



Location Plan

**OBJECTIVES**







- Provide a high quality and consistent boundary treatment (min 2.1m high) with gated access
- Rationalise and widen main thoroughfares
- Improve screening to Energy Centre
- Rationalise location and detail of bin store to mitigate visual impact
- Enhance planting beds
- Improve signage & interpretation
- Restore existing lighting
- Improved provision of seating and bins



Analysis



**LEGEND**


-  Pedestrian entrance
-  Vehicular entrance
-  Desire line
-  Seating
-  Existing planting beds
-  Existing surfacing

**KEY**

1. Listed telephone boxes
2. Public W/Cs
3. Cafe seating area
4. Cafe
5. Timber bench
6. Timber wall
7. Energy Centre
8. Bin Store
9. Service Area
10. Vent to underground services
11. Western Lawns










*New Road*

 Existing Plan  
Not to Scale



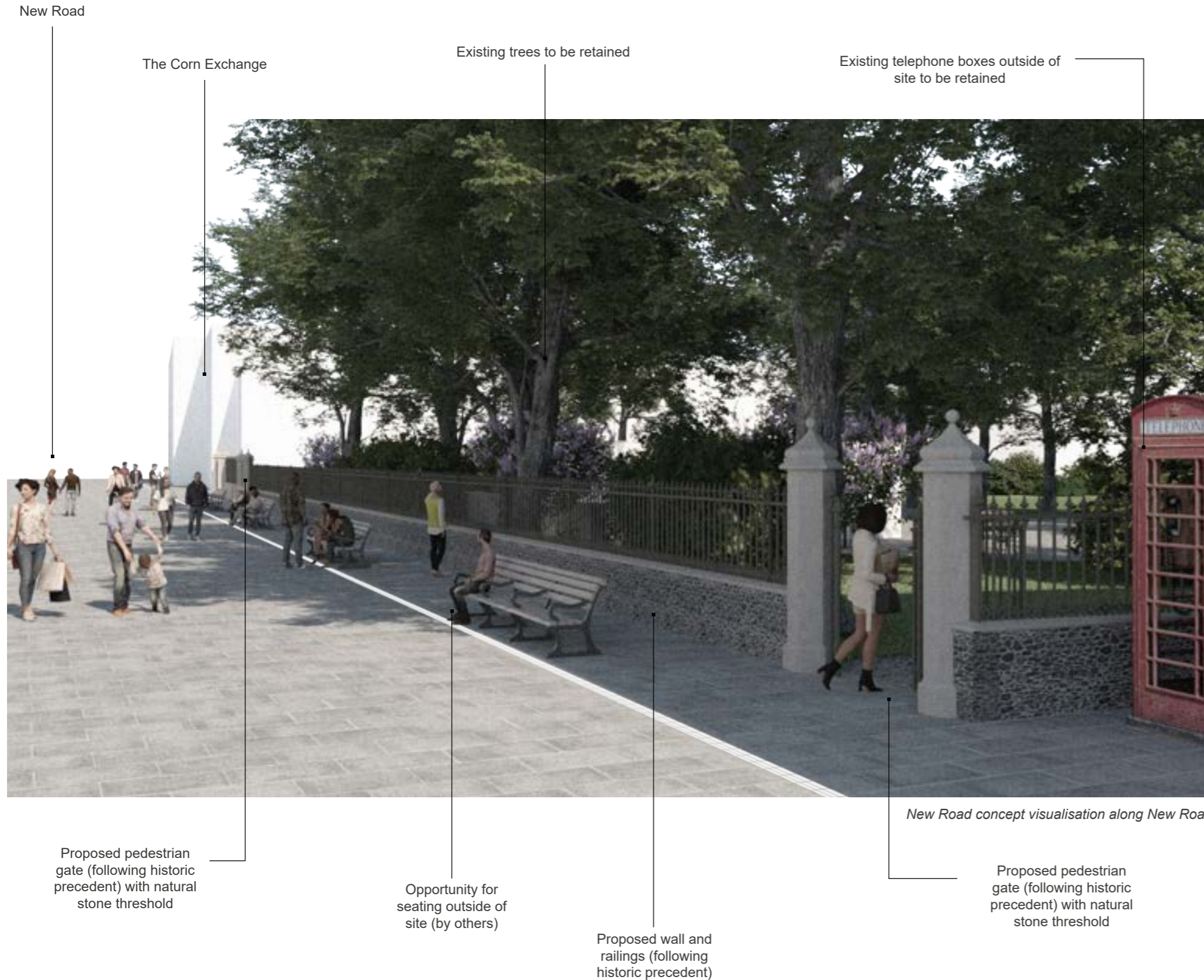
**LEGEND**

-  Pedestrian entrance
-  Vehicular entrance
-  Desire line
-  Seating
-  Trees of poor quality / Obscuring Key 'Nash views'
-  Existing planting beds to be renewed
-  Existing surfacing to be renewed

**KEY**

1. New widened + gated pedestrian entrance.
2. Interpretation of Historic Ice House
3. Existing path width widened & regulated.
4. Improved planting around cafe with glimpses into / across site
5. Renewed surfacing around existing cafe
6. New secure boundary with wall and railings
7. Existing pedestrian entrance widened and repositioned
8. Existing path widened and realigned
9. Opportunity to adopt vent as signage / wayfinding
10. Reduce extent of existing bin store.
11. Reorientate existing bin store
12. New gated access into service area
13. Service area
14. Restored planting beds
15. Max Miller Statue (retained)
16. Remodelled existing public W/Cs with CPF, public toilets and kiosk / information point

Preferred concept to rationalise footpaths, entrances and which reduces visual impact of the bin store / Energy Centre which have been identified as having a significant negative impact on the historic fabric of the gardens.



**THE WESTERN APPROACH**

- Existing entrances to be widened and rationalised to enhance and improve access into the Gardens.
- Rationalising and de-cluttering street furniture at entrances will help to restore the setting of the gardens and allow the use of a robust family of materials which are more in keeping with the character and style of the Gardens
- Reinstatement of the historic boundary (following archive details) will create an identifiable urban perimeter to the Gardens that will provide a sense of cohesion and improve its integrity within the city centre. Note, foundation of existing wall to be re-used to minimise impact on tree roots
- Use of open railings will maintain views into and through the Gardens.
- Reinstating gated access will allow better management of access into the Gardens which combined with added security will help address the issues with anti-social behaviour and crime within the Gardens.
- Additional CCTV at key locations will help to monitor and manage security during the day and help to protect the fabric and the enjoyment of the Gardens by visitors.
- Restoration of the existing listed and unlisted light columns will improve access at entrances and along main thoroughfares as well as conserve an important landscape feature.
- The planting beds will be restored using the existing historical research to provide an attractive and floriferous space in keeping with the Regency style.
- Existing paths to be renewed, rationalised and resurfaced
- Surfacing around trees to be rationalised to improve rooting conditions and remove trip hazards
- Drainage to be improved in front of cafe area to reduce ongoing maintenance issues associated with wear of the western lawns.
- Internal fencing to be rationalised and replaced with visually less dominant detail to protect key areas of planting
- Improved signage to enhance access / wayfinding and increase learning and interpretation of the site.



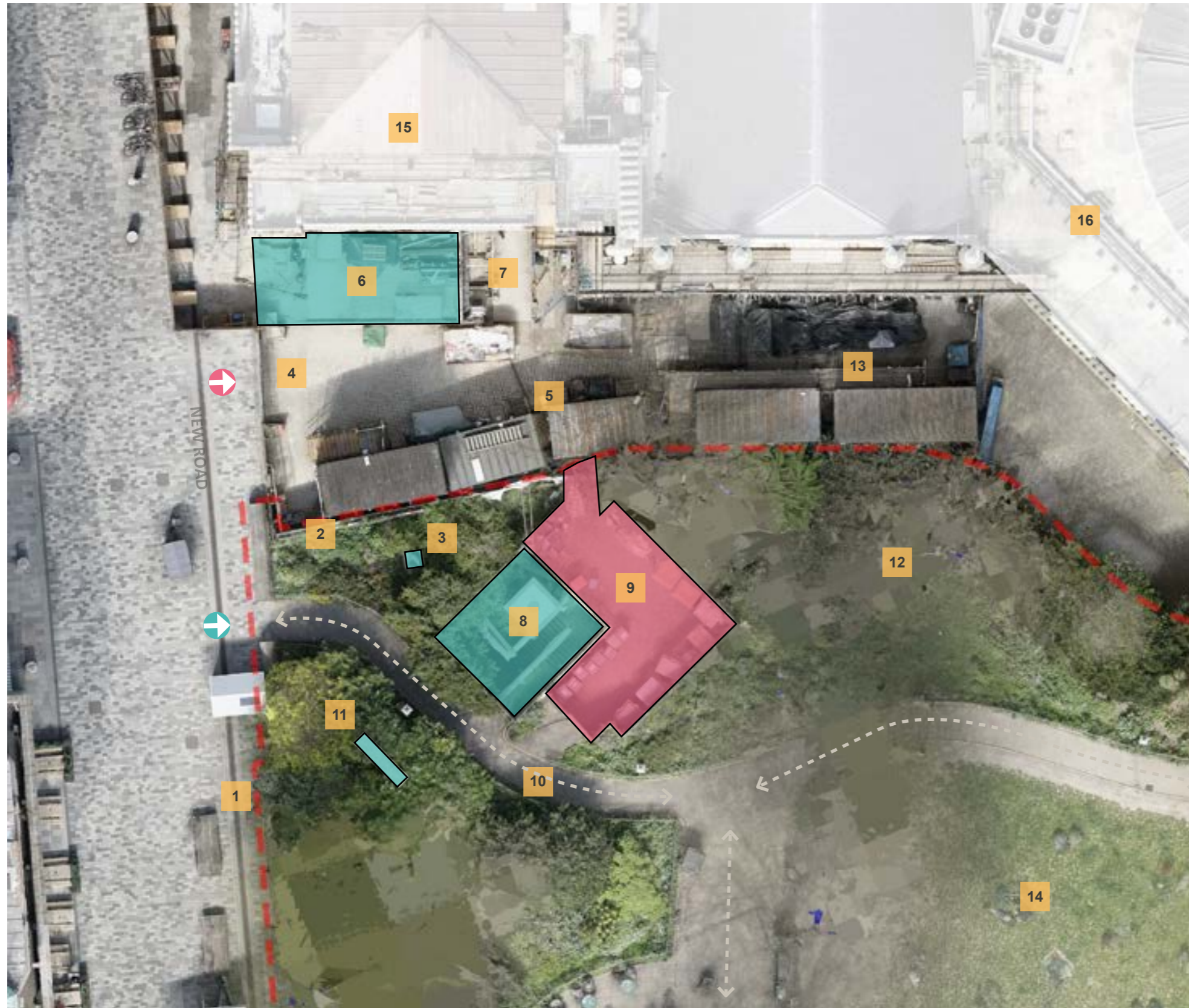
Location Plan

**OBJECTIVES**

- Reduce the visual dominance of the existing bin store.
- Rationalise the access to the bin store from the service area
- Reduce impact on tree roots
- Rationalise boundary
- Improve the condition / appearance to the energy centre
- Enhance planting beds



Analysis



**LEGEND**

Pedestrian entrance

Vehicular entrance

**KEY**

1. Timber seating
2. Timber wall
3. Max Miller statue
4. Barrier
5. Drainage gully
6. Terrace
7. Bin store (removed as part of current Corn Exchange works)
8. Energy Centre
9. Shared Dome & Pavilion refuse store
10. Pedestrian path
11. Vent to underground services
12. Planting beds
13. Service area
14. Western Lawns
15. The Corn Exchange
16. The Dome

**EXISTING CAPACITY**

**BD&BF**

9no. 1100L - General Refuse (8,800L)

12no. 240L - Glass (2,880L)

**Pavilion Refuse store Capacity :**



4no. 1100L - General Refuse (4,400L)

Note 2no. 1100L only seasonally required. Consider increasing capacity of standard litter bins within park to reduce requirement

Existing Plan  
Not to Scale



**LEGEND**

-  Pedestrian entrance
-  Vehicular entrance

**KEY**

1. Boundary wall and railing
2. Existing path widened and realigned to new gated entrance
3. Terrace to Corn Exchange
4. Vehicular access gate to service area (circa 6m wide)
5. Operational entrance to Corn Exchange
6. Energy Centre fencing to be refurbished
7. Dome mixed refuse store.
8. Existing bin store to be reduced in area and returned to soft
9. Service area
10. Existing vent to be clad and fitted with signage / interpretation
11. Western Lawns
12. The Corn Exchange
13. The Dome
14. Max Miller Statue (retained) and surrounding planting beds improved

