

Pump Farmhouse, Brentwood Heritage Statement



Client:
CB Architecture

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Pump Farmhouse, Brentwood Heritage Statement

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1. Introduction

- 1.1. This Heritage Assessment has been prepared by Place Services for CB Architecture. This document provides an assessment of heritage significance for Pump Farmhouse, Brentwood and herein referred to as 'the Site'. The location and extent of the Site is shown in **Figure 1**.



Figure 1: Location Plan

- 1.2. This report provides a baseline summary of the significance of the Grade II Listed building based on documentary research and a site inspection. The aim is to assess the significance of the heritage asset to inform an appropriate development proposal at the Site.
- 1.3. This report provides an assessment of significance and does not offer an assessment of the appropriateness of any proposed scheme for alterations or extension to the listed building.
- 1.4. This assessment follows best practice procedures produced by Historic England^{1,2,3,4}, and the Chartered Institute for Archaeologists⁵ and is designed to meet the requirements of heritage planning policy contained in Section 16 of the National Planning Policy Framework (NPPF).⁶
- 1.5. Planning policy, legislation and guidance relating to the historic environment (see **Appendix A** for detail) highlights the need to consider all elements of the historic environment to inform the planning process, including, where appropriate, measures to mitigate adverse impacts from proposed developments.

¹ Historic England, July 2015. *The Historic Environment in Local Plans - Historic Environment Good Practice Advice in Planning: 1*.

² Historic England, July 2015. *Managing Significance in Decision-Taking in the Historic Environment - Historic Environment Good Practice Advice in Planning: 2*.

³ Historic England, December 2017. *The Setting of Heritage Assets - Historic Environment Good Practice Advice in Planning Note 3 (Second Edition)*.

⁴ Historic England, 2019. *Statements of Heritage Significance: Analysing Significance in Heritage Assets*

⁵ Chartered Institute for Archaeologists, January 2017. *Standard and guidance for historic environment desk-based assessment*.

⁶ Department for Communities and Local Government, 2021. *National Planning Policy Framework*.



The Site

- 1.6. The Site comprises the Grade II listed Pump Farmhouse (List Entry Number: 1208263) located at Warley Gap on the outskirts of Brentwood. The property comprises the former farmhouse and some modern outbuildings. The historic agricultural outbuildings to the north and northeast of the farmhouse are in separate ownership. The listing description is located in Appendix B.

2. Methodology

- 2.1. This report provides a baseline assessment of the potential impacts on the heritage asset arising from development within the Site. No assessment is given of any specific proposals for development.
- 2.2. This assessment has included the following:
- Identification of any designated or non-designated heritage assets potentially affected by future and proposed alterations,
 - Research to obtain information from historic maps, documents and secondary sources relating to identified heritage assets,
 - Consultation of Historic England's National Heritage List,
 - A walk-over survey of the Site and the surrounding area,
 - Assessment of the heritage significance of the identified heritage assets, including the contribution made by setting to significance, and
 - Consultation of local and national planning policy and guidance pertaining to heritage.
- 2.3. Statutory designation descriptions are reproduced in **Appendix B** of this report.
- 2.4. The Site was visited in January 2023. The aim of the site visit was to identify features of heritage merit and understand the building's significance. A photographic record of the visit was made, and a number of the resultant images are reproduced in this report.
- 2.5. Section 3 of this report provides an overview of the historical development of the Site and its surroundings.
- 2.6. An analysis of the existing Site conditions, based on the Site inspection, is presented in Section 4.
- 2.7. Section 5 provides an assessment of the significance of the heritage asset, and how this could potentially be affected by future alterations. To assess the heritage significance of the identified heritage assets, this report has drawn guidance from Historic England⁷ which recommends making assessments under the categories of: Archaeological interest, Architectural and Artistic interest, and Historic interest.
- 2.8. Section 6 summarises recommendations as a result of the assessment.

⁷ Historic England, 2019. *Statements of Heritage Significance: Analysing Significance in Heritage Assets: Historic England Advice Note 12.*

3. Heritage Baseline

Heritage Assets

Designated Heritage Assets considered relevant to the assessment

- 3.1. The designated heritage asset relevant to this assessment is Grade II listed Pump Farmhouse (List Entry Number: 1208263). The listing description is reproduced in **Appendix B**. Unusually, for a listing completed in 1975, there are elements of the building excluded from the listing. The list description notes that extensions at the north west and north east of the building are excluded from the listing. However, given the listing was produced 15 years before the relevant 1990 legislation, I do not consider the listing should be relied on to inform a sympathetic scheme. This is especially as any elements that could be excluded from a listing are not easily clarified to the level of detail they would be under the 2013 Enterprise and Regulatory Reform Act.
- 3.2. The listing description suggests the building is early nineteenth century. However, research has suggested the building was constructed in the second half of the nineteenth century.

Historical Overview

- 3.3. Pump Farmhouse is located in Little Warley which is located to the south of Brentwood. In 1066 the Manor of Warley was held by Guert and was relinquished under William I to William Bishop of London.
- 3.4. The area has always been a predominantly agricultural parish. The Domesday Survey (1086) notes a number of swine pastures in Little Warley, with the area believed to have been one of the most densely wooded places in Essex.
- 3.5. In 1086 there were 12 inhabitants in the parish. By 1671 this had risen to 23 occupied houses. In 1801 there were 163 inhabitants which rose to 216 by 1841. The parish had 988 inhabitants by 1851, 644 of whom were soldiers and around 100 were soldiers' families and officers.
- 3.6. The parish had been thinly populated until 1742 when Warley Common was used for a military camp and again used on several occasions in the late eighteenth century. By 1805 the War Office had purchased 116 acres of common, building permanent barracks for two troops of horse artillery. The barracks, and various other buildings, were located to the north of the Site around Eagle Road and Warley Hill. In 1843 the East India Company purchased the barracks and further developed the Site before selling it back to the War Office in 1861. From 1873-1959 the barracks were the depot for the Essex regiment. In 1961 Ford Motor Company purchased the land and opened their central office in 1964 on the site of the demolished barracks⁸. This building still stands and is currently undergoing residential conversion.

