

# **SUPPORTING STATEMENT**

## **Householder Planning Application**

Proposed extension and alteration

3 Lime Tree Grove, Pill, BS20 0HG

On behalf of Mr A Wood

Dexter Building Design Ltd

October 2023

## **Introduction**

This report has been commissioned by the applicant, Mr A Wood.

This report has been prepared in support of a householder planning application for extension and alteration of the dwelling at 3 Lime Tree Grove, Pill.

This Planning Statement will describe the site and its surroundings, provide a brief history of the site, describe the development proposals, describe the relevant local and national planning policy, analyse the development against the relevant planning policies, and draw some conclusions.

## Location and Surrounding Area

3 Lime Tree Grove (herein 'the site') comprises a two-storey detached dwelling within the Pill settlement boundary. The site (see **Figure 1**) occupies a corner position to the left of the T-Junction at the end of Lime Tree Grove. The surrounding area is predominantly in residential use.



Figure 1 – Aerial View of the application site. [Source: Google Maps]

The host building is set within a large curtilage. It has a driveway accessed off Lime Tree Grove and the site that offers off-street parking for 2/3 cars. The host dwelling and detached garage are positioned in the southern end of the site.

The application site is not in a North Somerset and Mendip Bats SAC Consultation Zone C. It is in Flood Zone 1. It is not affected by designated or undesignated heritage assets and is not on Article 2(3) land.

## **Planning History**

The application site has no planning history recorded on North Somerset Council's website.

## The Proposals

The development seeks planning permission to extend and alter the existing dwelling by proposing single storey and two storey extensions (with open-sided porch), facilitated by demolition of the detached single storey garage, rear conservatory, front porch, and single storey lean-to on the south (side) elevation.

An image of the existing elevation plans appears at **Figure 2**, and an image of the proposed elevation plans appear at **Figure 3**.



Figure 2 - Existing Elevation Plans (nts)

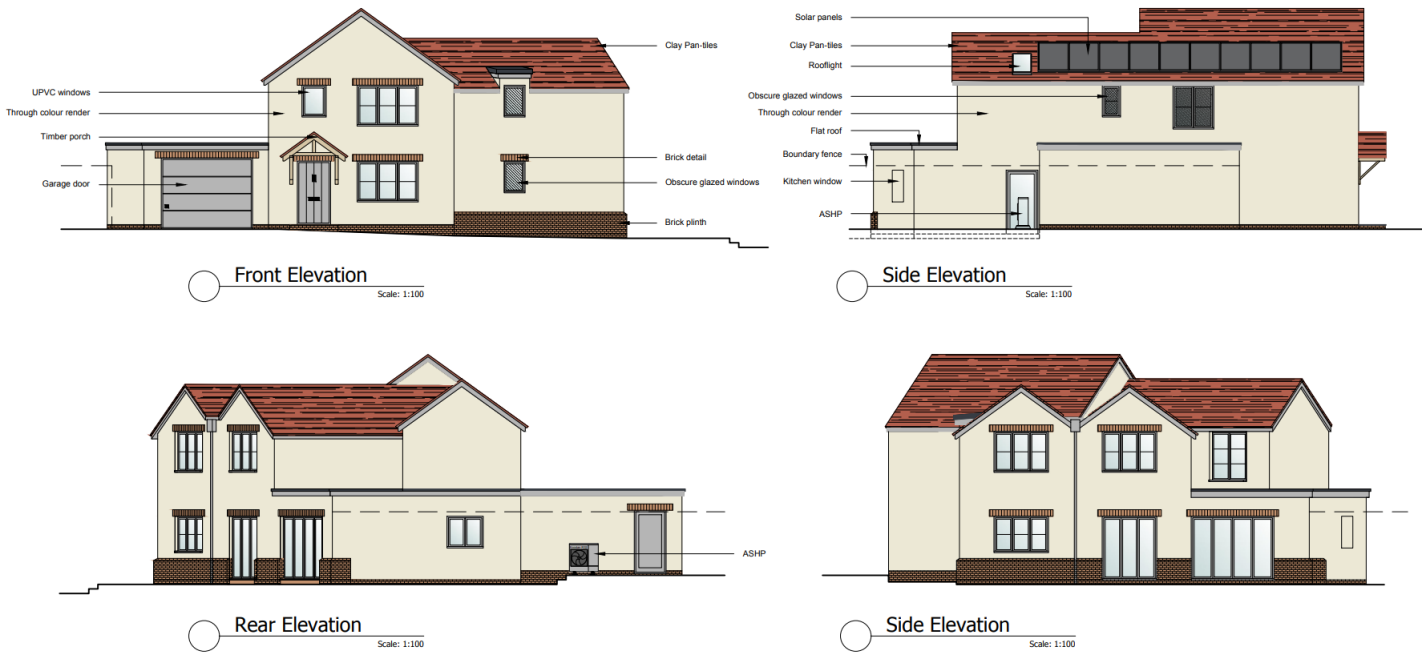


Figure 3 – Proposed Elevation Plans (nts).

