCTIONS
4. THIS DRAWING SHOULD READ IN CONJUNCTION WITH OTHER RELEVANT ARCHITECTURAL, STRUCTURAL, MECHANICAL & ELECTRICAL DRAWINGS AND ALL RELEVANT SECTIONS OF ANY SPECIFICATION.
5. ALL WORKS TO BE APPROVED BY LOCAL AUTHORITY
6. PRINCIPAL CONTRACTOR MUST PRODUCE A 'CONSTRUCTION PHASE PLAN' IN ADVANCE OF STARTING WORK ON SITE
7. PRINCIPAL CONTRACTOR MUST NOTIFY THE HSE WITH AN F10 FORM

| REV. | DRAWN | DATE | CHECKED | APPRD. | DESCRIPTION |
|------|-------|------|---------|--------|-------------|
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

CLIENT
Mr & Mrs Rainforth

PROJECT CONSULTANT
AlchemyArchitectsLtd
Oak Lodge, Seaview Road, Yarmouth, Isle of Wight
United Kingdom, PO41 3DQ
Tel: 0044 (0) 7830920760
www.alchemyarchitects.com
A limited liability company No. 5587898

PROJECT
**Aorangi-Halletts
Shute-Yarmouth-IOW-PO41 OSB**

INTERIOR CONSULTANT

MAIN CONTRACTOR

DRG. TITLE
**EXISTING SITE PLAN - BLOCK PLAN
ELEVATIONS**

DRAWN
J.A.

DESIGNED
J.A.

DATE
16-10-2023

CHECKED
A.A.

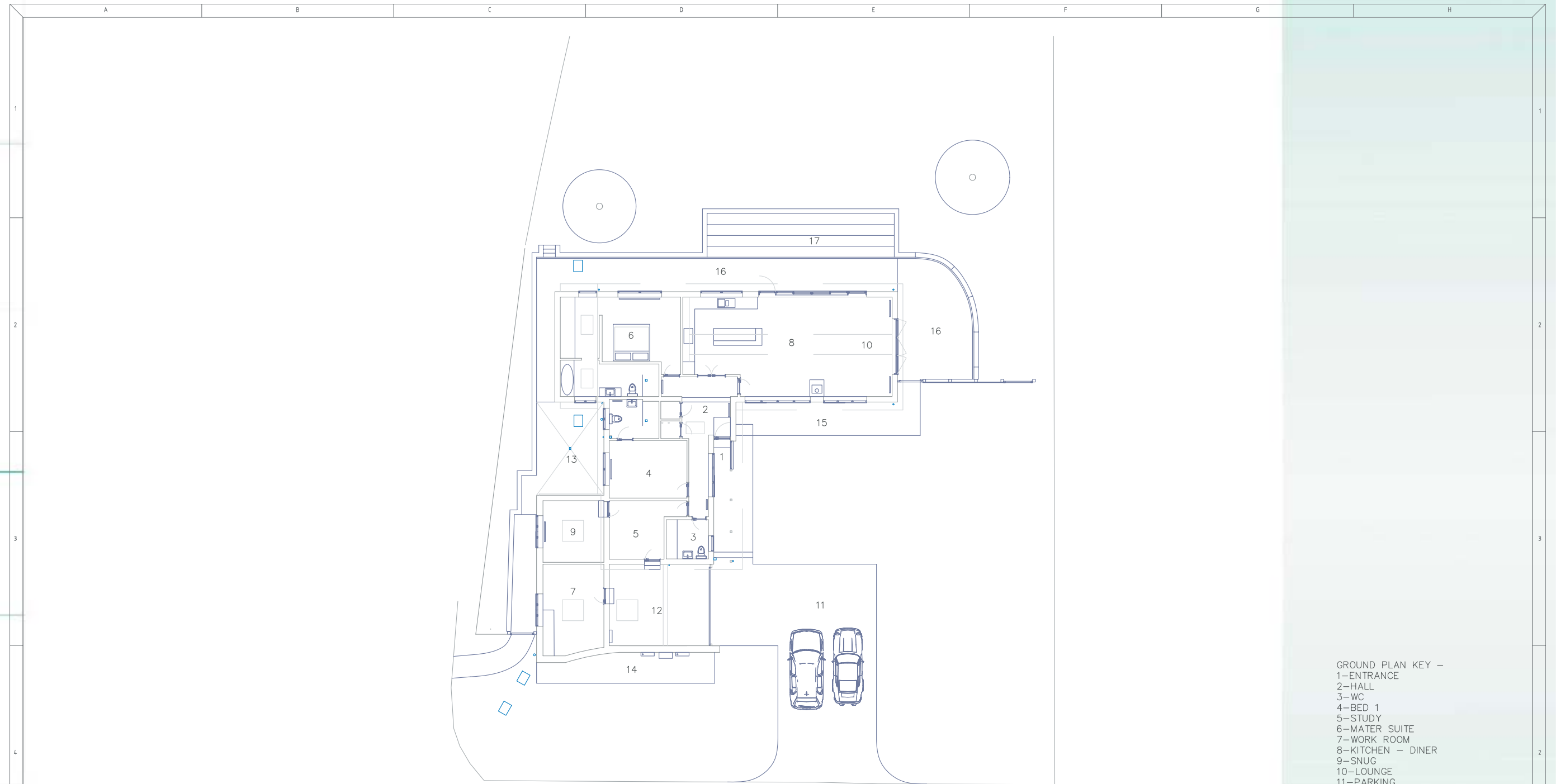
APPROVED
A.A.