⁸ [Little Warley | British History Online \(british-history.ac.uk\)](http://LittleWarley|BritishHistoryOnline(british-history.ac.uk))

- 3.7. As a separate parish the largest permanent population in Little Warley was in around 1851 when it numbered around 250. In 1934 the Parish, which was in the Billericay District, was divided at the railway line between Billericay District (now Basildon Borough) and Brentwood. In 1938 the area south of the railway was transferred from Billericay to Thurrock.⁹
- 3.8. Pump Farmhouse is located in an area called 'Warley Gap', a narrow belt of woodland running steeply down from the rear of the former Ford Headquarters. This woodland contains Oak, Beech and Silver Birch trees. On the woodland floor are remains of pits and banks which were created by historic gravel workings.
- 3.9. The earliest cartography to depict a building at the Site is the 1777 Chapman and Andrew Map of Essex (**Figure 2**). The map notes 'Pump Farm' and a domestic curtilage is depicted showing a farmhouse and ancillary building. The Common, where a military camp was located, is mapped to the north of Holden Wood'. The common extends south clearly showing the geography from which the name 'Warley Gap' derived as a break in the woodland at this time. The map shows the steep topographical drop to the south of the Site.

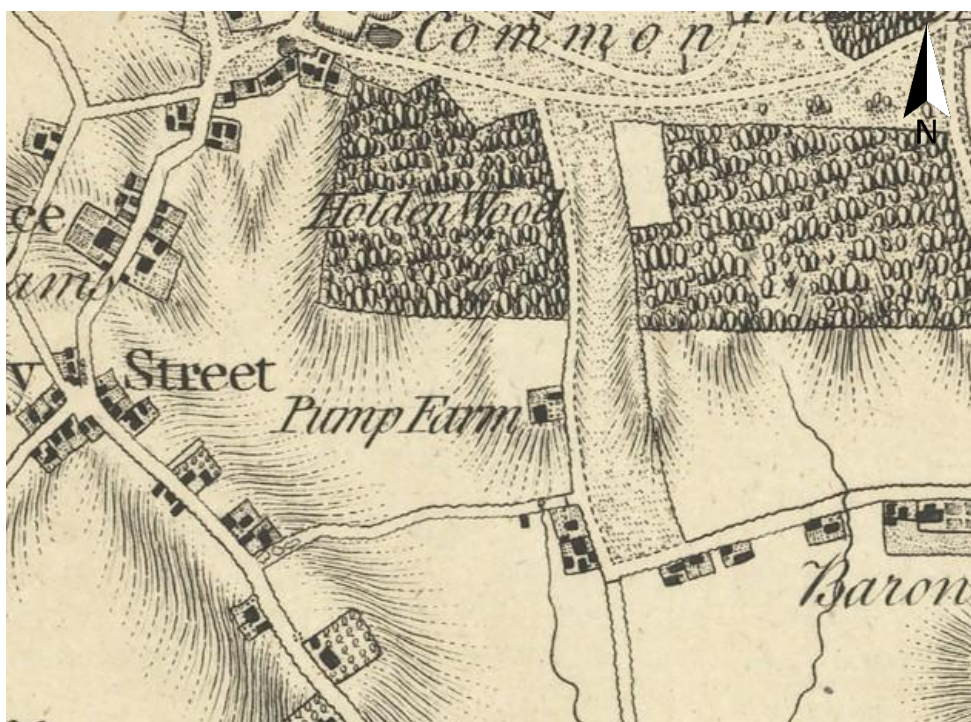


Figure 2: Chapman and Andre Map of Essex, 1777

- 3.10. The 1837 Tithe Map (**Figure 3**) is the earliest source to show the building footprints within the Site in detail. The maps shows the main house joined to the outbuilding, although this is actually shown detached on the later and more accurate Ordnance Survey map (**Figure 4**). The house is shown on the west side of the Site within a domestic curtilage to the west and the yard to its east. Plot 33 is recorded on the Tithe Apportionment as a homestead which was owned by a Charles Winn and leased to Richard Alexander. The same owner/lease arrangement was also recorded for the surrounding fields. Plot 34 was called Barn Field (in arable use), confirming the outbuildings were likely barns. Plot 35 was a field under pasture called

⁹ [Little Warley | British History Online \(british-history.ac.uk\)](http://LittleWarley.BritishHistoryOnline.org.uk)

'Pightle'. Plot 36 was a field under pasture called 'Pump Field'. Plot 40 as called 'Grove Field' and under pasture. Plot 41 was called 'Home Field' and in arable use, this was likely named as it was adjacent to the dwelling house. Charles Winn also leased further fields to Alexander in the wider area. The Winn family are recorded to have held the barony of Great Warley and Little Warley until 1913. There were two family members named Charles Winn in the nineteenth century, the elder died in 1877 (likely mentioned in the Tithe Apportionment) and the second died in 1913 with whom the barony ceased.

- 3.11. The Tithe Map suggests the Site was the core of a farm in the mid nineteenth century which was leased by the owners of an extensive estate across Warley.



Figure 3: Tithe Map, 1837

- 3.12. The first edition Ordnance Survey (**Figure 4**) depicts the arrangement shown on the Tithe Map in detail. The Site is shown on the west side of the woodland belt of Warley Common (Warley Gap) and the map shows footpaths laid out in this space. The dwelling fronted east onto the farmyard. The domestic garden was located to the south and a garden orchard to the west. The north and east side of the farmyard, accessed at the east, was bounded by outbuildings and at least one is believed to have been a barn.

