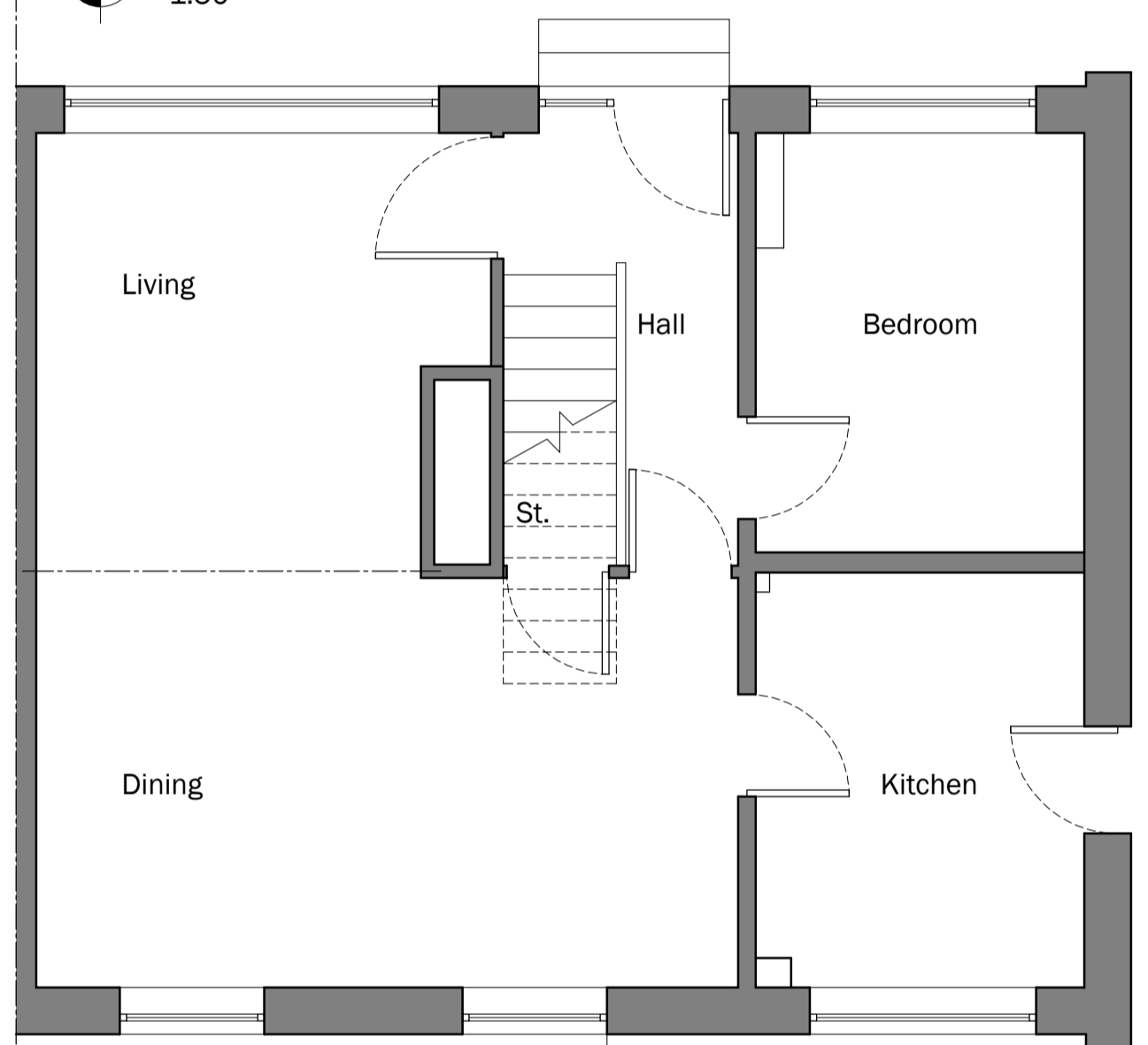


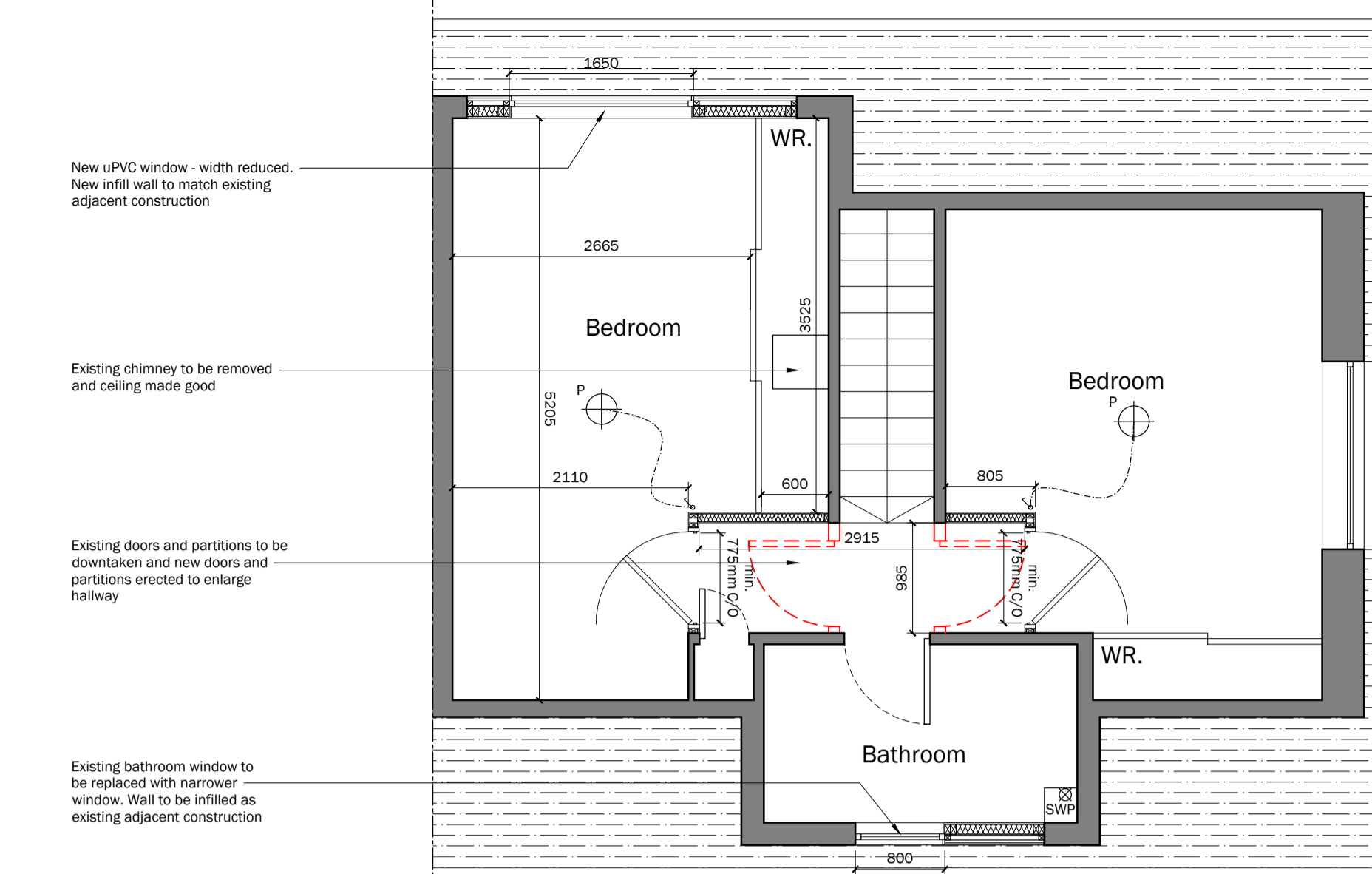
First Floor Plan as Existing
1:50



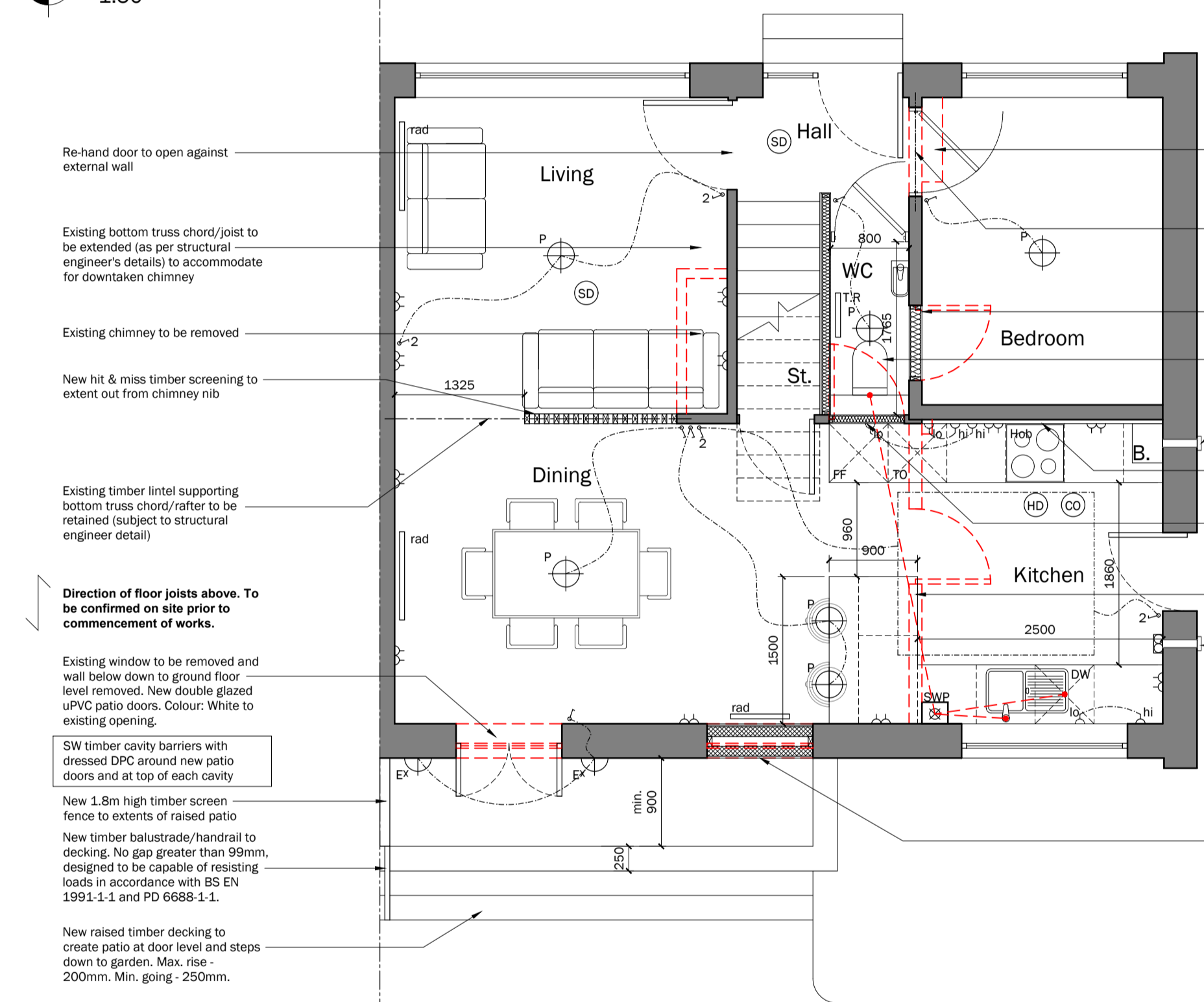
Ground Floor Plan as Existing
1:50



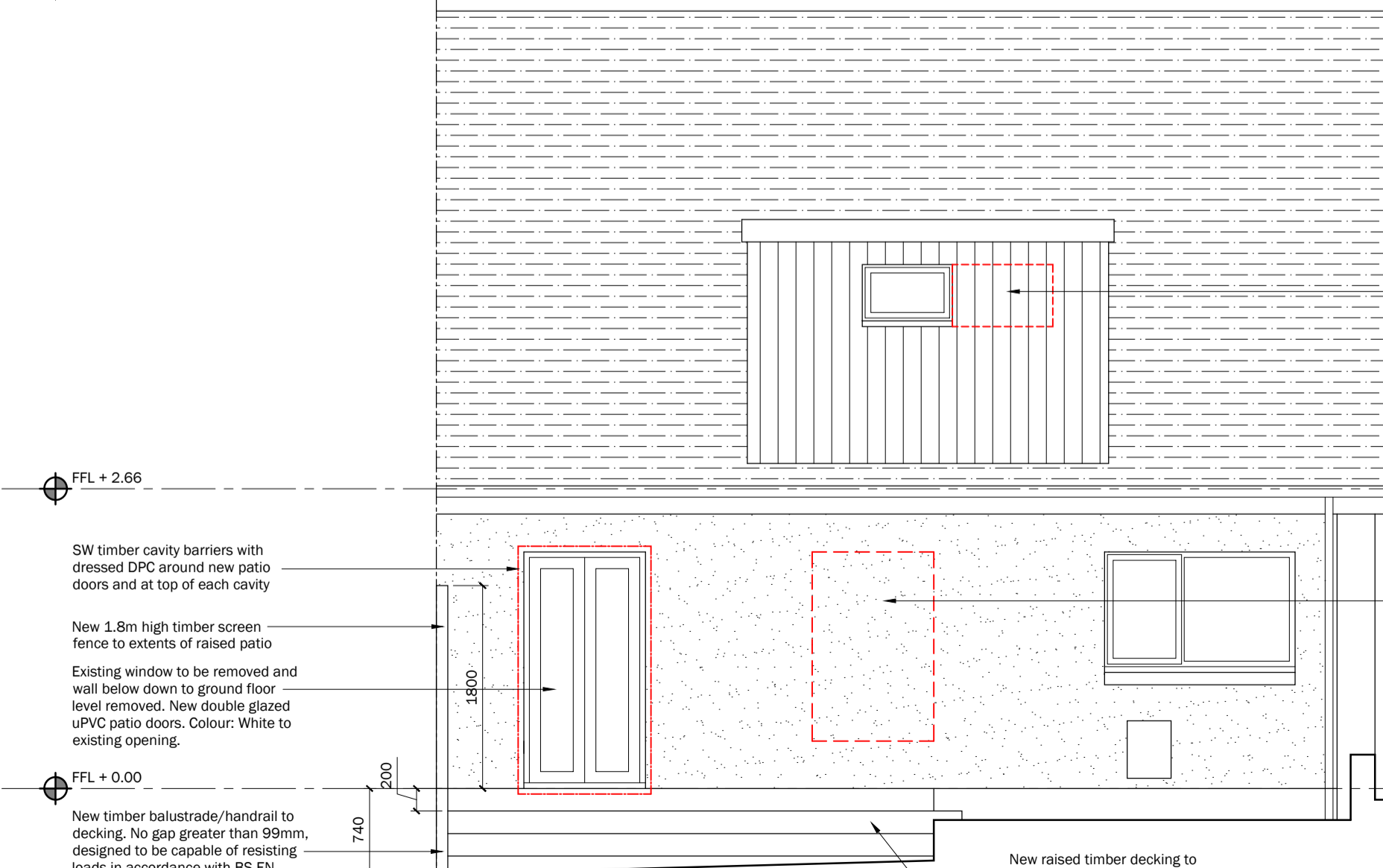
Rear Elevation as Existing
1:50



First Floor Plan as Proposed
1:50

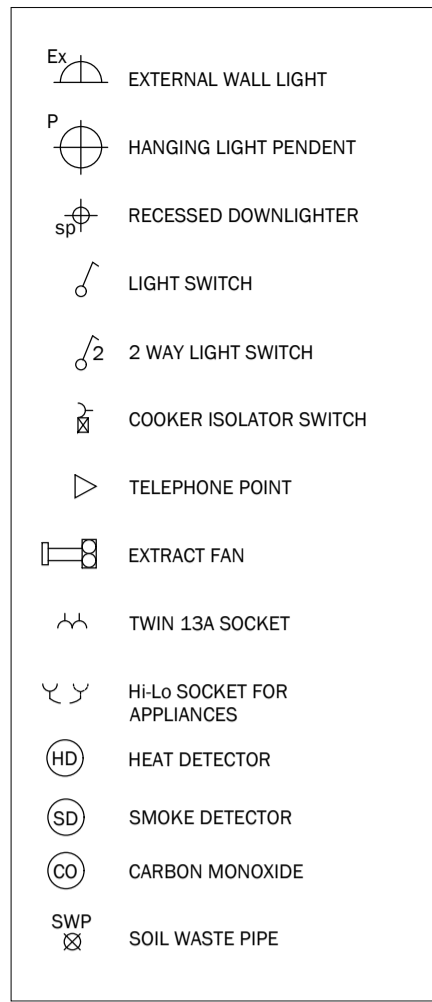


Ground Floor Plan as Proposed
1:50



Rear Elevation as Proposed
1:50

Electrical Key



Note:
Asbestos may be present given the age of the property. All works to be adequately risk assessed prior to commencement and any Asbestos should be noted and removed by a specialist sub-contractor.

- New uPVC window - width reduced. New infill wall to match existing adjacent construction
- Existing chimney to be removed and ceiling made good