**PROPOSED CAPACITY**

**BD&BF**

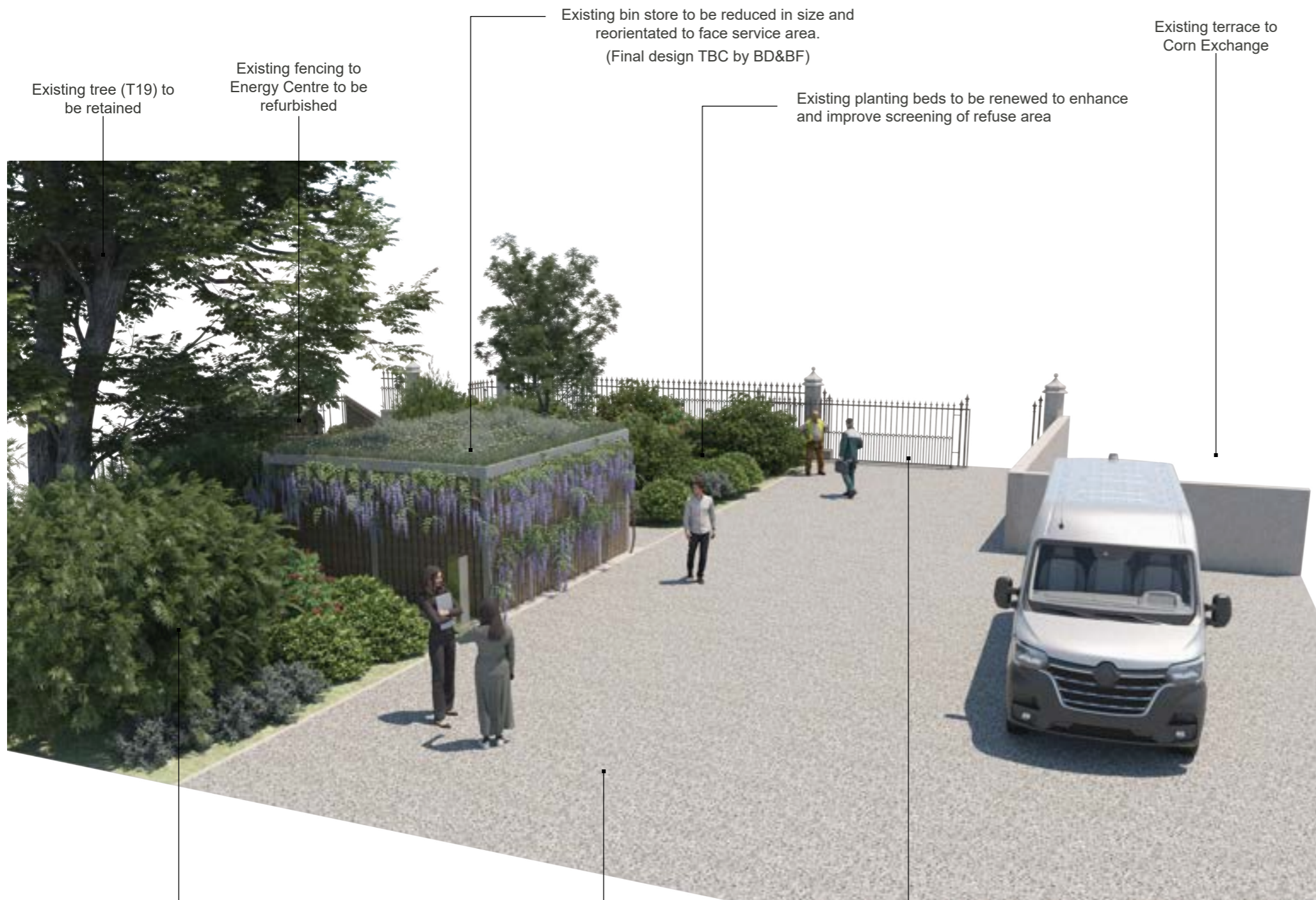
TBC by BD&BF. Existing provision to be reviewed by BD&BF following operational review with new cafe operator.

**Pavilion General Refuse store Capacity :**

**N/A**

2no. 1100L seasonal bins to be removed following improved provision for litter bins generally within the gardens.

2no. 1100L - General Refuse to be relocated to existing gardeners compound.



Existing tree (T19) to be retained

Existing fencing to Energy Centre to be refurbished

Existing bin store to be reduced in size and reorientated to face service area.  
(Final design TBC by BD&BF)

Existing planting beds to be renewed to enhance and improve screening of refuse area

Existing terrace to Corn Exchange

Existing planting beds to be renewed to enhance and improve screening of refuse / service area

Existing surfacing to service area (no works)

Proposed sliding vehicular (following historic precedent) with access control / intercom system.  
Final position to be confirmed following engineers tracking

Refuse / service area concept visualisation (illustrative)

### THE REFUSE STORE / SERVICE AREA

- The service area is used for deliveries, parking and refuse collection for the Dome and is not used for public access.
- Completing the boundary treatment by this entrance will help to unify the Royal Estate and allow better management into the service area,
- The existing bin store has been identified within the Conservation Plan as being damaging to the historic fabric of the Gardens. Reducing and re-orientating the current arrangement will help to mitigate this. (Note : Final layout / design TBC following operational review with BD&BF and the new cafe operator)
- Impact of tree roots to be reduced by reducing footprint of the existing store.
- Restoring and the adjacent planting beds (following historical research) will enhance screening of the refuse area.
- Additional screening which will be explored include, green roofs and green walls with final detail to be developed by BD&BF.

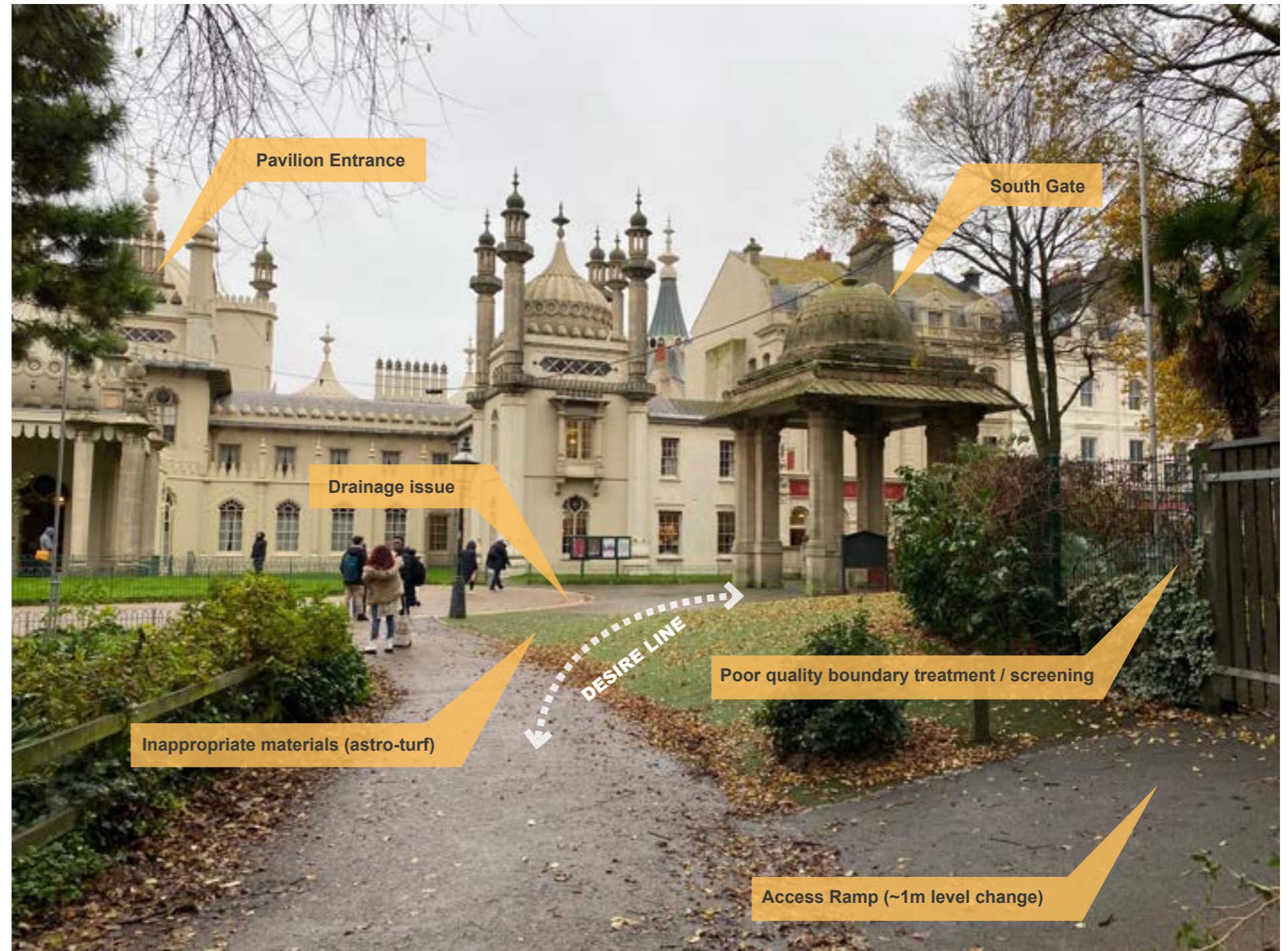




Location Plan

**OBJECTIVES**







- Create a high quality gateway into the site using materials in keeping with architectural vernacular
- Rationalise path positions and open major desire lines
- Create seating and gathering points for groups of visitors
- Retain existing elm trees
- Improve screening to compound area
- Provide improved services and facilities within existing compound
- Remove astro-turf mound
- Improve drainage



Analysis



LEGEND


-  Pedestrian entrance
-  Vehicular entrance
-  Desire line
-  Seating
-  Existing planting beds
-  Existing surfacing

KEY

1. Pavilion turn around
2. Astro turf bank
3. Weld-mesh fencing
4. Gardeners store
5. Gardeners store
6. Green waste store

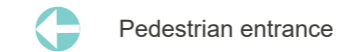


India gate entrance

 Existing Plan  
Not to Scale



**LEGEND**



Pedestrian entrance



Vehicular entrance



Desire line



Seating



Trees of poor quality / Obscuring Key 'Nash views'



Existing planting beds to be renewed

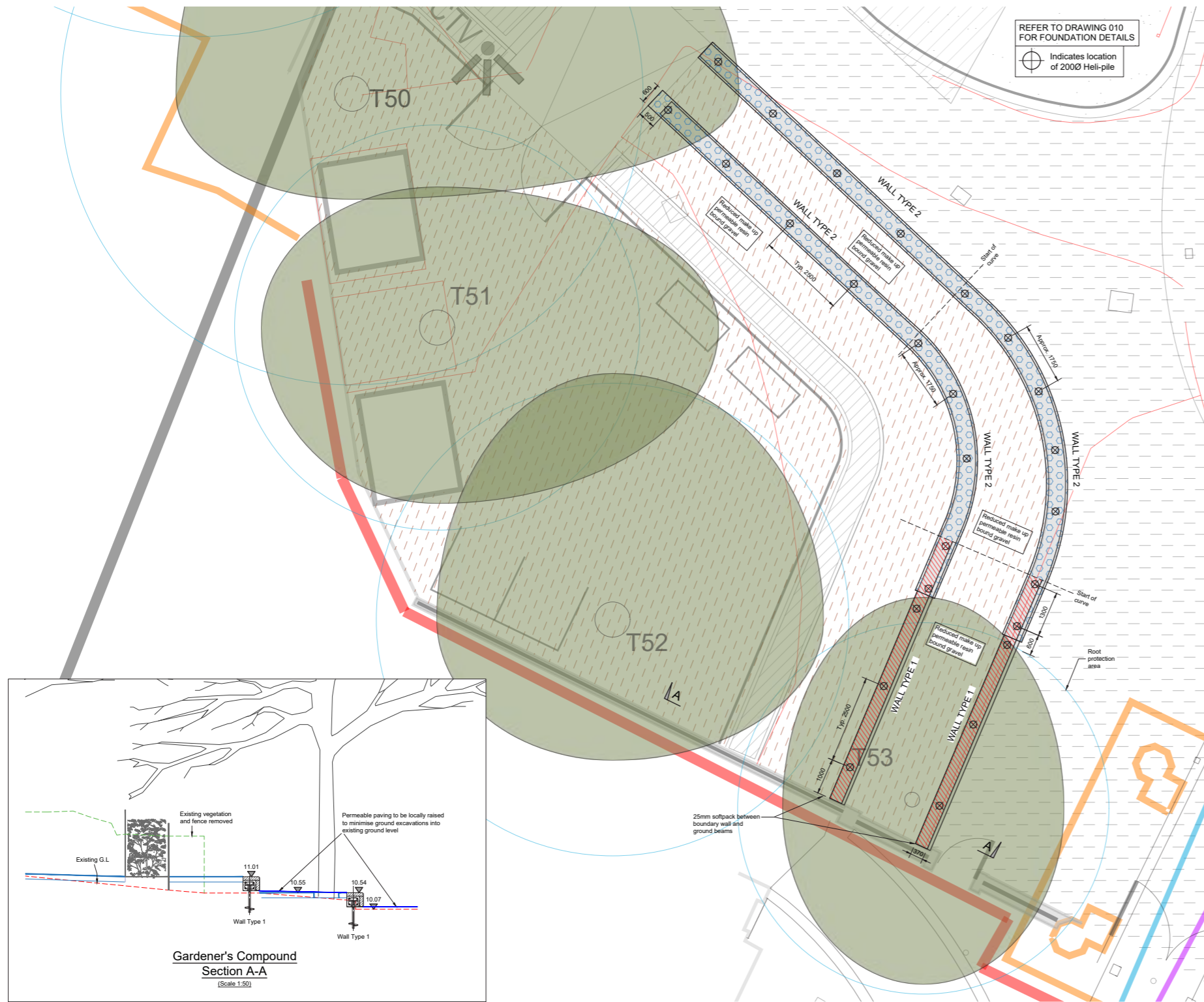


Existing surfacing to be renewed

**KEY**

1. New surfacing & edging. Rationalise turn around
2. Resurface approach associated with new arrangement
3. New surfacing & edging. Rationalise path widths and alignments
4. New natural stone raised seating / edge & planting. Opportunity to incorporate interpretation
5. Replace existing stacked concrete kerb wall with new low rise stone seating edge
6. New access ramp into compound area
7. New hedge planting to screen compound area
8. Resurface compound area with permeable surfacing
9. New gardeners store
10. New gardeners shed
11. New gates and railing to existing wall
12. Remove existing poor specimen T54

Preferred concept with two low seating terraces to allow greater numbers of people to gather and use the area off the main thoroughfare at this major gateway. A planting bed along the upper terrace will allow the use of better planting to screen the compound and soften the area.