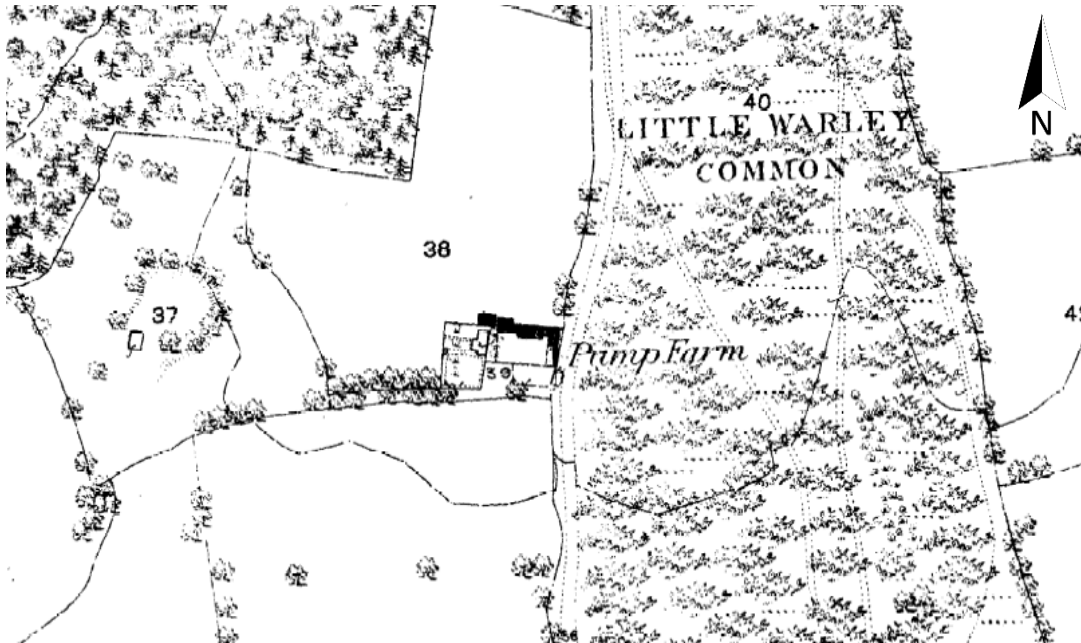


Figure 4: First Edition Ordnance Survey 25 Inch, 1875

3.13. The 1896 Ordnance Survey (OS) (Figure 5) shows that significant change had happened at the Site in the late nineteenth century between 1875-96. The farmhouse had been demolished and replaced with the existing building. The new structure was reorientated to face south, taking advantage of the topography and views afforded. The footprint of the main pile is the same as existing with exception of the northwest corner which was not yet constructed. An outbuilding was attached to the northwest corner as existing.

3.14. The Site was accessed at the east. A number of outbuildings were located to the north and around a yard at the northeast of the house. It appears all of the pre-existing, shown on earlier maps, outbuildings had been replaced.