The host dwelling has 2 bedrooms, and the proposed extension would add a further 2 bedrooms making a 4 bedroom property.

The extension would be finished in render to match the existing finish, with the addition of a brick plinth. The proposed roof tiles will match the existing. uPVC windows and doors would be utilised in the proposed development.

Off street parking will be available for upto 4 cars.

## Planning Policy

This planning policy review sets out local and national policy and legislation relevant to the proposals.

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 and Section 70 (2) of the Town and Country Planning Act 1990 requires that applications must be in accordance with the development plan unless material considerations indicate otherwise. The National Planning Policy Framework must be taken into account in the preparation of Local Plans and is a material consideration in planning decisions.

The North Somerset Development Plan comprises:

- Core Strategy (adopted January 2017);
- Site and Policies Plan Part 1: Development Management Policies July 2016
- Site and Policies Plan Part 2: Site Allocations Plan (April 2018).
- Neighbourhood Plans (where relevant)

Supplementary Planning Documents/Guidance (SPD/G) are also relevant considerations to a development proposal but do not form part of the statutory Development Plan.

### NATIONAL PLANNING POLICY GUIDANCE

#### **Sustainable Development**

The National Planning Policy Framework (NPPF) is underpinned by a presumption in favour of a sustainable development, which is '*at the heart of the Framework*' (paragraph 10).

The NPPF states at paragraph 7 that the purpose of the planning system is to contribute to the achievement of sustainable development with the three dimensions of sustainable development being economic, social, and environmental. Paragraph 8 states that: "Achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways (so that opportunities can be taken to secure net gains across each of the different objectives):

a) an economic objective – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and coordinating the provision of infrastructure;

b) a social objective – to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering a well-designed and safe built environment, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being; and

c) an environmental objective – to contribute to protecting and enhancing our natural, built and historic environment; including making effective use of land, helping to improve biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.

Paragraph 11 states *“Plans and decisions should apply a presumption in favour of sustainable development.”*

*For decision – taking this means:*

*c) approving development proposals that accord with an up-to-date development plan without delay; or*

*d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:*

*i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or*

*ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.”*

### **Decision Making**

Paragraph 47 states *“Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. Decisions on applications should be made as quickly as possible, and within statutory timescales unless a longer period has been agreed by the applicant in writing.”*

### **Achieving Well-Designed Places**

Paragraph 126 states *“The creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.”*

Paragraph 130 states *“Planning policies and decisions should ensure that developments:*

*a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*

*b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;*

*c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);*



*d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;*

*e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and*

*f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.”*

## LOCAL POLICY

### **North Somerset Core Strategy (January 2017)**

#### Policy CS11 – Parking

*Adequate parking must be provided and managed to meet the needs of anticipated users (residents, workers and visitors) in usable spaces. Overall parking provision must ensure a balance between good urban design, highway safety, residential amenity and promoting town centre attractiveness and vitality.*

*New developments must seek to maximise off street provision, assess where on-street provision may be appropriate, demonstrate that buses, service and emergency vehicles are not restricted, and ensure that the road network is safe for all users.*

*Detailed parking policy guidance for all forms of development will be provided as part of the Sites and Policies Development Plan Document.*

#### Policy CS12 – Achieving high quality design and place-making

##### ***Well-designed buildings and places***

*North Somerset Council is committed to achieving high quality buildings and places across all of North Somerset, in particular to support comprehensive regeneration at Weston-super-Mare. High quality architecture and urban design will be sought from development demonstrating a robust design process to generate solutions that have clearly considered the existing context, and contribute to social, economic and environmental sustainability. As part of a comprehensive place-making strategy new development should function well, supporting sustainable land uses and seek to improve the image of the area. Poor design standards in individual buildings and larger schemes are not acceptable.*

*Proposals of all scales will be required to demonstrate sensitivity to the existing local character already established in an area and should take the opportunity to enhance the sense of place and local identity through a well thought out design. Where the existing design characteristics are not considered of a high quality, new development should actively aim to enhance the area through good design. Schemes must be based on a thorough site appraisal.*

*In particular the following aspects of North Somerset's character should be maintained and enhanced in addition to the heritage aspects identified through Policy CS5.*