SCALE
as noted

DRAWING NO.
1118 000001

REV





- GROUND PLAN KEY –
- 1-ENTRANCE
 - 2-HALL
 - 3-WC
 - 4-BED 1
 - 5-STUDY
 - 6-MATER SUITE
 - 7-WORK ROOM
 - 8-KITCHEN – DINER
 - 9-SNUG
 - 10-LOUNGE
 - 11-PARKING
 - 12-GARAGE
 - 13-EXTERNAL COURT
 - 14-BED
 - 15-TERRACE
 - 16-TERRACE
 - 17-STEPS

ground floor plan-1:100 scale @ A1



PLANNING
ISSUE

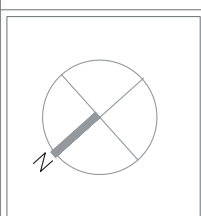
| | | |
|----------------------------|-----------------|--------------------|
| DRG TITLE | | |
| EXISTING GROUND FLOOR PLAN | | |
| DRAWN A/A | DESIGNED A/A | DATE 16-10-2023 |
| CHECKED A/A | APPROVED A/A | SCALE as noted |
| DRAWING NO. | | REV |
| 1118 000002 | | |

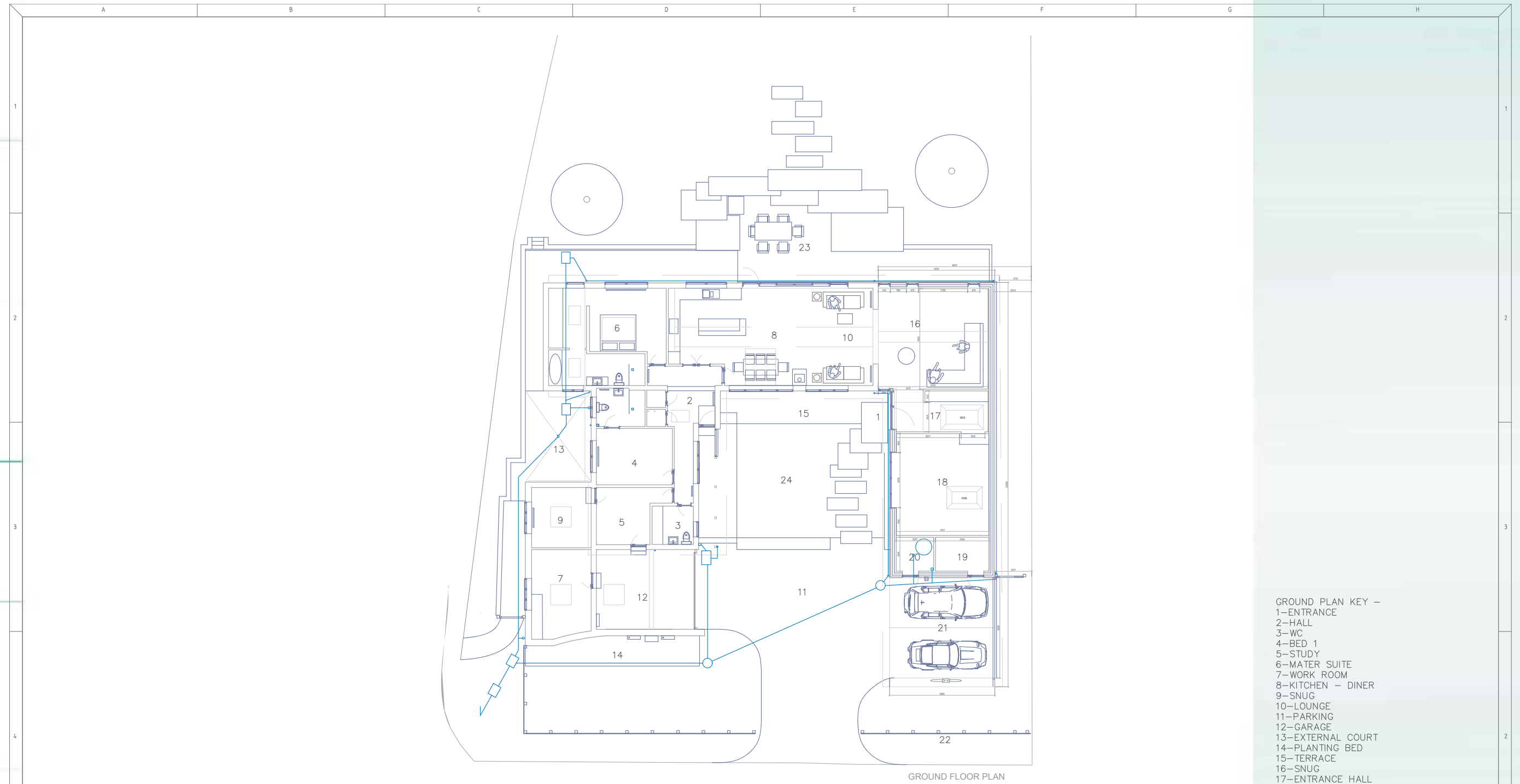
NOTES

1. THIS DRAWING IS THE COPYRIGHT OF AALtd AND MUST NOT BE COPIED OR USED WITHOUT AALtd's AUTHORITY.
2. DO NOT SCALE FROM THIS DRAWING.
3. ALL WORK & MATERIALS TO CONFORM TO BRITISH STANDARDS & MANUFACTURERS INSTRUCTIONS
4. THIS DRAWING SHOULD READ IN CONJUNCTION WITH OTHER RELEVANT ARCHITECTURAL, STRUCTURAL, MECHANICAL & ELECTRICAL DRAWINGS AND ALL RELEVANT SECTIONS OF ANY SPECIFICATION.
5. ALL WORKS TO BE APPROVED BY LOCAL AUTHORITY