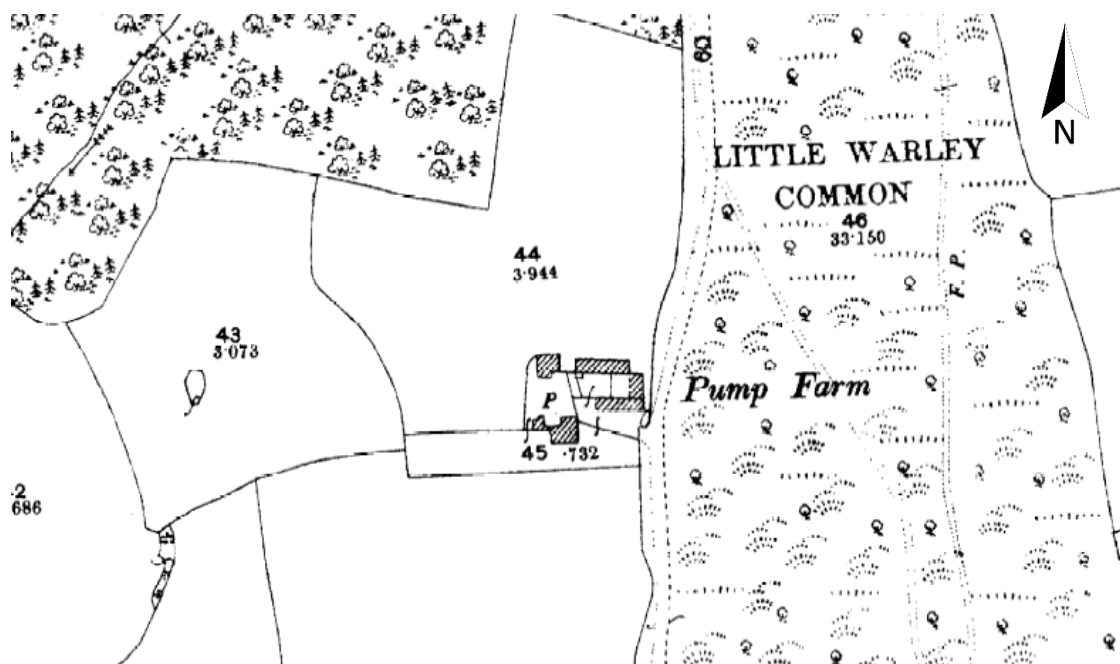


Figure 5: Ordnance Survey, 1896

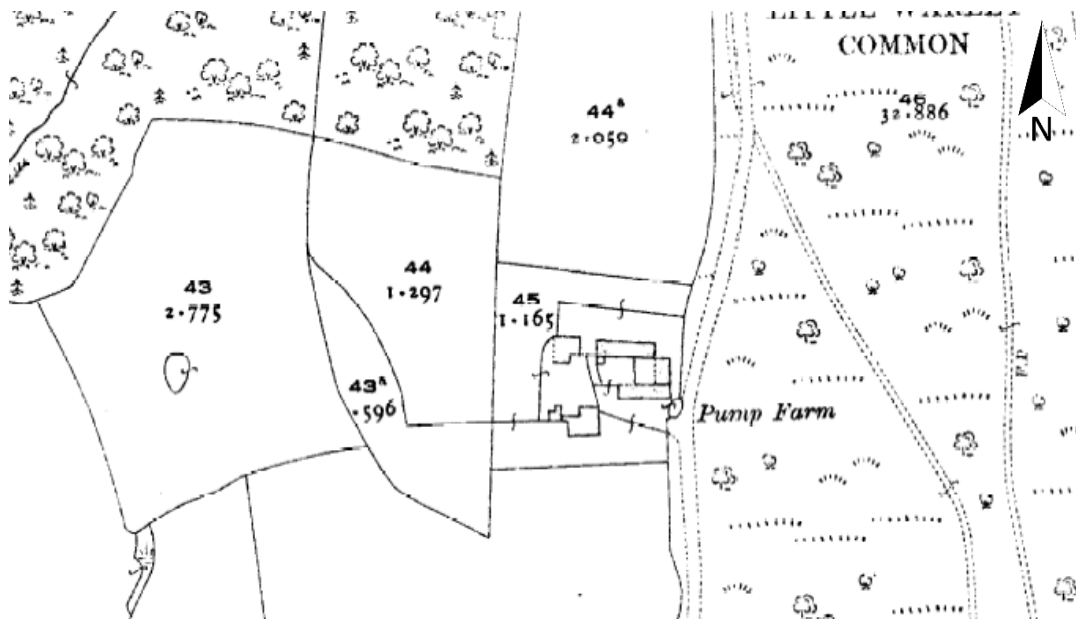


Figure 6: Ordnance Survey, 1919

3.15. The 1919 OS (**Figure 6**) shows no fundamental change at the Site.

3.16. An aerial photograph (**Figure 7**), taken in 1947, depicts significant change at the Site. Since 1919 the farm's land holding to the north had been truncated as the result of a new residential property and its formal gardens. The aerial photograph clearly shows the areas of domestic garden to the south of the dwelling and the farm yard and ancillary buildings on the north side of the Site (now in separate ownership). The aerial photograph confirms three significant changes to the dwelling which can be dated to have taken place between 1919-1947. These include:

- The north west corner of the building was extended, 'squaring-off' the footprint of the main pile,
- A single storey pitched roof structure was constructed on the north side of the house, possibly as a wash house. This building is currently connected by a lean-to to the dwelling which is believed to have been pre-existing or contemporary, and
- The connection to the outbuilding on the west side had been extended, this is discussed further in the following section.

3.17. The roof of the building is clearly shown on the photograph. This suggests the original roof was hipped east-west across the frontage with a hipped rear return, this had been repeated for the extension forming a 'u-shape' in the ridgeline.

3.18. A second aerial photograph taken in the same year (**Figure 8**) shows more detail of the property and the rear elevation.

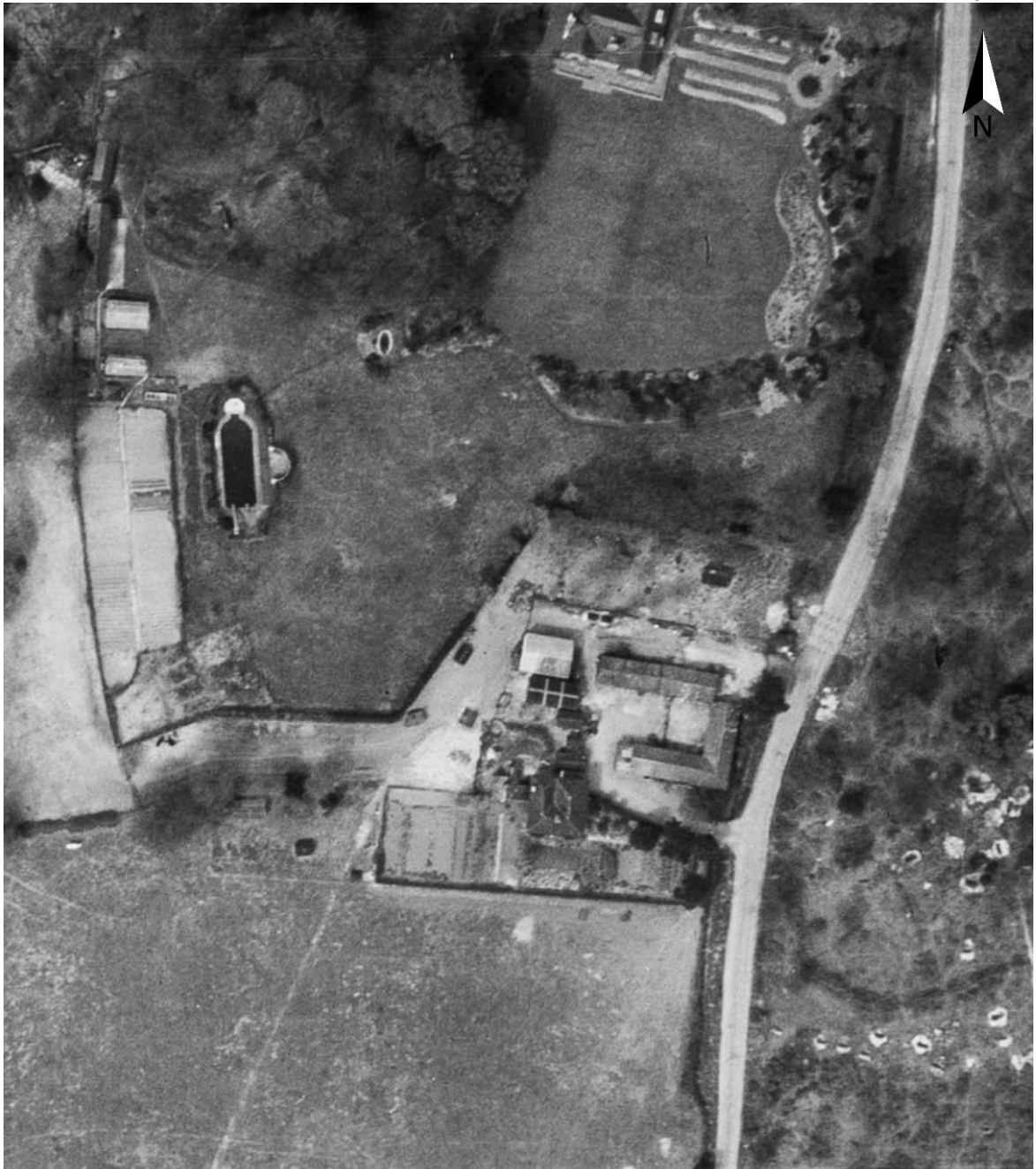


Figure 7: Aerial Photograph, 1947 (Historic England: raf_cpe_uk_2037_v_5060)