- Existing doors and partitions to be dismantled and new doors and partitions erected to enlarge hallway
- Existing bathroom window to be replaced with narrower window. Wall to be infilled as existing adjacent construction

- Re-hand door to open against external wall
- Existing bottom truss chord/joist to be extended (as per structural engineer's details) to accommodate for dismantled chimney
- Existing chimney to be removed
- New hit & miss timber screening to extend out from chimney rib
- Existing timber lintel supporting bottom truss chord/joist to be retained (subject to structural engineer detail)

- Direction of floor joists above. To be confirmed on site prior to commencement of works.**
- Existing window to be removed and wall below down to ground floor level removed. New double glazed uPVC patio doors. Colour: White to existing opening.
- SW timber cavity barriers with dressed DPC around new patio doors and at top of each cavity
- New 1.8m high timber screen fence to extents of raised patio
- New timber balustrade/handrail to decking. No gap greater than 99mm, designed to be capable of resisting loads in accordance with BS EN 1991-1-1 and PD 6688-1-1.
- New raised timber decking to create patio at door level and steps down to garden. Max. rise - 200mm. Min. going - 250mm.

- Existing electrical consumer unit being relocated under client direction to Scottish Power. New location TBC.
- Relocate door to bedroom. New lintel in existing masonry wall to structural engineer design and specification
- Existing door to be removed and opening infilled with SW timber frame and plasterboard