6. PRINCIPAL CONTRACTOR MUST PRODUCE A 'CONSTRUCTION PHASE PLAN' IN ADVANCE OF STARTING WORK ON SITE
7. PRINCIPAL CONTRACTOR MUST NOTIFY THE HSE WITH AN F10 FORM IN ADVANCE OF STARTING WORK ON SITE

| REV. | DRAWN | DATE | CHECKED | APPRD | DESCRIPTION |
|------|-------|------|---------|-------|-------------|
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

| | |
|--|---|
| CLIENT | Mr & Mrs Rainforth |
| PROJECT | Aorangi-Halletts Shute-Yarmouth-IOW-PO41 OSB |
| PROJECT CONSULTANT | AlchemyArchitectsLtd |
| <small>Oak Lodge, Seaview Road, Yarmouth, Isle of Wight United Kingdom, PO41 3QJ Tel: 0044 (0) 783920760 www.alchemyarchitects.com A limited liability company No. 5587998</small> | |
| INTERIOR CONSULTANT | |
| MAIN CONTRACTOR | |





- GROUND PLAN KEY –
- 1-ENTRANCE
 - 2-HALL
 - 3-WC
 - 4-BED 1
 - 5-STUDY
 - 6-MATER SUITE
 - 7-WORK ROOM
 - 8-KITCHEN – DINER
 - 9-SNUG
 - 10-LOUNGE
 - 11-PARKING
 - 12-GARAGE
 - 13-EXTERNAL COURT
 - 14-PLANTING BED
 - 15-TERRACE
 - 16-SNUG
 - 17-ENTRANCE HALL
 - 18-HOME OFFICE
 - 19-STORE
 - 20-PLANT ROOM
 - 21-CAR PORT
 - 22-TIMBER SLATTED 1.4M HIGH FENCE
 - 23-TERRACE
 - 24-LAWN