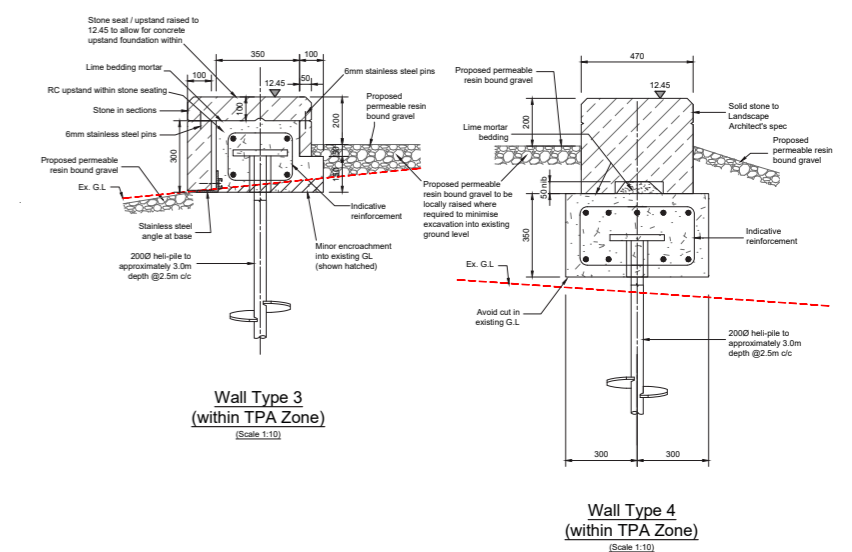


General Arrangement Cross section plan

**TECHNICAL REVIEW**

Following a detailed review of the existing levels and in liaison with the projects Arboriculturalist and Heritage Engineers, proposals have been developed to reduce impact on the RPAs by;

- Using 'no-dig' type construction surface build up e.g. CellWeb (or similar approved) to minimise impact on roots through excavation.
- Minimise the impact of foundations by using localised mini piled foundations, which can be adjusted on site to avoid roots following Arboricultural probing investigations prior to construction
- Replacing the existing surfacing within the gardeners compound with a permeable and free draining resin bound gravel to allow the natural movement of air and water into the ground.



Typical foundation detail



Resin bound gravel & CellWeb sub base detail



India Gate natural stone block walling



Natural stone plinth to King George IV statue



John Nash bust at All Souls Church



Natural stone block



Bonded natural stone chippings



Permeable resin bound chippings



Brass inlay in natural stone



Evergreen native hedging



Vertical bar fencing



Evergreen native hedging



Natural stone thresholds

**MATERIALS**

The proposed gardeners store area will rationalise the current layout, remove the existing astro-turf mound and replace it with new tiered seating to allow groups of people to gather off of the main thoroughfare.

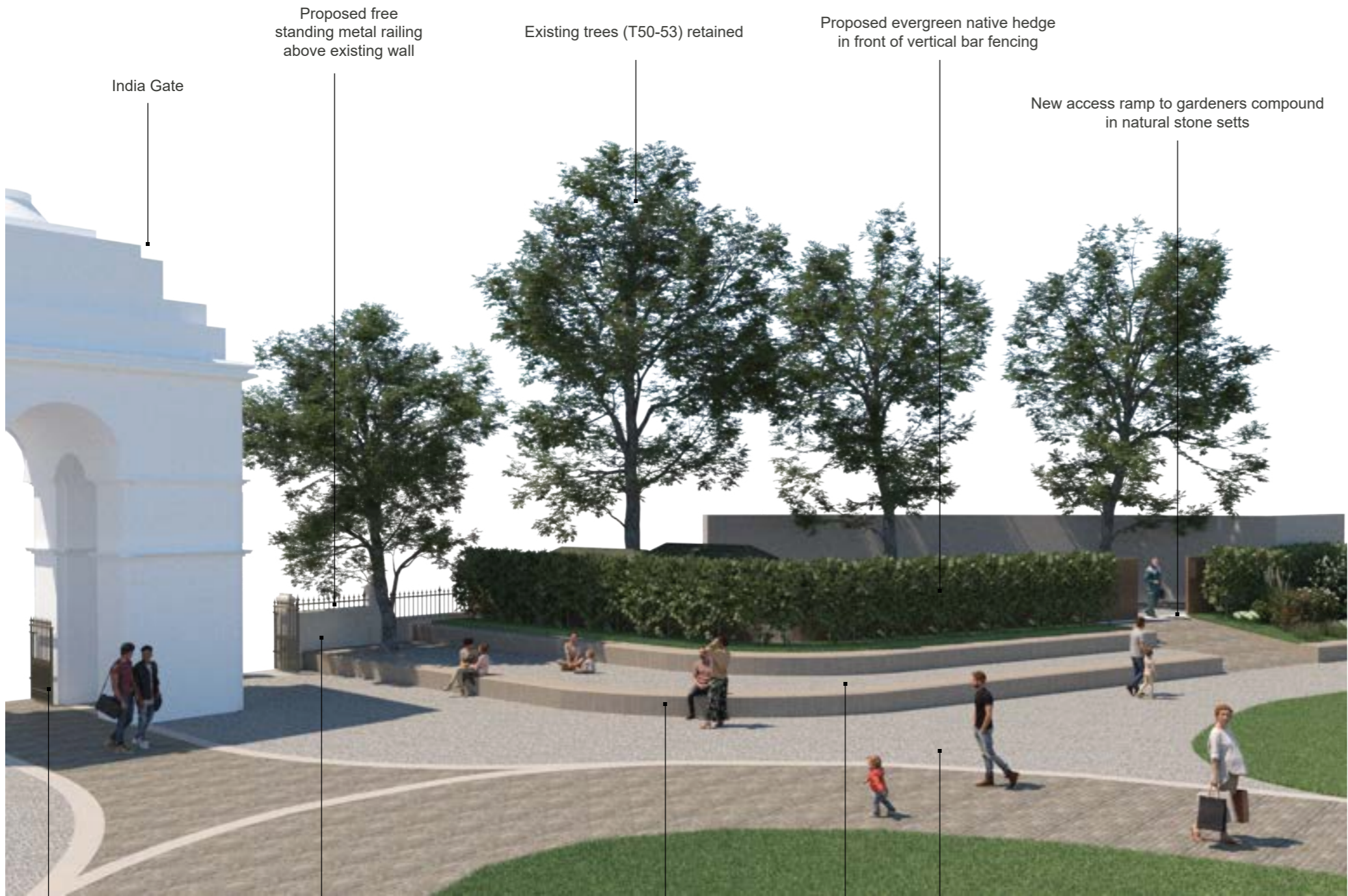
Screening of the compound will be improved through the use of native evergreen hedging, backed with simple vertical bar fencing to secure the gardeners compound.

The low rise natural stone seating walls will echo the architectural vernacular of the India Gate and the Royal Pavilion. The use of natural stone block work can also be seen within a number of Nash's schemes including All Souls Church and Buckingham Palace as well as in the work of his contemporaries.

The proposed seating wall would continue along the footpath up the the Princes Place entrance, replacing the existing modern stacked concrete kerb wall.

The new seating walls also offer the opportunity to incorporate interpretation within these features (e.g. engravings / plaques) as part of the broader improvements to interpretation on the history of the Gardens.

Surfacing within RPA is proposed to be a permeable resin bound gravel which would allow the natural movement of water and air into the ground. The colour of the aggregate would be selected to compliment the newly refurbished footpath which follows the original specification with a bonded buff gravel.



Gardeners compound concept visualisation

**THE GARDENERS COMPOUND**

- Screening will be enhanced to reduce the visual impact of the gardeners store and rationalising and surfacing will enhance its operational effectiveness and provide more space to support volunteer activities.
- The existing astro turf mound will be removed and replaced with a new seating area to allow groups of visitors to gather off the thoroughfare by the main entrance.
- The use of natural stone seating walls will relate the local architectural vernacular and provide opportunities to incorporate interpretation (e.g. engravings / plaques)
- Additional CCTV at key locations will help to monitor and manage the security to help protect the fabric and the enjoyment of the Gardens by visitors.
- New railings to the boundary (following historical precedents) will provide a sense of cohesion to the Royal Estate and help manage access.
- The all gates would be secured open during the day to ensure maximum free flow into the Gardens and the use of telescopic bollards will help to restrict vehicle access.
- Improved signage will enhance access / wayfinding and increase learning and interpretation about the Gardens.
- Surfacing and foundations have been designed to reduce impact on the root protection areas of existing trees and allow flexibility when constructing to allow for adjustment (following probing investigations) to avoid any major roots.



Location Plan

**OVERVIEW**

The toilet block is located at the South West boundary of the Gardens on Prince's Place and accessed from an alleyway at the end of Prince's Place. The block currently falls outside of the RPG boundary

An initial options appraisal was carried out to explore potential locations for a new Changing Places Facility (CPF). Within this it was recognised that the existing toilet block offered the ideal siting, though complexities surrounding the ongoing management of the facility prevented it being considered as part of the overall scheme.

In spring 2023 B&HM and BHCC agreed to develop proposals to refurbish the existing block.



Photographic appraisal



Key

1. T47 - Elm Tree (Condition : A3)
2. T46 - Walnut Tree (Condition : B2)
3. T48 - Sycamore Tree (Condition : C1)
4. T43 - Elm Tree (Condition : A3)
5. T44 - Elm Tree (Condition : A3)
6. T37 - Lime Tree (Condition : B2)
7. T45 - Yew Tree (Condition : C1)
8. Existing stacked concrete kerb wall
9. Recessed seating point (no seat)
10. Existing stone plinth wall (no railings)
11. Electrical junction box outside of site

**STRENGTHS**

- Proximity to major thoroughfare and entrance
- Existing facility with services
- Proximity to Gardens Cafe

**OPPORTUNITIES**

- Provide key public facilities including a new Changing Places facility.
- Rationalise access and boundary treatments
- Enhance planting and setting around building
- Improve external appearance of building
- Improve surveillance by entrance and along major thoroughfare
- Reduce overshadowing to improve amount of light to improve planting and security

**CONSTRAINTS**

- Root Protection Area of Trees
- Interfaces with areas outside of site (including services)
- Level change

Site Appraisal - Existing Public W/Cs



**HISTORY AND PUBLIC CLOSURE**

The existing building was built in the 1980's as a purpose built WC facility for the city. The WC block contained two gendered WC facilities, each including an accessible toilet, attendant's office and large circulation area.

The toilets have been subject to long-standing issues with anti-social behaviour and crime and are seen as a 'hot-spot' for associated issues within the city centre. Whilst partly due to wider social issues within Brighton, the block's design (see right) is thought to accommodate such activity. In October 2022 the block was considered as un-viable to retain and manage and the block was closed by the council.