- Form new WC within hallway. Drainage below existing suspended floor connected back to existing SWP
- Boiler to be retained in existing location. All works by Gas Safe Registered engineer
- Existing kitchen wall to be lined as required to create flush wall through across kitchen extents
- Existing door to be removed and opening infilled with SW timber frame and plasterboard
- Existing internal masonry wall. Assumed to be non-loadbearing - structural engineer to confirm
- New MEV extract fan to kitchen cored through existing wall

Electrical Sockets
Ensure that there are minimum 6m within the kitchen, at least 3 of which should be situated above worktop level in addition to any outlets provided for floor-standing white goods or built-in appliances

- Existing window to be removed and opening infilled as existing adjacent construction

- Existing bathroom window to be replaced with narrower window. Wall to be infilled as existing adjacent construction

- Existing window to be removed and opening infilled as existing adjacent construction

New raised timber decking to create patio at door level and steps down to garden. Max. rise - 200mm. Min. going - 250mm.

DO NOT SCALE FROM DRAWINGS
All dimensions to be checked on site by Contractor and any discrepancies to be notified to the Architect prior to works being commenced. Use Figured Dimensions ONLY.

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Notes:
Proposed Downtakings

Rev	Date	Description	Iss
Project Status: Building Warrant			
Internal & External Alterations			
Ms Fiona Sutherland 33 Buchanan Drive Lenzie G66 5HR		General Arrangement as Existing & Proposed	
Scale: As noted @ A1			