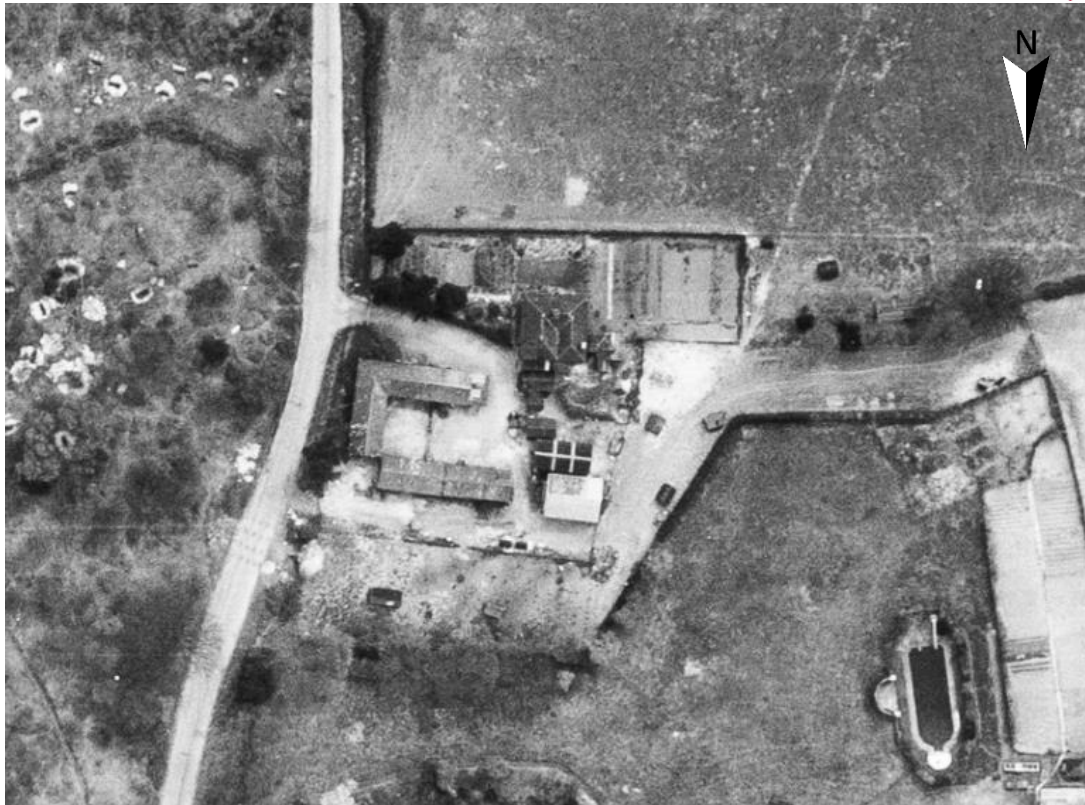


Figure 8: Aerial Photograph, 1947 (Historic England: raf_cpe_uk_2037_v_5116)

3.19. An aerial photograph taken in 1960 (**Figure 9**) shows minor changes at the Site. The formal gardens of the neighbouring dwelling to the north had matured. Additional agricultural buildings, in the form of long sheds, possibly for chickens, had been constructed at the farm, to the west of the dwelling and along the northern boundary. A 1970s aerial photograph (**Figure 10**) shows a new access, in the form of a track, had been formed from the road along the southern boundary of the domestic garden. Documents passed with the house suggest it was once divided into two houses for a period. The second track, leading to the west side of the property may be a result of this.



Figure 9: Aerial Photograph, 1960 (Essex County Council)



Figure 10: Aerial Photograph, 1970 (Essex County Council)



Figure 11: Aerial Photograph, 1990 (Essex County Council)

3.20. Two photographs of the property were taken by members of the Essex Historic Buildings Team in 1990. These are reproduced in **Figures 12** and **13**.



Figure 12: Photograph of Pump Farmhouse from southwest, 1990 (Essex County Council)



Figure 13: Photograph of Pump Farmhouse from north, 1990 (Essex County Council)

3.21. Brentwood Council holds planning history for the Site which includes:

- 91/00001/LBC: Erection of Garden Shed in Front Garden: Refused
- 91/00019/LBC: Garden Shed: Permitted
- 91/00234/FUL: Garden Shed: Permitted
- 93/00204/FUL: Erection of Wooden Barn for Storage of Agricultural Machinery and Equipment Associated with Viticulture: Permitted
- 07/00010/S192: Certificated of Lawfulness for Proposed Development Comprising the Erection of a Single Storey Extension at the Rear: Permitted
- 07/00019/LBC: Single Storey Side Extension: Permitted
- 15/000863/FUL: Construction of a Canopy over Front Door and Side Enclosed Porch: Permitted
- 15/000864/LBC: Construction of a Canopy over Front Door and Side Enclosed Porch: Permitted

3.22. The 2007 application indicates that the existing garden room on the west elevation was constructed after this time. The 'as existing' elevations in the application (**Figure 14**) are interesting in that they show the existing door to the attached outbuilding was previously a window. The flathead arch of the window also suggests this was not original. The 2015 applications confirm the front porch and side (east) addition date to after this time.

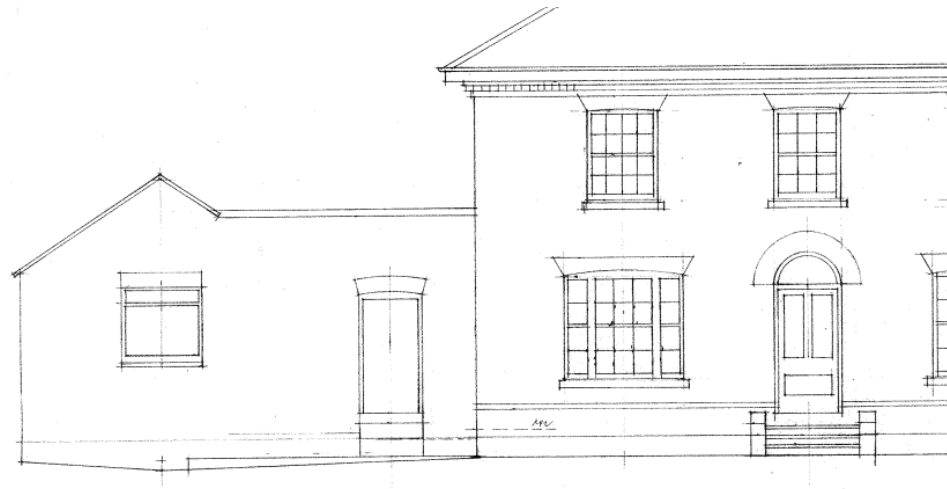


Figure 14: 'As existing' elevation of Pump Farmhouse from 2007 application 07/00010/192

4. Site Assessment

- 4.1. A site visit was undertaken in January 2023. The Site is accessed on the east side from Warley Gap. The Site comprises the former farmhouse and a detached outbuilding to the north. The historic associated agricultural outbuildings now form a separate property.
- 4.2. The farmhouse faces south, taking advantage of the topography which drops from north to south down Warley Gap. The setting of the farmhouse makes an important contribution to its significance.
- 4.3. The farmhouse is a three-bay, two storey dwelling with extensions on the north, west and east elevations.