Precedent image of a Changing Places facility

**OBJECTIVES**

- Incorporate Changing Places facility (min 3 x4m) within existing building
- Provide level access to CPF direct from Gardens
- Make good cavities / services to prevent ingress of vermin
- Explore opportunities to incorporate signage / interpretation along external façades.
- Replace existing services to the adjacent gardeners store
- Explore opportunities for additional facilities within existing footprint (kiosk / toilets / store)
- Improve existing external appearance / setting of building

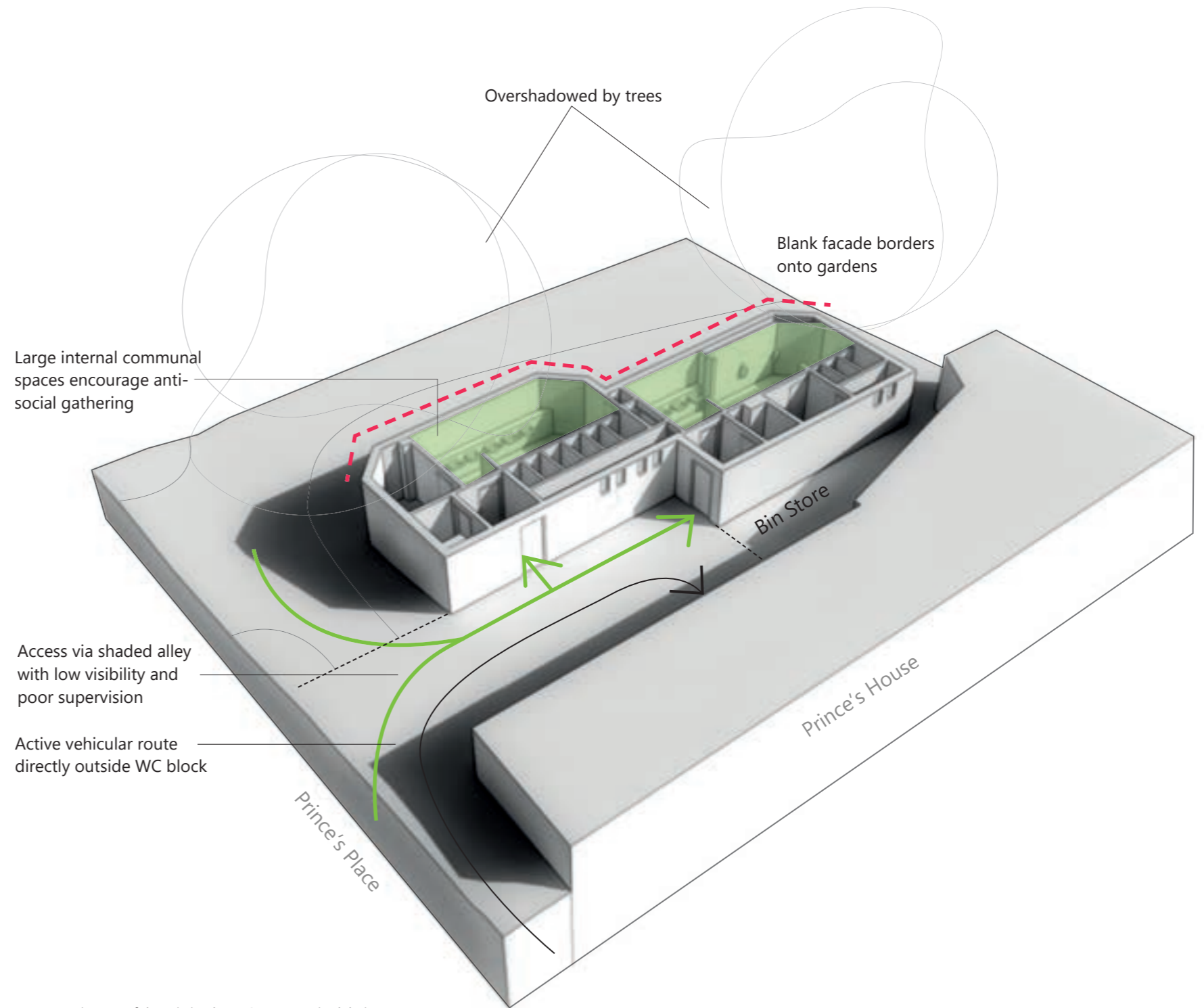


Diagram of the existing layout's compromised design



Site photos from a recent site visit (24/05/23) showing the dilapidated condition of the interior and exterior of the building

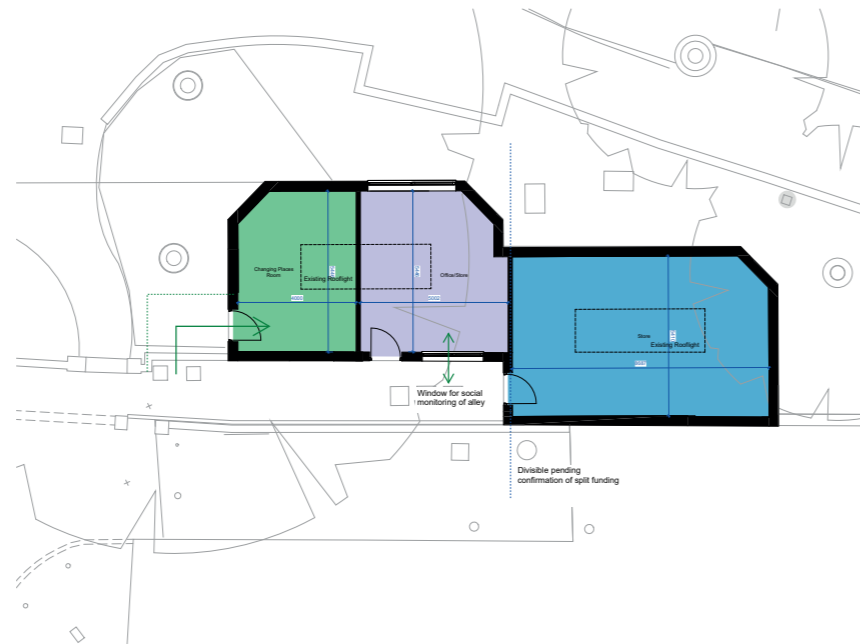
**OPTION 1**

**Pro's**

- Provides core aims
- Minimal facilities to upkeep
- Significant storage space with option for future renovation
- Cheapest option

**Con's**

- No public W/Cs
- Associated negative reaction to loss of public facilities
- Minimal utilisation of potential asset



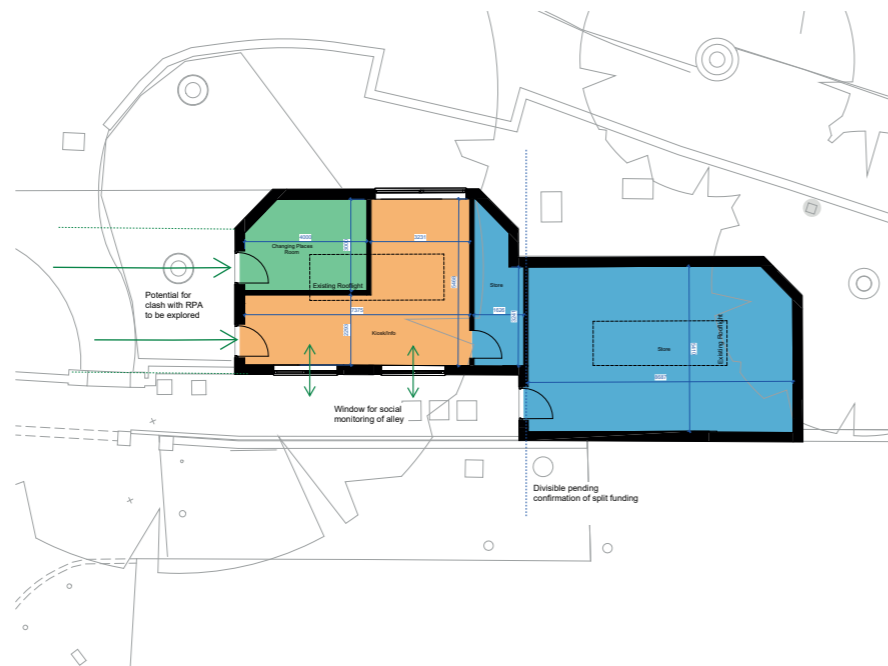
**OPTION 2**

**Pro's**

- Minimal facilities to upkeep
- Significant kiosk space with option for future renovation
- Kiosk located on prominent location for surveillance of alleyway

**Con's**

- No public W/Cs
- Associated negative reaction to loss of public facilities
- Minimal utilisation of potential asset



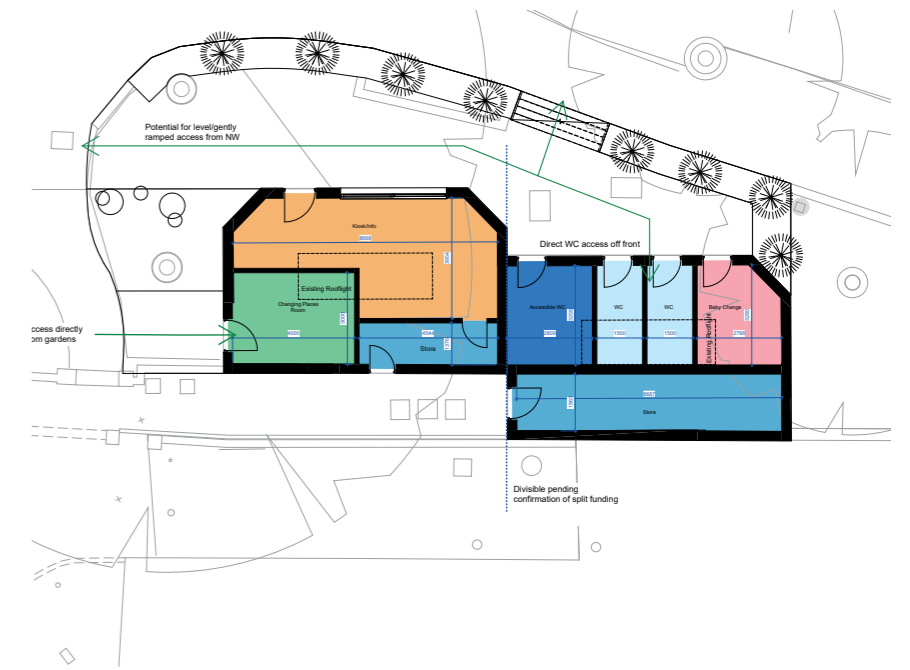
**OPTION 3**

**Pro's**

- Creates new frontage into Gardens
- Discourages anti-social behaviour through passive social monitoring
- WC units can be operated separately from CPF
- New commercial opportunity for gardens

**Con's**

- More extensive external works
- Up-keep of facilities required



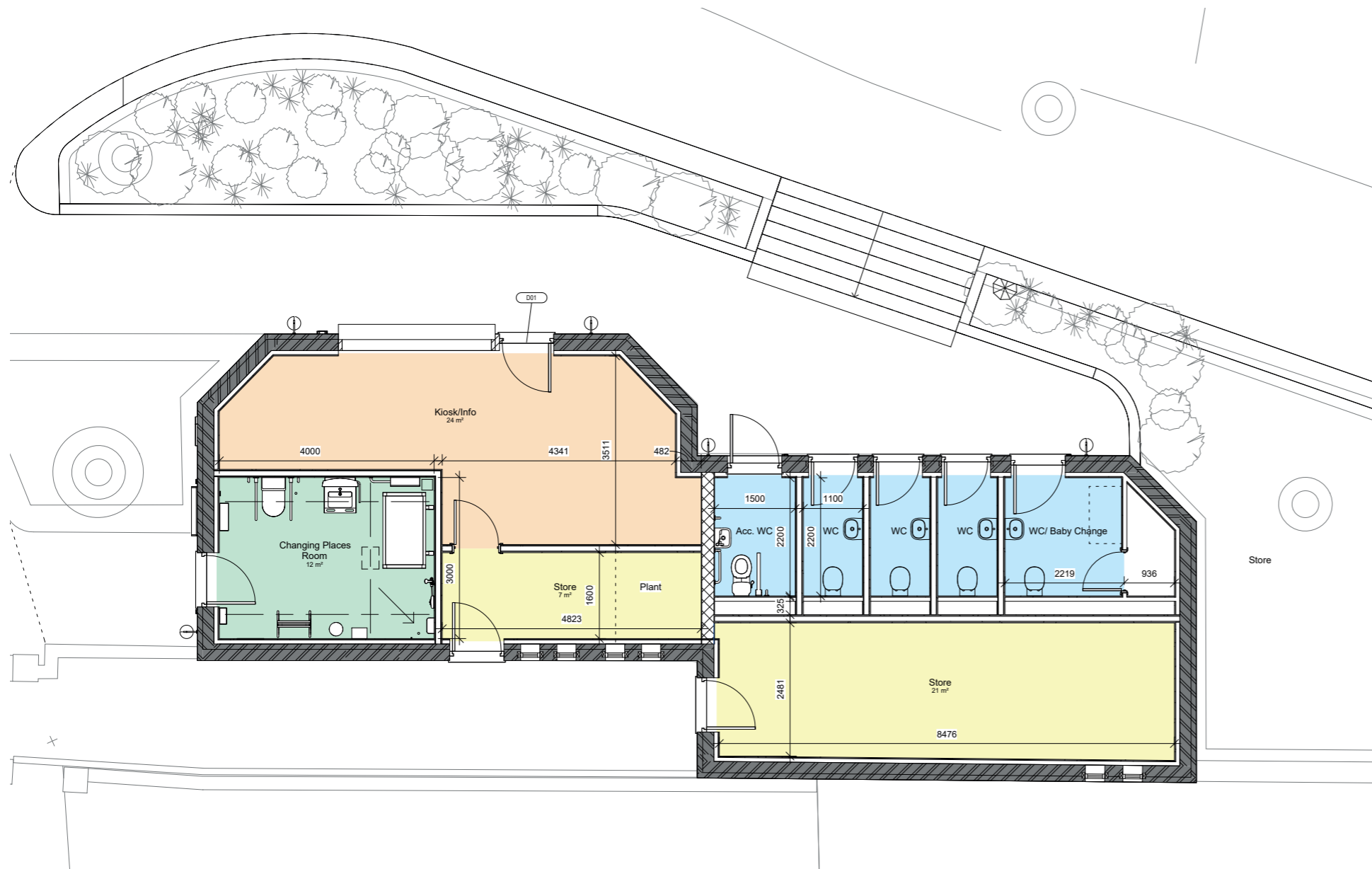
**OPPORTUNITIES**

Initial feasibility studies were undertaken to ascertain what opportunities there could be within the existing building.