- *The historic built environment, for example the Victorian residential areas located throughout the district but focussed in the main towns;*
- *Coastal areas including key buildings and public spaces that contribute to the character and experience of the place;*
- *The historic rural settlements, particularly those in the Green Belt.*

*Design priorities include supporting town centre regeneration at Weston-super-Mare and the approaches into the town, delivering high quality new communities that exhibit best practice in place-making, and consolidating the individual character of settlements across the district informed by site/settlement character appraisals.*

*Development proposals should demonstrate a commitment to designing out crime through the creation of safe environments (both private and public) that benefit from natural surveillance, visible streets and open spaces, lighting and other security measures. Achieving Secured by Design certification will help to demonstrate how designing out crime has been taken into account.*

*Further detail will be set out in other Development Plan Documents alongside this strategic policy direction to guide development proposals and decision making. Developments should benefit from a rigorous design process in discussion with the local community and the council where appropriate making use of masterplanning, design frameworks and other delivery mechanisms to guide development.*

## **North Somerset Sites and Policies Plan Part 1 (July 2016)**

### **Policy DM28 – Parking Standards**

*Development proposals should meet the council's standards for the parking of motor vehicles and bicycles. For any use not covered by these standards, provision will be assessed according to individual circumstances, having regard to the transport objectives of the council. Regard will be given to the provisions of any submitted Travel Plan.*

*Development will not be permitted if the car parking arrangements would unacceptably harm the character of the area or the safe and effective operation of the local transport network. Planning applications must demonstrate to the satisfaction of the council that the functional parking needs of the development can be accommodated on or close to the site without prejudicing highway safety or resulting in an unacceptable impact on on-street parking in the surrounding area.*

*In addition, adequate area must be provided for the parking of vehicles waiting to load or unload. The parking of these vehicles on the highway will not be acceptable where it leads to highway safety issues or unacceptable delay.*

### Policy DM38 – Extensions to dwellings

Proposals to extend existing residential properties and construct new outbuildings which are ancillary to the main residential use will be permitted provided they:

- respect the massing, scale, proportions, materials and overall design and character of the existing property.
- do not harm the street scene or local area. This includes the loss of characteristic boundary features, original estate layout landscaping or visually important trees; and
- would not prejudice the living conditions of occupiers of adjoining properties and ensures the retention of adequate private amenity space, and take account of the councils parking standards.

## Planning Analysis

The development proposes extension and alteration to the host dwellinghouse. Householder extensions are governed by Policy DM38 of the Development Plan.

The proposed development would include demolition of the following existing features:

- Detached single garage.
- Lean-to side extension (south facade).
- Rear conservatory.

The proposed alterations under this development comprise the following:

- Erection of single storey flat roof side extension (south side) to form attached garage.
- Erection of side (north) and rear two storey pitched roof extension, with single storey rear flat roof extension.
- Associated works including roof mounted PV panel array.

The proposed ground floor extensions will respect the scale of the two-storey host building by adopting a lower ridge that will be subservient in height. The use of proposed materials such as will afford the development a high-quality design that will blend seamlessly with the host dwelling.

The site's position at a corner plot means it is not part of a linear run of other dwellings, giving it relative isolation from the street-scene, and therefore the property is less sensitive to change than others in the surroundings.

The development is proposed on a disproportionately large curtilage, so adequate private amenity space would be retained for the occupants, and adequate off-street parking provision can be provided. The scale of the host plot is more suited to a 4 bedroom house like the one proposed compared to the existing two bedroom dwelling.

Because of the orientation of the plot and the extensions, they will not impact neighbouring private amenity space. Any of the proposed first floor windows that would otherwise potentially create overlooking concerns are to be treated with obscured glazing in the proposed design.

As such, the development would adhere to Policy DM38.

The existing access would be re-used. The scheme proposes 4 bedrooms, and the site can accommodate a minimum of 4 off-street car parking spaces, so it therefore complies with Policy DM28.

The North Somerset Residential Design Guide has been consulted and the proposed scheme is considered to pass all the relevant tests.

It is therefore submitted that the development adheres with the relevant policy tests of the Development Plan, supplementary planning guidance, and the NPPF.

## **Conclusion**

This application seeks proposed extension and alteration to the existing dwelling at 3 Lime Tree Grove.

It has been demonstrated by this statement that the proposals would not have an adverse impact in terms of design, parking, construction materials, or on neighbouring amenity.

The proposed development should therefore be approved, and no material considerations suggest otherwise.

If you require any further information, please do not hesitate to contact us.