External

- 4.4. The principal elevation of the building faces south. The façade is constructed of a yellow stock brick laid in Flemish bond with queen closers flanking fenestration. Differing colours of bricks are used at the corners, presenting a quoin arrangement in the masonry. The elevation terminates at a decorative eaves course and overhanging eaves. The windows have stone cills and brick voussoirs in segmental arch heads. The sash windows in this elevation, with horns at the sash meeting rails, are believed to be original.
- 4.5. The recent porch addition is unfortunate as it over embellishes the elevation which was designed to be a more simple façade. The rainwater downpipe is also located in an unfortunate position in the centre of the façade.



Figure 15: View of front south elevation

- 4.6. The east elevation contains four original sash windows set within the brick masonry. A monopitch extension has been added to the northeast corner of the building since 2015.
- 4.7. The rear south elevation retains one original sash window. The western portion of the elevation was constructed in the period 1919-1946. This extension was completed to a high aesthetic quality. The bricks are well matched and tied in. One difference, to the original build, is found in the cills, which are concrete.
- 4.8. What is believed to have been a detached washroom (also constructed 1919-1946) is attached to the main pile, on the north side, via a later lean-to link. The single storey former washroom has been extensively altered which is observed in the brick masonry.
- 4.9. The break in the brickwork on the west elevation, of the original pile and 1919-46 extension, is not overly apparent. A garden room has been added to this elevation since 2007.



Figure 16: View of northeast corner



Figure 17: View of northwest corner



Figure 18: View of southwest corner

4.10. The outbuilding attached to the west elevation is part of the original building. This has however been subject to some alteration. The link to the building has been widened. The significance of this nineteenth century ancillary part of the building has been compromised by the asbestos roof replacement and the brick masonry

has a mixture of crude phases of patchy and poor-quality masonry. Many of the window and door locations are of modern derivation.



Figure 19: View of north west corner of outbuilding



Figure 20: View of rear/north of link

Internal

Ground Floor

- 4.11. The two historic principal rooms are located to the front of the building either side of the central stair forming a 'double-pile' arrangement. Features of note in these rooms include windows, doors, skirting and fireplace locations.
- 4.12. The room at the north east corner, within the original footprint, was the early kitchen which has retained its stone floor and the location of the former range is evident.
- 4.13. The former detached washroom, on the north side, has been altered internally with blocked openings evident. The link lean-to structure to this building contains no features of significance.
- 4.14. The north west room in the main pile was constructed between 1919-1946 and as such the interior is of relatively modern derivation, including the secondary stair which was installed around this time.
- 4.15. The attached outbuilding to the west of the pile has been subject to much alteration with many phases and patches of brick masonry. A historic timber is located at ceiling height; this is considered to be reused and not primary to this structure, due to the joint locations for joists which are not present. The floor of the link between the outbuilding and main pile suggests it was enlarged; the floor shows the original width in the brick surface and also the remains of the earlier wall and a rear door, this also accounts for the slackening of the pitch to form a subtle catslide roof.
- 4.16. The entrance lobby to the main pile, at the base of the stair, has a tiled surface which is believed to be early/original to the building.



Figure 21: View of principal room at southeast corner



Figure 22: View of principal room at southwest corner



Figure 23: View of original kitchen at northeast corner



Figure 24: View of attached outbuilding at west of main pile

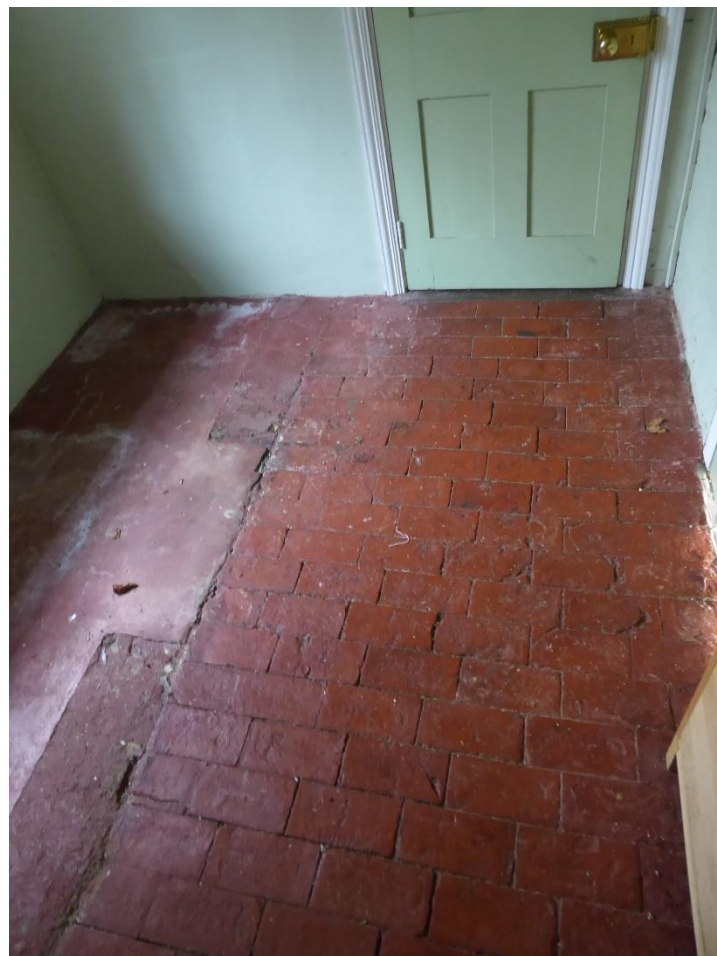


Figure 25: View of floor in link showing original width



Figure 26: View of lobby to main entrance with early tiles

Second Floor

- 4.17. The second floor retains five rooms within the original footprint. The two principal bedrooms are located to the front of the property with a small room centrally between them over the stair (accessed from the south east room) which currently holds an ensuite. Features of interest in these rooms include doors, skirting and fireplaces. Two ancillary rooms are located in the north east corner which were likely for children or staff in the original house. These two rooms retain little fixtures of interest, but the floor plan here is believed to be original.
- 4.18. The room at the north west corner was constructed as part of the 1919-1946 extension. This room is accessed by the secondary stair. Assuming the fireplace is not reused and was new to the building when this extension was constructed, the build date for this extension would likely be closer to 1919.