Opportunities include;

- Changing Places facility
- Information kiosk
- Storage (equipment / bins / interpretation)
- Public W/Cs (inc disabled / baby change)
- Improved direct access from the Gardens
- Improved security through passive social monitoring
- Opportunities to improve the external appearance of the building (inc interpretation)

Following liaison with BHCC Option 3 was selected as the preferred concept to be developed and included within the project.



Plan showing Changing Places Facility within existing build  
Site Plan - Not to Scale

**USAGE**

The refurbishment proposes to replace the existing WC facilities with:

**1no. Changing Places Facility (CPF)**

The introduction of a changing places facility will increase the site's accessibility offering and provide a high-quality facility for Brighton and Hove city centre. This will be operated using a radar key system to ensure use is retained only for key holders and those who need it.

**5no. direct access non-gendered WCs (inc. 1no. accessible WC and 1no. ambulant WC with baby change)**

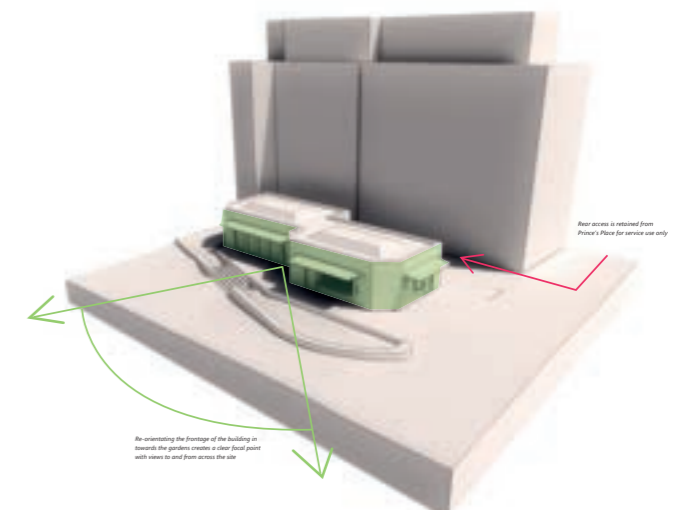
The 5 new WCs will provide convenient and safe toilet facilities for the Gardens. A key driver for the scheme is to create a new frontage for the block, whereby the WCs are accessed directly from a highly visible pathway and socially monitored by visitors and staff at the adjacent kiosk. Social monitoring and visibility are considered key methods of passively reducing anti-social behaviour and crime.

**1no. multifunctional kiosk with service hatch**

The kiosk will provide a flexible space which can be used by B&HM for a variety of purposes, such as an information kiosk to serve the gardens and Royal Estate buildings. This could change seasonally and adapt to public demand or need.

**2no. Store Rooms**

The new scheme will provide RPMT with new storage space to service the refurbished building and Gardens.



**FORM**

Whilst the massing of the building will remain the same, new entrances are proposed for the north and west elevations to open the facility up to the Gardens.

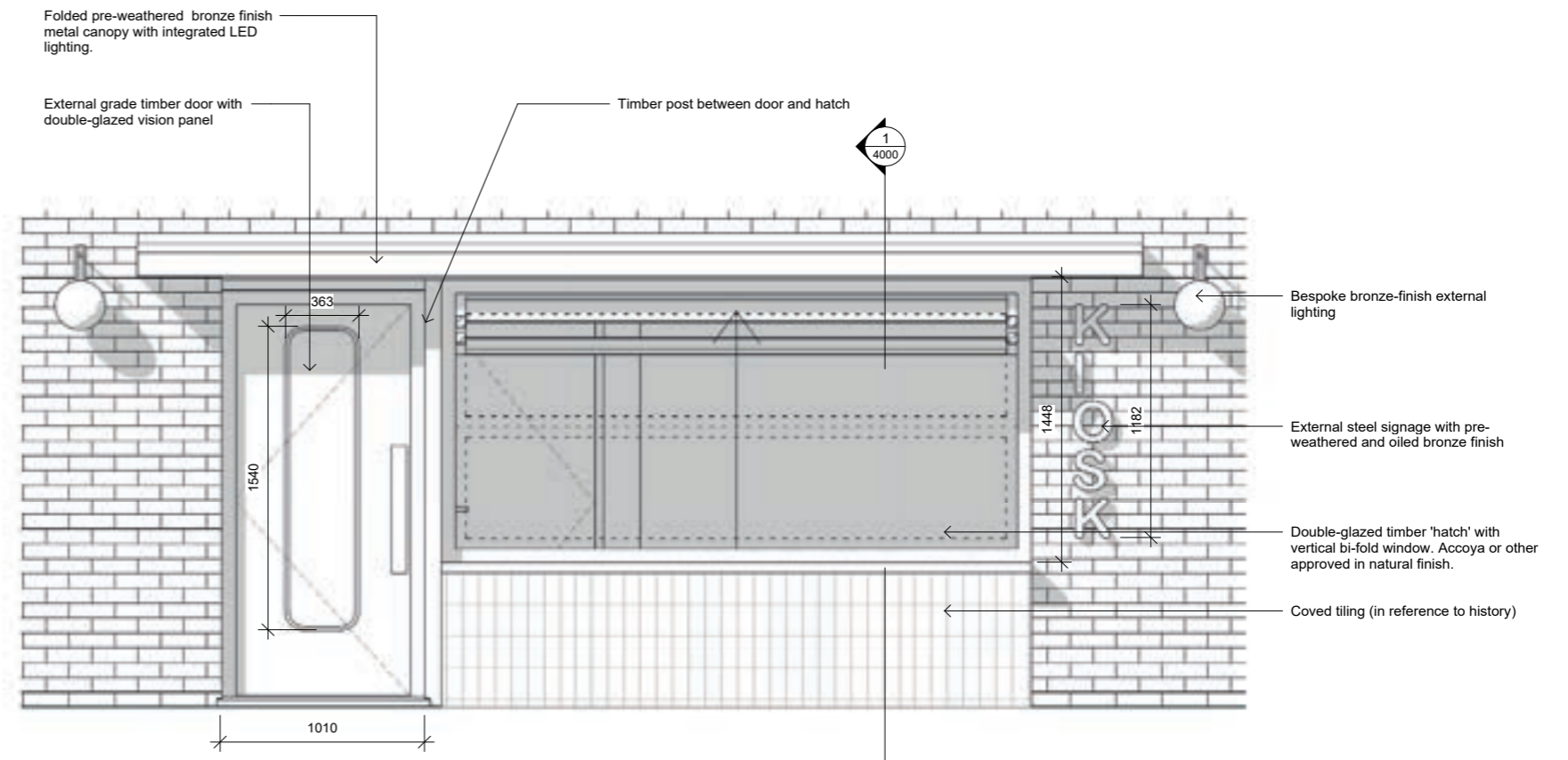
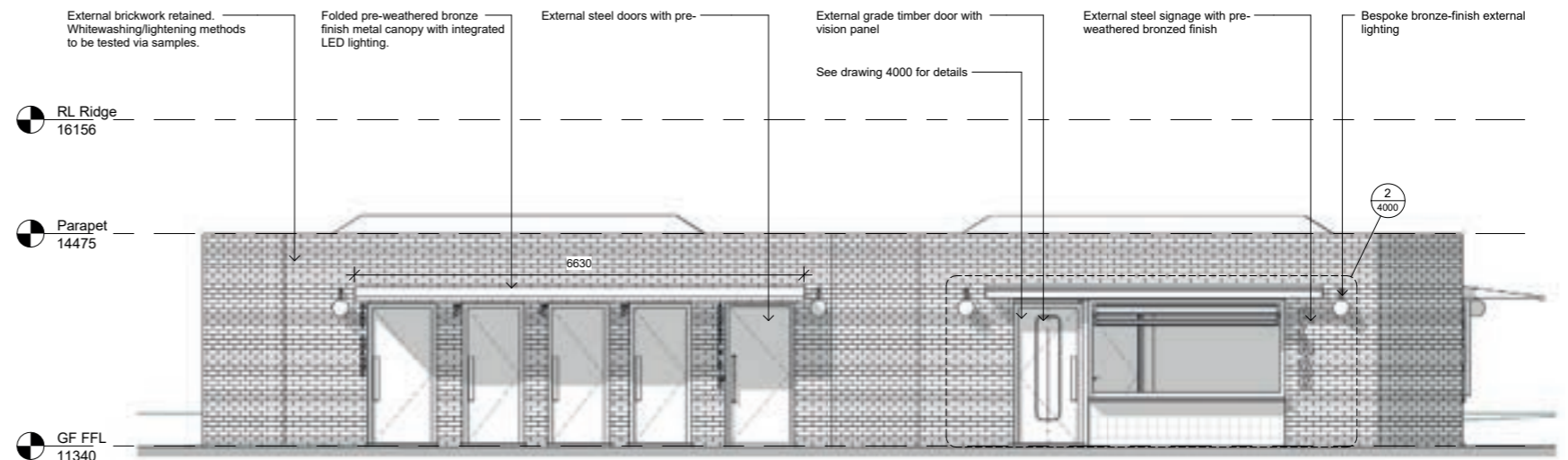
These fall under two categories: The first is a large glazed kiosk 'hatch', capable of serving the gardens across a variety of purposes. This will contain a large bi-fold window to provide a clear point of service for visitors. An adjacent access door with vision panel also allows for internal functions and increases the kiosk's flexibility. The kiosk will be protected by a large folded steel canopy with a concealed metal roller shutter for security purposes.

The remaining openings are direct-access doors to individual WCs and the CPF. These are also protected by a large folded steel canopy with integrated LED lighting. These steel canopies therefore become another signifier for points of access to the facility, whereas the service entrances to the back without these become a clear secondary access point.

Both kiosk and WCs will be flanked by signature metal wall-lights, again drawing public focus whilst providing an architectural nod to the Victorian municipal architecture of other WC blocks around the city.

The scheme proposes to remove the large, central existing rooflights which are currently in a dilapidated state and - if restored - would compromise the thermal performance of the building. Furthermore, the central position of the rooflights creates major obstacles for subdividing the internal space into a layout to successfully service the Gardens.

All new public facing elements will be capable of withstanding heavy public usage and vandalism. Risk of damage should be further reduced by planned strategies to reduce out-of-hours access to the Gardens.



Key improvements to north elevation to create new frontage into the gardens.