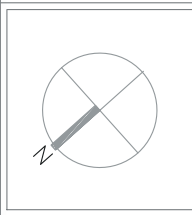
existing and proposed schematic combined mains drainage connection

GROUND FLOOR PLAN

ground floor plan-1:100 scale @ A1



**PLANNING
ISSUE**



NOTES

1. THIS DRAWING IS THE COPYRIGHT OF AALtd AND MUST NOT BE COPIED OR USED WITHOUT AALtd's AUTHORITY.
2. DO NOT SCALE FROM THIS DRAWING.
3. ALL WORK & MATERIALS TO CONFORM TO BRITISH STANDARDS & MANUFACTURERS INSTRUCTIONS
4. THIS DRAWING SHOULD READ IN CONJUNCTION WITH OTHER RELEVANT ARCHITECTURAL, STRUCTURAL, MECHANICAL & ELECTRICAL DRAWINGS AND ALL RELEVANT SECTIONS OF ANY SPECIFICATION.
5. ALL WORKS TO BE APPROVED BY LOCAL AUTHORITY
6. PRINCIPAL CONTRACTOR MUST PRODUCE A 'CONSTRUCTION PHASE PLAN' IN ADVANCE OF STARTING WORK ON SITE

| REV. | DRAWN | DATE | CHECKED | APPRD. | DESCRIPTION |
|------|-------|------|---------|--------|-------------|
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

CLIENT
Mr & Mrs Rainforth

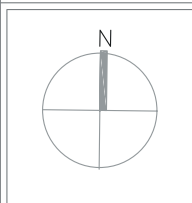
PROJECT CONSULTANT
AlchemyArchitectsLtd
Oak Lodge, Seaview Road, Yarmouth, Isle of Wight
United Kingdom, PO41 3DQ
Tel: 0044 (0) 783920760
www.alchemyarchitects.com
A limited liability company No. 5587998

PROJECT
**Aorangi-Halletts
Shute-Yarmouth-IOW-PO41 OSB**

INTERIOR CONSULTANT

MAIN CONTRACTOR

| | | | |
|--|----------------|-------|------------|
| DRG. TITLE GROUND FLOOR PLAN | | | |
| DRAWN AA | DESIGNED AA | DATE | 16-10-2023 |
| CHECKED AA | APPROVED AA | SCALE | as noted |
| DRAWING NO. | | REV | |
| 1118 000003 | | | |



NOTES

1. THIS DRAWING IS THE COPYRIGHT OF AALtd AND MUST NOT BE COPIED OR USED WITHOUT AALtd's AUTHORITY.
2. DO NOT SCALE FROM THIS DRAWING.
3. ALL WORK & MATERIALS TO CONFORM TO BRITISH STANDARDS & MANUFACTURERS INSTRUCTIONS
4. THIS DRAWING SHOULD READ IN CONJUNCTION WITH OTHER RELEVANT ARCHITECTURAL, STRUCTURAL, MECHANICAL & ELECTRICAL DRAWINGS AND ALL RELEVANT SECTIONS OF ANY SPECIFICATION.
5. ALL WORKS TO BE APPROVED BY LOCAL AUTHORITY
6. PRINCIPAL CONTRACTOR MUST PRODUCE A 'CONSTRUCTION PHASE PLAN' IN ADVANCE OF STARTING WORK ON SITE
7. PRINCIPAL CONTRACTOR MUST NOTIFY THE HSE WITH AN F10 FORM

| REV. | DRAWN | DATE | CHECKED | APPRD. | DESCRIPTION |
|------|-------|------|---------|--------|-------------|
| | | | | | |
| | | | | | |
| | | | | | |

CLIENT
Mr & Mrs Rainforth

PROJECT CONSULTANT
AlchemyaArchitectsLtd

Oak Lodge, Seaview Road, Yarmouth, Isle of Wight
United Kingdom, PO41 3DQ
Tel: 0044 (0) 7830920760
www.alchemyaarchitects.com
A limited liability company No. 5587898

PROJECT
Aorangi-Halletts
Shute-Yarmouth-IOW-P041 OSB

INTERIOR CONSULTANT

MAIN CONTRACTOR



| | | |
|------------------------------------|-----------------------|---------------------------|
| DRG. TITLE ELEVATIONS | | |
| DRAWN AA | DESIGNED AA | DATE 16-10-2023 |
| CHECKED AA | APPROVED AA | SCALE as noted |
| DRAWING NO. 1118 0000004 | | REV |