Figure 28: View of bedroom at southeast corner



Figure 29: View of bedroom at southwest corner



Figure 30: View of bedroom at northwest corner

Roof

4.19. The building's slate roof was constructed in two phases. The original roof was hipped over the three southern bays (the main stair and principal rooms) and there was a hipped return extending north over the kitchen footprint. In 1919 the roof was extended from the existing south roof to form a second hipped return, forming a double pitch on the northern side of the building.

Phased Development

4.20. The phased plans below show an interpretation of the building's chronological development.

4.21. Site investigation and historical analysis has revealed that a farm has been located at this Site since at least the eighteenth century. The earlier farmhouse and outbuildings were demolished in the period 1875-1896 when the existing farmhouse was constructed. The original building was L-shape in plan with a three bay south facing frontage with an ancillary building attached on the west side. In the period 1919-1946, a significant two floor extension was added to the northwest corner of the main pile. The connection to the outbuilding was widened and a single storey outbuilding, likely a wash house, was added to the rear north. This outbuilding was then attached, via a lean-to, either at the same time or soon after, to the main pile. During the past 15 years a garden room has been added to the west elevation, a boot room/porch to the east elevation and an open porch to the front south elevation.

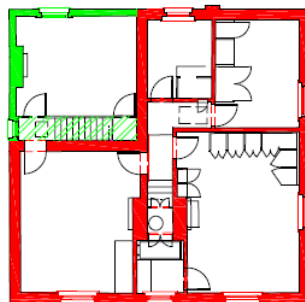


Figure 31: Floor plans (GF top / FF bottom) showing phases of development



Figure 32: South elevation showing phases of development



Figure 33: North elevation showing phases of development



Figure 34: East elevation showing phases of development



Figure 35: West elevation showing phases of development

5. Assessment of Significance

Significance Criteria

- 5.1 The intrinsic significance unique to each heritage asset can be defined as the sum of tangible and intangible values which make it important to society. The significance of an asset or place may reflect its age, aesthetic, architectural quality, or fabric, as well as intangible qualities such as associations with historic people or events.
- 5.2 To assess the heritage significance of the identified heritage assets, this report has drawn guidance from Historic England which recommends making assessments under the categories of: Archaeological interest, Architectural and Artistic interest, and Historic interest.¹⁰ Together these attributes contribute to the overall significance of a place or site.
- 5.3 These attributes of significance are described as:
- **Archaeological interest**

There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.
 - **Architectural and artistic interest**

These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skills, like sculpture.
 - **Historic Interest**

An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation's history but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.
- 5.4 Setting also contributes to the significance of a heritage asset. The NPPF notes that setting is: *The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.*

¹⁰ Historic England, 2019. *Statements of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12.*

5.5 As outlined in Section Two of this report, this assessment has followed the steps set out in the Historic England Guidance document *The Setting of Heritage Assets*.¹¹

Statement of Significance

Archaeological Interest

- 5.6 The archaeological interest of Pump Farmhouse is limited. The existing building was constructed in the late nineteenth century to a design which is typical of this period. As such the extent to which the building furthers our understanding of the past is limited to a local level.
- 5.7 The existing farmhouse replaced an earlier structure which dated to at least the eighteenth century or possibly earlier. The redevelopment of the Site in the nineteenth century is believed to have completely removed the pre-existing structure and its associated outbuildings.

Architectural and Artistic Interest

- 5.8 The principal significance of the building is drawn from its architectural and artistic interest. Externally the building is a good example of a late nineteenth century, formally designed farmhouse. The front elevation projects a level of status with a classical frontage which retains its original door and sash windows. Whilst recent extensions have not been aesthetically sympathetic, historic extensions completed in the early twentieth century were of high quality.
- 5.9 Internally, little has survived of the fixtures and fittings. Notable features include the shutters to the ground floor and the stone floor to the former kitchen. In terms of plan form, the original layout is still legible, as is the arrangement of spaces and their uses in the building.
- 5.10 The building is considered to be of high quality and its architectural interest as not been significantly compromised.

Historic Interest

- 5.11 The Site is of local historic interest. Until the early twentieth century the farm formed part of the manor of Little Warley and later the extensive estate owned by the Winn family. With exception of the land's ownership, the Site is not known to be associated with any person or event beyond a local interest.

¹¹ Historic England, December 2017. *The Setting of Heritage Assets - Historic Environment Good Practice Advice in Planning Note 3 (Second Edition)*.

6. Conclusions & Recommendations

- 6.1 This Heritage Statement has been prepared by Place Services on behalf of CB Architecture and pertains to Pump Farmhouse, Brentwood ('the Site').
- 6.2 Historical analysis has revealed that a farm has been located at this Site since at least the eighteenth century. The earlier farmhouse and outbuildings were demolished in the period 1875-1896 when the existing farmhouse was constructed. The original building was L-shape in plan with a three bay, south facing frontage with an ancillary building attached on the west side. In the period 1919-1946 a significant two floor extension was added to the northwest corner of the main pile. The connection to the outbuilding was widened and a single storey outbuilding, likely a wash house, was added to the rear north elevation. This was attached, via a lean-to, then or soon after, to the main pile. In recent years a garden room has been added to the west elevation, a boot room/porch to the east elevation and an open porch to the front south elevation.
- 6.3 The main significance of the building is drawn from its architectural and artistic interest. The building is a good example of a late nineteenth century farmhouse constructed in a formal design. Historic additions to the building were of high quality and in-keeping with the original design. Internally the original plan form and use of spaces is still largely discernible. Many of the interior fixtures and fittings have been lost, although a number of doors and internal window fittings and shutters are present. Original windows are present throughout the building.
- 6.4 Listed building consent is required for any works that would impact a building's architectural and historic interest. In determining applications, Local Planning Authorities have a duty to "have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest"¹². The building's architectural and historic interest are elements of its overall significance. Paragraph 194 of the NPPF requires the significance of a heritage asset to be described and the potential impact of proposals on this significance to be assessed. Understanding an asset's significance leads to well-informed, sympathetic alterations and uses that conserve, and can enhance, that significance. This report provides an assessment of the Site and its significance. The understanding of significance can be used to provide guidance for the proposals to the Site.
- 6.5 Listed buildings are designated heritage assets and are considered to be an irreplaceable resource that should be conserved for future generations. As set out by Paragraph 199, great weight is placed on the conservation of heritage assets.
- 6.6 All statements and recommendations made in this assessment are subject to consultation and agreement with the Local Planning Authority.