Public W/C block concept visualisation

**THE PUBLIC W/C BLOCK**

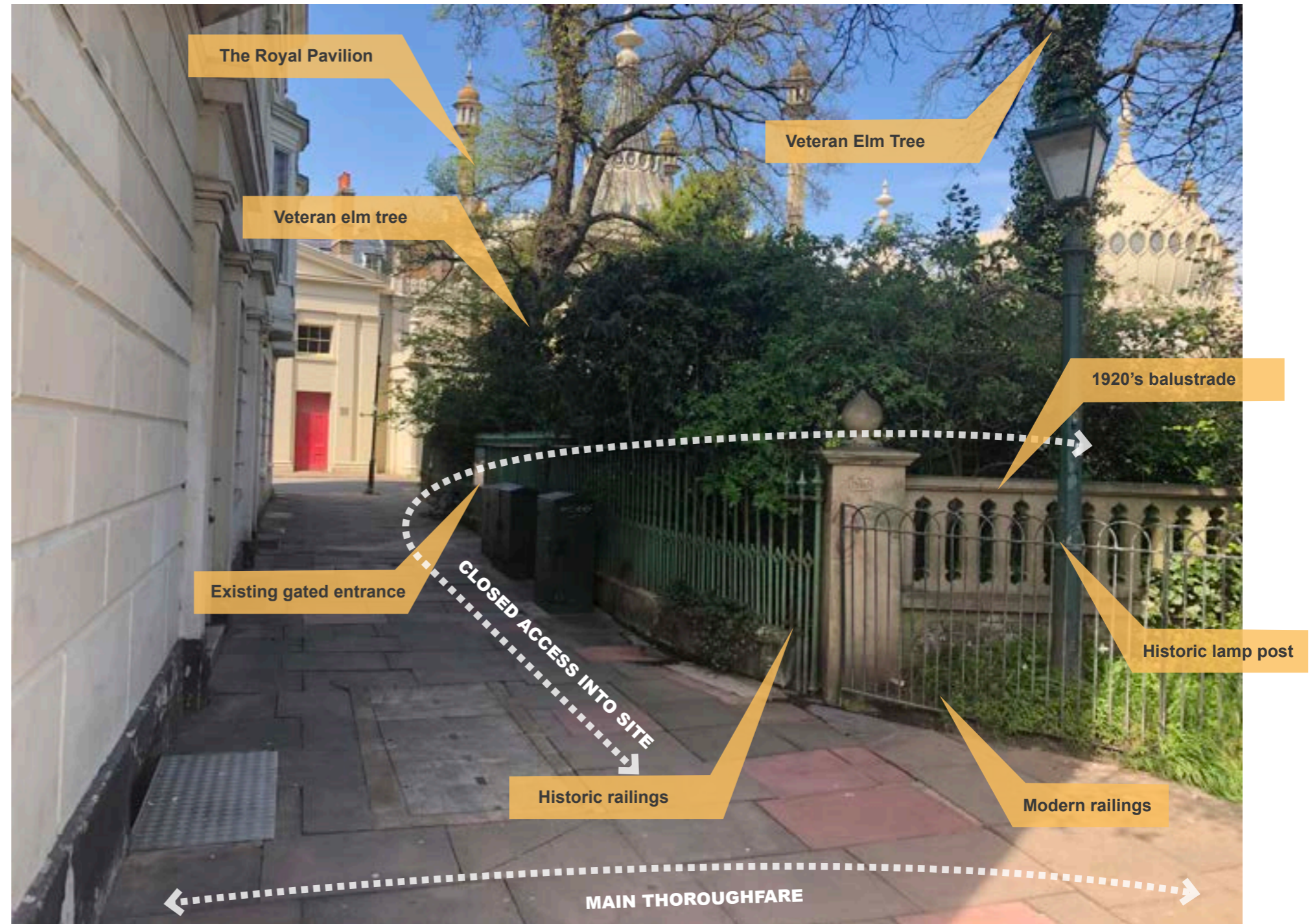
- At present, the WC block is in a state of dilapidation and considered an unmanageable asset for the council. These proposed changes will re-configure the building into a high quality new facility for the Gardens and help to tackle the long standing issues of anti-social behaviour.
- The scheme proposes the introduction of a changing places facility, direct-access WCs, a multi-functional kiosk and store rooms, all of which will function to flexibly service the Gardens on a seasonal basis.
- Re-orientating the block's frontage in towards the gardens will create a focal point from across the site and create safe, visible access to the facility. The new architectural additions retain the majority of the existing fabric and provide clear points of connection for the public.
- Both the CPF and direct access WCs increase the accessibility offering for surrounding area, whilst landscaping works will create a new public forecourt and seating area which frame one of the key Nash views.
- The proposal has been considered with regards to both the upfront embodied carbon of the project, by avoiding demolition and reconstruction, and operational carbon, by insulating the block to meet current Part L requirements.
- The project offers a clear route to retaining a key public facility in the heart of the city and tackling the challenges which have rendered it unmanageable in the recent past.



Location Plan

**OBJECTIVES**

- Enhance public access
- Improve vehicular access onto lawns to support events and mitigate damage
- Restore planting beds
- Conserve existing historic boundary treatment
- Replace modern hoop railing with boundary fence to match the historic detail.
- Restore existing lighting lamp posts
- Enhance the setting around the reflective pools and improve their maintenance / operation.
- Conserve the historic MacLaren wall



Analysis



**Key**

1. 62-63 Old Steine / 3 Palace Place (BHCC owned)
2. Old Steine bus stop
3. 1920's balustrade
4. Reflective pools
5. Existing gated entrance through historic railings
6. Historic railings
7. Existing pedestrian footpath (1.3 - 2.2m wide)
8. Existing footpath leading to gated entrance (closed off)
9. Approximate extent of seasonal ice skating rink

**STRENGTHS**


- Visual prominence (iconic elevation)
- Proximity to major thoroughfare and public transport
- Large flat area of open space

**OPPORTUNITIES**

- Improve access from Old Steine
- Restore and enhance reflective pools (inc. interpretation)
- Restore Nash planting beds
- Create direct vehicular access from Palace Place to support events and reduce associated damage
- Improve security and reinstate original boundary treatment
- Restore historic railings
- Extend public use of space

**CONSTRAINTS**

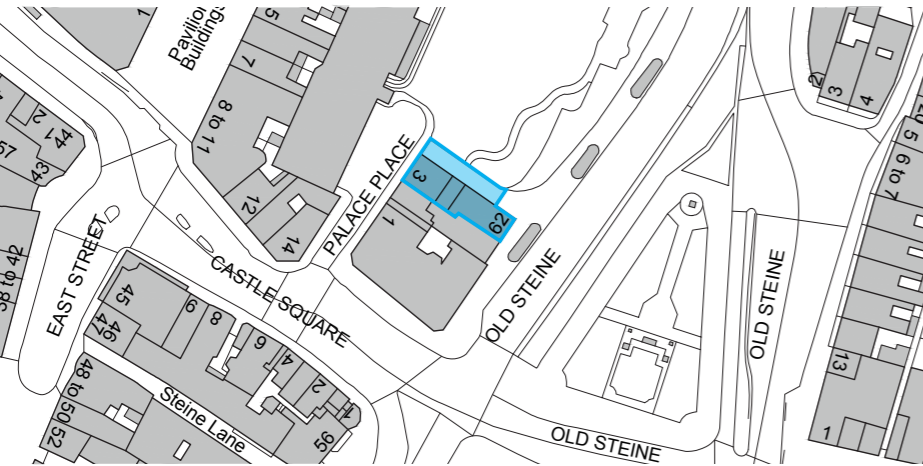
- Restricted access
- Anti social behaviour along passage between Palace Place and Old Steine
- Root Protection Area of Trees
- Topography and visual prominence
- Sensitivity of main listed building facade
- Sensitivity of lawns to damage by public use
- Access associated with adjacent developments

 Existing Plan  
Not to Scale



62-63 / 3 PALACE PLACE DEVELOPMENT

62-63 Old Steine / 3 Palace Place together form a single property, a four storey building owned by BHCC adjacent to the Royal Pavilion Gardens and south of the Royal Pavilion. All floors of the building are currently redundant office space and planning proposals have been submitted on behalf of BHCC to convert the building to full residential use creating 11no. self contained units.



Planning Application Boundary  
62-63 Old Steine / 3 Palace Place Development



East Elevation



West Elevation



Photos of alley between development and the Royal Pavilion Gardens







*'The landscaping proposals include the addition of gates and railings (designed to match those between the site and the Royal Pavilion) to each end of the existing pedestrian access way. This will prevent public access from Palace Place through to Old Steine and provide a private outdoor space for residents.'*



Site Plan



**LEGEND**


-  Pedestrian entrance
-  Vehicular entrance
-  Desire line
-  Seating
-  Existing planting beds
-  Existing surfacing

**KEY**

1. 1920's balustrade
2. Reflective pools
3. Art Deco bus stops
4. Closed pedestrian route to existing entrance
5. Alley from Palace Place to Old Steine (BHCC - no public right of way)
6. Existing metal double hoop fencing (~1.5m high)
7. Existing pedestrian footpath (1.3-2.2m wide)




Existing footpath leading to closed entrance

 Existing Plan  
Not to Scale



**LEGEND**


 Pedestrian entrance


 Vehicular entrance

 Desire line

 Seating


 Trees of poor quality / Obscuring Key 'Nash views'

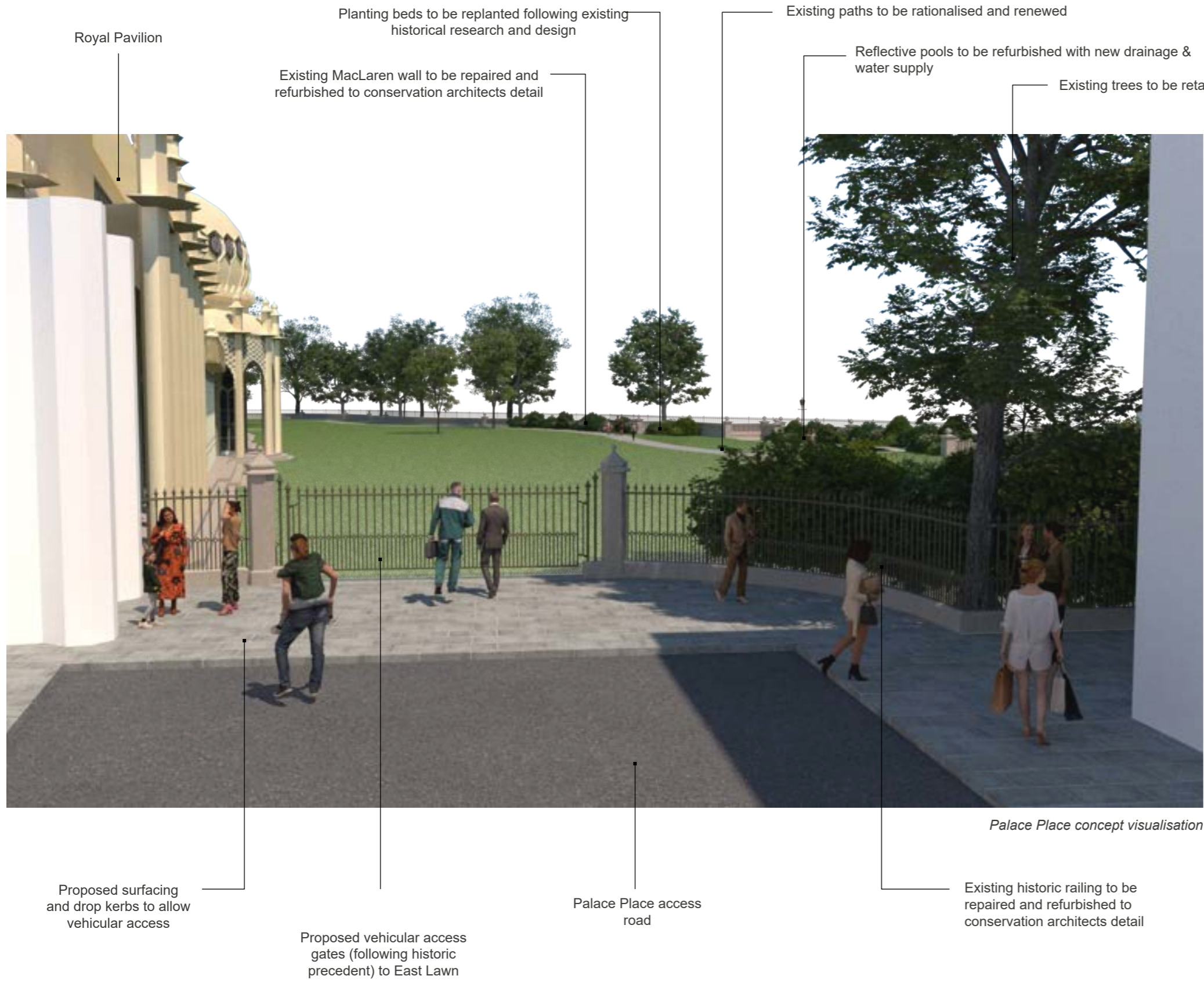
 Existing planting beds to be renewed

 Existing surfacing to be renewed

**KEY**

1. 1920's balustrade & ornamental metal gates to be repaired & restored
2. Reflective pools to be restored with new water and drainage. Area around central pool to be returned to soft to improve setting and provide buffer to Old Steine.
3. Art Deco bus stops restored as part of separate Valley Gardens work
4. Planting beds to be restored and new estate railing installed to manage access. Original desire lines through planted to be retained for maintenance purposes.
5. Alley from Palace Place to Old Steine to be closed off associated with adjacent BHCC development. Existing historic railings to be refurbished
6. Existing modern railing to be replaced with historic replica (~2.1m high)
7. Existing surfacing in front of reflective pools to be extended by c. 1.8m to improve access and new seating and litter bins to be provided.
8. New vehicular access for event vehicles to provide direct access from Palace Place
9. Margin between new railing and 1920's balustrade to be managed as grass meadow
10. Existing footpath to be rationalised to a consistent width and resurfaced.

 Concept Plan  
Not to Scale



Palace Place concept visualisation

**EAST LAWN**

- Existing footpath leading to the reflective pools will be rationalised and renewed to enhance and improve access.
- The function and maintenance of the reflective pools will be improved with new drainage and water supplies.
- The existing historic boundary railings to the alleyway between Palace Place and Old Steine will be repaired and restored to conserve the historic detail.
- Reinstatement of the historic boundary (following archive details) will create an identifiable perimeter to the gardens that will provide a sense of cohesion and help manage access and protect the listed MacLaren wall.
- The MacLaren wall will be sensitively repaired to address immediate structural issues and improve areas where it has started to degrade.
- Additional seating (inc wheel chair points) and litter bins will improve accessibility and aid with maintenance.
- Restoration of the existing planting beds (following historical research) will restore the Regency setting and visitor experience.
- A new vehicular entrance from Palace Place, will help support events on East Lawn and reduce damage caused through use of alternative routes as well as operational issues with tracking along public thoroughfares.
- Improved signage will enhance access / wayfinding and increase learning and interpretation of the Gardens.
- Poor quality trees and /or trees which block key Nash Views will be selectively removed to improve the setting of the Garden.