¹² <https://www.legislation.gov.uk/ukpga/1990/9/section/66>

7. References and Sources

Bibliography

Chartered Institute for Archaeologists	2017	<i>Standard and guidance for historic environment desk-based assessment</i>
Department for Communities and Local Government	2021	<i>National Planning Policy Framework</i>
Historic England	2015	<i>Managing Significance in Decision-Taking in the Historic Environment - Historic Environment Good Practice Advice in Planning: 2</i>
Historic England	2017	<i>The Setting of Heritage Assets - Historic Environment Good Practice Advice in Planning Note 3 (Second Edition)</i>
Historic England	2019	<i>Statements of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12</i>

Appendix A

Legislation, National Planning Policy & Guidance

LEGISLATION/POLICY/ GUIDANCE	DOCUMENT	SECTION/POLICY
Primary Legislation	Planning (Listed Buildings and Conservation Areas) Act 1990	Section 16: Decision on application Section 66: General duty as respects listed buildings in exercise of planning functions. Section 72: General duty as respects conservation areas in exercise of planning functions.
National Planning Policy	National Planning Policy Framework (2021) DCLG	Chapter 16: Conserving and enhancing the historic environment Annex 2
National Planning Guidance	National Planning Practice Guidance (2019) DCLG	ID: 18a
National Planning Guidance – Historic England	Historic Environment Good Practice Advice in Planning 1 - The Historic Environment in Local Plans (2015) Historic Environment Good Practice Advice in Planning 2 - Managing Significance in Decision-Taking in the Historic Environment (2015) Historic Environment Good Practice Advice in Planning 3 - The Setting of Heritage Assets (2nd Edition, 2017) Historic England Advice Note 12: Statements of Heritage Significance (2019)	



Appendix B

Designation Descriptions

Pump Farmhouse

Listed: Grade II

List entry Number: 1208263

Date first listed: 10-Jun-1975

Details

House. Early C19. Yellow brick, slate hipped roofs. Rectangular plan with additions on NE and NW sides not of special interest and not included in this listing. EXTERIOR: 2 storey. Front S elevation, 3 window range, central stack, saw-tooth eave course, quoins outlined and voussoirs emphasised by black bricks. Central door with round-headed fanlight, door has 2 upper and one lower recessed panel. Either side, original sash windows with horns segment headed of triple form with glazing bars, 1x4, 3x4, 1x4 panes. First floor original segment headed sash windows with glazing bars, one 4x4 panes, two 3x4 panes. E end elevation brickwork similar to S elevation, some pink as well as yellow bricks, 2 window range, all original sashes with glazing bars and horns, 4x4 panes. W end elevation, irregular hipped roofs of double pile form, stack to N end, brickwork of N and S ends different, S end with some pink bricks, additional black brick quoin line between two ends. Features imply addition of N unit. Ground floor to S segment headed doorway, door C20 replacement with fanlight, door has 3 recessed lower panels and upper glazing with glazing bars, 2x3 panes. To N, first floor original segment headed sash window. Ground floor has later addition. Rear N elevation, double roof and central break in brickwork as on W elevation. Brickwork to E has some pink bricks, brickwork to W all yellow, saw tooth eaves course, stack towards E end, irregular fenestration and ground floor E end masked by addition (which links house to C19 out-houses). Ground floor W end segment headed doorway with C20 door, 3 lower sunk panels and upper glazing with glazing bars, 2x3 panes, segment headed sash window with glazing bars, 3x4 panes. Above, on first floor, 2 similar windows, voussoirs of W end features all in yellow brick. INTERIOR: essentially plain. Shutters to windows in principal ground floor room at S front E end. Wall thicknesses confirm exterior evidence that the house was originally L-shaped and that the NW quarter was infilled soon after original build with much care to match construction. This is also confirmed by the composition of the window sills, original are in stone, later ones are cast stone.

Appendix C

Glossary (National Planning Policy Framework) ¹³

<i>Archaeological interest</i>	<i>There will be archaeological interest in a heritage asset if it holds, or potentially may hold, evidence of past human activity worthy of expert investigation at some point. Heritage assets with archaeological interest are the primary source of evidence about the substance and evolution of places, and of the people and cultures that made them.</i>
<i>Conservation (for heritage policy)</i>	<i>The process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance.</i>
<i>Designated heritage asset</i>	<i>A World Heritage Site, Scheduled Monument, Listed Building, Protected Wreck Site, Registered Park and Garden, Registered Battlefield or Conservation Area designated under the relevant legislation.</i>
<i>Heritage asset</i>	<i>A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage asset includes designated heritage assets and assets identified by the local planning authority (including local listing).</i>
<i>Historic environment</i>	<i>All aspects of the environment resulting from the interaction between people and places through time, including all surviving physical remains of past human activity, whether visible, buried or submerged, and landscaped and planted or managed flora.</i>
<i>Historic environment record</i>	<i>Information services that seek to provide access to comprehensive and dynamic resources relating to the historic environment of a defined geographic area for public benefit and use.</i>
<i>Setting of a heritage asset</i>	<i>The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.</i>
<i>Significance (for heritage policy)</i>	<i>The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting.</i>

¹³ Department for Communities and Local Government, February 2021. *National Planning Policy Framework*