### CURRENT AUDIENCES

The number of people using the Royal Pavilion Garden is estimated to be 1.5 million, gathered during a surveying and clicker exercise at the gates in June 2018 and averaged up for the year.

A face-to-face survey was undertaken over a Friday and Saturday in May 2022 with the specific aim of finding out who uses the Garden and why. The survey was done at the West lawn area of the Garden and was specifically targeted at Brighton and Hove residents.

119 people were interviewed. 83% of interviewees came from Brighton and Hove and most came from within a mile walking distance. The 17% who were not, were mostly day visitors from London and the south east and often had a previous connection with Brighton, such as being a former student or visiting friends and relatives.

The Brighton and Hove residents were regular users of the Garden, with 50% visiting at least once a week. There was a good age range of people filling in the survey, but people over 65 years were more willing to stop and talk. Most interviewees were white, retired or employed full-time and 88% did not consider themselves to have a disability. 46% of interviewees were on their own but 55% were with friends, family or a partner.

Most people do use it as a cut through, but those that did stop, relaxed in the quiet space, met friends, walked their dogs and visited the café. Even people who were dashing through said that experiencing nature, albeit briefly, was important to them.

When asked what they liked most about the Garden, many mentioned that it was a green oasis and quiet space in the heart of a busy city and mentioned the trees, plants and animals. Many loved the view of the Royal Pavilion. Child safety was important to mothers with toddlers and people felt the independently run café is an important community facility and meeting place, particularly for older Brighton people.

Better maintenance, toilets and more benches were the things people that wanted to change. People knew about the anti-social behaviour and, generally, older people felt more threatened by it. Younger people were less so. Some people were comforted by the security presence, whilst others felt it was heavy handed.

Overall, people interviewed loved the Garden and really appreciated the trees, flowers, the lawn and the café.

It was interesting for the interviewers to observe that the Garden was broadly zoned, with tourists and day visitors concentrated at the Royal Pavilion end of the Garden, older people at the West lawn end and younger people sitting on the lawn. Mothers with toddlers were on the lawn and in the café. The Friday users tended to be older and the Saturday users younger, with more groups and families.

### BRIGHTON POPULATION

The number of people living in Brighton is 289,360. A young population with average age of under 44 years, well educated, with a high number of students. The number of families with children is in line with the England average. Brighton is not as ethnically mixed as the rest of England.

There is high engagement within the people of Brighton with the visual arts and performing arts, particularly theatre and live music concerts and with museums and stately homes.



The plan above shows the one mile walk catchment and local Garden local community, who along with people working nearby, are the people most likely to use the Garden on a regular basis.

The one mile catchment area is characterised as a young population, aged 20 – 29 years, with high numbers of students, fewer families than the Brighton and Hove and England average, very well educated and affluent.

What this data hides are two areas of high deprivation within the one mile walk, focused on Grand Parade, St James' Street and Edward Street, both immediately to the east of the Royal Pavilion. In nearby St Peter's and North Laine ward (centred on Church Street) 80% of the 200 children live in income deprivation. Nearby Queen's Park ward is in the top 10% most deprived wards in England for health and disability. Both wards have high levels of crime.

### TOURISM IN BRIGHTON

Brighton & Hove attracts over 11 million trips per annum, of which 9.5 million are day visitors who tend to come at the weekends, in the summer months and for big festivals and events.

A survey in 2018 (conducted in July, August and September) found that 44% of all visitors to Brighton came from the South East and London and 20% from overseas. 80% of the groups were made up of adults only, with a fairly even age range, and just 20% contained children. 22% of visitors were categorised as upper/middle class (socio-economic grade AB), 48% as lower middle class (socio-economic grade C1) and 23% skilled working class (socio-economic grade C2).

79% of visitors had come on a holiday or leisure trip. The main triggers for visiting were the sea and the beach, seeing family and friends, a day out and having been before. The four most popular activities undertaken were 'just walking around' (81%), 'going to a restaurant or place to eat out' (76%), 'visiting the beach or seafront' (75%), 'shopping' (51%) and 'visiting an attraction'. When asked to specify which attraction(s) they had visited or planned to visit during their trip, overwhelmingly the most popular was the pier (265 respondents). This was followed by the Royal Pavilion (129 respondents) and the British Airways i360 (102 respondents).

Most people (60%) did not use any information to plan their visit but, if they did, information from friends and family (22%) and websites (14%) were by far the most important.



**THE PROCESS - A GARDEN FIT FOR A KING**

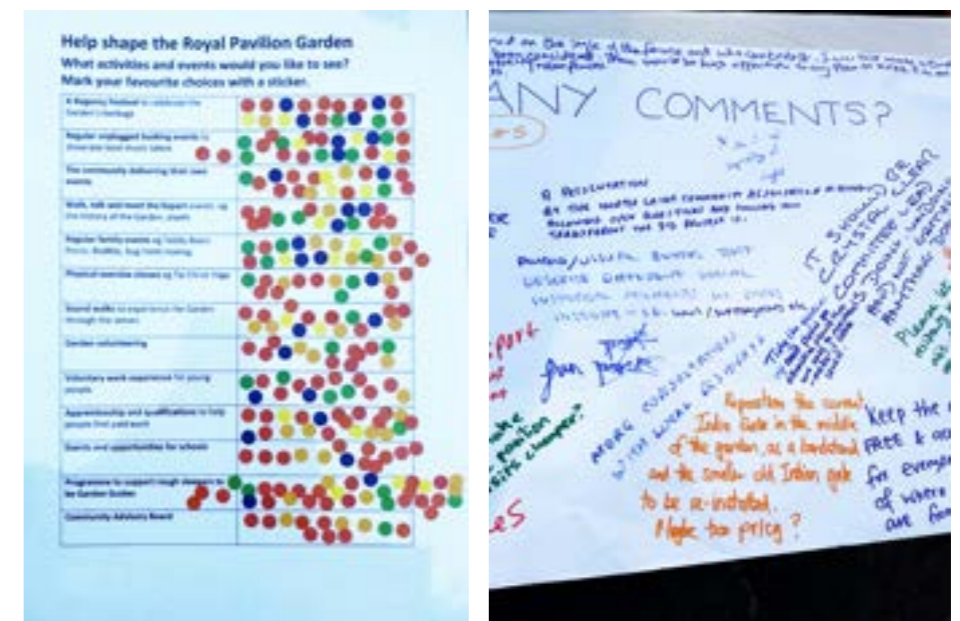
An extensive consultation process was undertaken with stakeholders, park users, families, community groups, disability groups, schools and over 1,300 people completed an online public survey.

Regular stakeholders meetings were undertaken throughout the Development Stage and a large outdoor public engagement day was held in the garden in October 2022 to test the proposals and get feedback.

The table provides a summary of the consultation process.

Type	Description
Public Consultation	Online survey in 2018 of 1,363 local residents which was used to inform the Round 1 NLHF application
Public Consultation	Individual interviews with 20 stakeholders, influencers and decision-makers
Public Consultation	Two focus groups with local residents of parents and older adults
Public Consultation	One focus group with 10 young people aged 17-24 years old, all of whom had either Autism, ADHD, anxiety or other additional needs
Public Consultation	Five focus groups and follow up phone calls with 21 individuals works with young people, low income families and adults, supporting people with disabilities or ill health and in community support organisations
Public Consultation	Individual interviews with representatives from the University of Brighton, the University of Sussex and Plumpton College
Public Consultation	Consultation with 11no. Primary / Secondary schools. Including one face to face focus group and two telephone calls with five primary school teachers
Public Consultation	One online focus group with four secondary school teachers
Public Consultation	One full day outdoors public engagement event within the Gardens engaged with >300 individuals.
Public Consultation	Face to face meetings with Pavilion Gardens Café operator
Public Consultation	Consultation with 18no. Community Groups
Public Consultation	Consultation with 9no. external stakeholders representing local groups and charities

BHCC	Online meetings and discussions with City Development & Regeneration Team to discuss adjacent developments, previous BHCC concepts for RPG and emerging RIBA 2 proposals
BHCC	Site meeting with Conservation Team to discuss emerging RIBA 2 proposals
BHCC	Meetings with Strategic Regeneration Team to discuss RIBA 2 & RIBA 3 proposals
BHCC	Online meeting with BHCC Planning Manager
BHCC	Online meeting with BHCC Highways Team
BHCC	Consultation with BHCC councillors
Sussex Gardens Trust	Site meeting with SGT to discuss the previous 1990's restoration works and the emerging RIBA 2 proposals
Sussex Gardens Trust	Two online meetings with SGT to discuss RIBA 2 proposals
Historic England	Site meeting with HE Inspector of Historic Buildings and Areas + HE Landscape Architect to discuss RIBA 2 proposals
Historic England	Online meeting to review, discuss and feedback on RIBA 2 proposals
Historic England	Online meeting to review & discuss RIBA 3 proposals
Historic England	Written feedback comments on proposals
Brighton & Hove Museums	Monthly meetings + workshops and presentations to Project Board which include; <ul style="list-style-type: none"> <li>• Brighton Dome &amp; Brighton Festival</li> <li>• BHCC</li> <li>• Brighton &amp; Hove Museums</li> </ul>
Brighton & Hove Museums	Trustees and Staff
Brighton & Hove Museums	Liaison with the B&HM Security Team
Brighton & Hove Museums	Liaison with the B&HM Gardens Team
Brighton Dome & Brighton Festival	Ongoing liaison with BD&BF on development of the proposals
Sussex Police	Ongoing liaison with Sussex police on proposals including written feedback
Sussex Police	Liaison with Sussex Police Designing out Crime Officer.



A community day was held during the October half term holiday to feed back the initial ideas for the Activity Plan, interpretation and capital works. The plans were presented on pop up panels and through conversations and activities. The event lasted four hours and all community and education consultees were invited to the event, as a result it was well attended by a cross-section of the local community.

## PUBLIC CONSULTATION FEEDBACK

Formal consultation for the Royal Pavilion Garden project began in the spring of 2018 when a press release was issued informing the community of the upcoming application to the National Lottery Heritage Fund (NLHF) for development funding. The press release outlined that “residents and visitors will have the opportunity to comment on all aspects of the Garden from planting, seating and walkways to busking, attractions and events. Views are also being sought on how to tackle antisocial behaviour and whether a boundary should be created so that the garden can be locked at night”.

Stakeholders were asked for feedback on the consultation questions before they were issued and more than 1,350 people took part in the survey (available as both online and written questionnaires). The survey results showed that the garden is loved and valued by both residents and visitors to the city.

### Some key findings from this consultation are outlined below:

- The survey showed that the top three priorities for improving the garden were:

- Improving infrastructure for rubbish collection and recycling
- Improving the presentation of the Prince’s Place entrance to the garden (adjacent to the public toilets)
- Improving lighting in the garden

- Respondents were keen to see incidents of anti-social behaviour in the Gardens addressed and highlighted that there were mixed feelings about the introduction of a boundary fence to close the Garden overnight. 609 people agreed with the suggestion, 613 disagreed, while 82 said they neither agreed or disagreed.

- Most respondents (92%) said they felt very or fairly safe in the Garden during the day. This figure dropped at night-time with only 43% feeling safe.

- 79% didn’t think anti-social behaviour was a problem during the day, but 41% said it was a problem at night.

- There was a strong call for more security within the Garden, with many suggesting the introduction of park wardens or attendants and an increased police presence.

- Many respondents supported the idea of more events in the Garden including night time illumination, garden shows and music events.

- Respondents were strongly in favour of finding out more about wildlife in the Garden with strong support for activities such as bat talks and dawn chorus walks.

- Over 100 respondents expressed an interest in volunteering in the Garden.

- Other popular suggestions included:

- Restoration of the planting beds to reflect the original Nash design/ planting style
- Enhanced drainage and repairs to the existing irrigation system to support intensive use of the lawn area
- Simplification of internal fencing within the Garden
- Upgrading the path network
- The restoration of the historic light columns and introducing up lighting to highlight key trees and features
- Overhaul of garden furniture such as benches, bins and signage
- Information boards to tell the story of the Garden along with monthly highlights and wildlife information

The information provided by this piece of consultation informed the round 1 bid application and the development of the project.



## STAKEHOLDER CONSULTATION

Twenty stakeholders were interviewed in June 2020, who have an interest or influence over the Garden and consisted of councillors and MP, nine external stakeholders, the staff of the Garden and museums as well as the trustees who run Brighton & Hove Museums (B&HM) and nine volunteers.

## VISION

The vision for stakeholders has three strands. Firstly, they see the Garden is a green oasis in the middle of a busy city, accessible to everyone, where people can relax and socialise and deepen their understanding of the Garden's heritage and nature. The second is to celebrate its important Regency heritage and restore the Garden to its Nash design but, at the same time, acknowledging its modern role as a city centre park. Thirdly, that the Garden is understood as the setting for the Pavilion, Museum and Dome – working together as a single estate that is the Cultural Quarter for the city, a big part of the tourism pull that is the life blood of the city's economy.

-

*I think it's a well-used space currently. People enjoy it, they go to it. It's always busy, people sitting down, people cut through, but holding them in that space so they can enjoy it and provide access to more information to go further and deeper into understanding the area. So it shouldn't be a place that people just walk through or have a quick sit down. There should be ways of deepening connections to art and heritage and nature. You go there and you are actually learning. Open, accessible and democratic.*

-

*People describe it as an oasis in the centre of the city...and there are areas in the Garden when you can forget that you are in the centre of Brighton. They are well shielded from the roads and areas where you can't see the buildings. A lot of people around here don't have gardens or green spaces. Especially during Covid it was a very important green space for people.*

-

*The tie in between the history of the buildings and the history of the Garden. They are very well linked. There are drawings on the wall of plants we have in the Garden. There aren't any other Regency gardens like this that are fully restored. One of its strengths is how unique it is and how important it is.*

-

## STRENGTHS, WEAKNESS, IMPROVEMENTS AND OPPORTUNITIES

Stakeholders were asked about the strengths and challenges of the current Garden, improvements that should be made and the opportunities that the National Lottery Heritage Fund project presents. The comments in the adjacent table are in order of importance to the people interviewed.

The strength of the Garden is bound up in the vision for its future. Stakeholders see it as a unique historic Garden and green lung in the heart of the city, where people can relax and socialise.

The presence of street drinkers, rough sleepers and people taking drugs was the biggest challenge that stakeholders identified for the Garden. It creates a poor image for the Garden and city and visitors can feel intimidated and the behaviour damages the landscape.

More benches and places to dwell was the number one improvement for stakeholders, quickly followed by improved security. Most of the improvements discussed are methods for tackling the anti-social behaviour and making visitors feel comfortable. People are split over the installation of boundary railings – six of the twenty interviewed opposed them or had reservations about them – but the issue lies with management of access, rather than the railings themselves.

The main opportunities presented by the project for the Garden focused on working together across the B&HM estate, with community organisations and other gardens, and creating new partnerships and building on existing collaborative work.

### STRENGTHS

- A haven an oasis in the heart of a busy city
- A back garden for local people
- The Garden is a beautiful setting for the estate
- The café is important for some local people
- The wildlife (squirrels, pigeons)
- The buskers
- The ice rink
- Staff and volunteer teams

### CHALLENGES

- Anti-social behaviour across the site
- The tension of being an historic Garden in a busy city centre
- Complexity of the space and users (a small space used by many different users)
- Previous antisocial behaviour in the now closed public toilets provided by BHCC
- Over commercialisation and damage to the landscape
- Polarised views – the challenge of gaining consensus on a single vision
- The ice rink
- Rumours in the community
- B&HM capacity versus ambition

### IMPROVEMENTS

- More benches
- More security
- Remove the New Road long bench
- More staff present in the Garden
- Improved lighting
- Boundary railings
- Improving all the entrances and creating a sense of entrance
- Access for disabled people
- More wildlife areas

### OPPORTUNITIES

- Engaging with different people
- Working with new partners
- Enhancing the Garden as a social space
- Using the east lawn for large events
- Taking the Museum and Pavilion out into the Garden
- Collaboration across the estate
- A Cultural Quarter for Brighton.



## INTERPRETATION

The Royal Pavilion Garden is well-loved and well-used by the local community, and a popular tourist destination. However, most users have a limited understanding of the Garden's history and significance, leading to limited engagement and wasted opportunities. Audience testing showed that there was a hunger for more information about the garden.

The Interpretation Strategy will:

- Share correct stories and knowledge about the Garden, from a range of perspectives
- Nurture an understanding of the Garden in relation to the rest of the Pavilion estate
- Be engaging for both a tourist audience but also meaningful for local communities and specific target groups
- Be inclusive and accessible to a wide range of audiences
- Set a new benchmark in outdoor interpretation
- Be deliverable and developed with B&HM's partners, academic institutes, stakeholders, and the general public

### Audience

The priority audiences are:

- People with disabilities
- People with poor mental health
- Families and adults on low incomes
- Young people

Interpretation will also accommodate other visitors, such as tourists. Community co-creation will help overcome barriers to inclusion and ensure this is interpretation that shares rather than tells stories.



**Interpretation presence**

The interpretation will avoid detrimental impact to this Grade II Registered garden and rather enhance it and its significance.

The physical interpretation will be kept so sensitive that a first impression will be that we have hardly done anything. Entrance signs and digital interpretation will be the key interventions, keeping physical material within the Garden to a minimum.

Digital interpretation can offer the in-depth material that some users may want to access. Wherever possible other interpretation will be added to existing infrastructure, rather than being added as a new feature. For example, the light posts will have pennants on the existing pennant arms.

The Garden is the star of the show, not the interpretation.

In this sensitive historic site the permanent physical interpretation will be minimal and light-touch:

- Entrance signs / What's On signs
- Engravings and plaques in paths and seating
- Signposting behaviour
- Plants - boards on fences plus individual labels

Much will simply use existing infrastructure:

- Energy store
- Gardeners compound
- Changing Places toilet
- Outdoor learning space
- Wayfinding

**Digital interpretation** will offer the additional material that some users may want to access:

- Online content available via QR codes on physical interpretation
- Digital / Audio tours
- QR-led trail game
- Accessible content
- Interactive elements such as Nash Views then and now slider.

**Temporal physical interpretation** will provide optional, changeable additional interpretation when required, eg during seasonal 'spotlight moments':

- A-Frames
- Flags
- Pennants
- Picture frames
- Deckchairs
- Table-talkers
- Leaflets, including Family trail leaflet
- Staff and volunteers will be provided with welcoming uniforms and interpretation training

**Interpretation content**

Interpretation will showcase the Royal Pavilion Estate as a whole, bringing together the estate history. This will include ensuring that stories are told about the Dome as well as the natural garden. Under-represented stories will be shared in addition to the familiar royal narrative. Decolonisation will be thread through interpretation.

Themes are:

- The architecture and design of the Garden
- Social and community use of the Garden post 1850
- The natural heritage of the Garden



**DESIGN CONSIDERATIONS**

The project team and the client are committed to developing proposals that are rooted in principles of sustainable design. This commitment will manifest itself through compliance with current best-practice standards and exceed them where appropriate; by working with local partners and suppliers where possible; and by taking a long-term view of the project.

**Whole-life cycle costs**

- Materials and garden furniture will be selected that are robust, easy to maintain and that allow defective elements to be replaced. This includes surfacing materials, steps, benches, signage and interpretation.

**Energy efficiency (remodelled public W/C block)**

- A core driver for the project is to retain and develop the existing fabric of the building into a facility that is fit for use. By avoiding wholesale demolition and re-construction the up front embodied carbon of the project is significantly reduced.
- To improve the operational carbon performance of the building, the scheme will add new internal wall and roof insulation to comply with the latest Part L Building Regulations requirements. In addition, all new glazing will be double-glazed and the aforementioned removal of the existing rooflights will greatly reduce the building’s operational carbon.
- The removal of the rooflights also allows the internal layout of the building to be reconfigured to meet future requirements, reducing the chances of future demolition and carbon emissions on the site.
- New electric heating is proposed, with a specific focus on ensuring the CPF and kiosk are suitable for purpose year round use.
- The potential for both photovoltaic panels and rainwater harvesting will be investigated.

**Drainage**

- The areas of surfacing are remaining largely unchanged with on minor modifications to the existing path widths to reduce wear and damage to the lawns. As such the existing drainage system continue to adopted.
- Improvements associated with drainage include;
- New surfacing within Root Protection Areas (RPAs) will be permeable and free draining.
- The sunken footpath by Princes Place which is steep and narrow and suffers from ongoing drainage issues will be raised to allow natural run off into adjacent areas of soft landscape. Existing soak aways will be replaced with new to assist with positive natural drainage.

- The lawn adjacent to the cafe area suffers from ponding and wear from public use will be addressed with additional drainage to reduce run off, benches will be repositioned and fencing adjusted to mitigate damage to the lawns from wear. Surfacing which are been lifted directly around the base of the elm trees will be removed and area reinstated to soft to remove trip hazards and improve the rooting condition for the trees.

**Materials**

- Use suppliers that comply with the Ethical Trading Initiative (ETI) Base Code, which prohibits child labour, forced labour, coercion, fraud, abuse of power or other means to achieve control over another person for the purpose of exploitation. The Code also protects against discrimination on the basis of gender, race, age, sexual orientation, religion and disability.
- Work with suppliers who comply with legislation and industry standards including ISO14001 for environmental management and ISO50001 for energy management.
- Source materials that complement the local architectural vernacular
- Where appropriate, materials will be selected in accordance with The Green Guide to Specification, to meet or exceed A+, A or B environmental ratings.

**Soil strategy and waste**

- Existing topsoil will be improved within the Gardens and locally won soil generated from digging will be used where possible within the Gardens
- The project will follow the Defra Construction Code of Practice for the Sustainable Use of Soils on Construction Sites, which deals with stripping, stockpiling and re-using soils, including sustainable sourcing and importing of topsoil and removal off-site of surplus material.
- Refuse recycling, re-use and collection will be promoted. The refuse store will allow access to a refuse recycling collection point on-site, with sufficient on-plot storage to meet all current local authority guidelines.

**Biodiversity**

- Plants will be selected to suit the sites soil conditions and to encourage birds and invertebrates such as bees, butterflies, moths and beetles.
- An ecological appraisal and bat survey have been carried out to understand protected habitats and species of the site and to identify trees with bat roost potential.

**Community inclusion**

- The proposals include a wide range of opportunities to increase use and participation in the gardens, including volunteering (book sales, markets, gardening, nature conservation) health and fitness activities; passive recreation (outdoor performances and park seating) and new facilities (public w/cs & kiosk). The proposals will help to foster greater community cohesion and bring new and more diverse audiences to the Gardens.



## ENVIRONMENTAL STATEMENT

### Climate & Biodiversity State of Emergency

Following the IPBESs global assessment report on Biodiversity and Ecosystem Services in May 2019, the UN issued a climate and biodiversity state of emergency declaration.

Whilst the biggest impacts are reliant on governments forming global alliances to tackle the issues together, responsibility for change also lies at a regional and local level for councils, companies and us, as individuals.

In June 2019 the Landscape Institute followed suit with its own declaration to acknowledge the current crisis, and send a strong signal to governments to legislate to address climate change and biodiversity loss, including a call to professionals, working in the built and natural environment, to commit to a programme of definitive sustainable design measures and targets within the next 5 years.

The project team, together with the client are all committed to developing proposals that are rooted in principles of sustainable design. This commitment will manifest itself through compliance with current best-practice standards and exceed them where appropriate; by working with local partners and suppliers; and by taking a long-term view of the project. The project will work to the Landscape Institute's sustainable design measures and targets once they are published and available.

BHCC declared a climate and biodiversity emergency in 2018 and the city will be carbon neutral by 2030. It has a climate assembly and a youth climate assembly, which explore how to combat climate change over the next decade.

Projects include a Wilder Verges Project, rewilding a golf course and planting meadows in its city centre parks.

### Parks, Open Space and Nature Conservation

The city has UNESCO Biosphere designation, which ultimately is about connecting people to nature and raising awareness. Therefore a vision for Cityparks seeks that Brighton & Hove's parks and openspaces continue to be well designed to meet the needs of the city. They provide environments which are resilient to climate change and are biodiverse; they deliver equitable health benefits to all and have great play and educational value. They are environments where heritage features have been treated sensitively, restored and interpreted to enhance their enjoyment for all, whose assets have been managed to provide maximum community, environmental and commercial value; therefore creating a sustainable model for growth.

Brighton & Hove City Council as well as Brighton & Hove Museums existing policies, plans, strategies and consultations on environmental sustainability have informed the underlying principles and proposals of the project.

### BHCC Open Space Strategy, BHCC, 2017-2027

The Garden is a key green space in the heart of the city and, although not managed by BHCC any longer, is part of a network of open spaces across the city.

The strategy recommends establishing a fundraising to raise money to support the city's parks; developing a Tree Strategy; develop volunteering programmes; seek to generate new income streams; introduce more natural play facilities; explore partnership opportunities e.g. Plumpton College and the Wildlife Trust.

### BHCC Corporate Plan, 2020 -2023

BHCC continues to be a major funder and supporter of the Garden and it is important the Garden project and programmes continue to support Council objectives and supports its outcome framework.

Relevant targets include tackling anti-social behaviour; enhancing skills, especially among women, disabled people and people from diverse communities; building the visitor economy; increasing participation in civic and community life; improving access for disabled people; provide great formal and informal learning opportunities; being a sustainable city by becoming carbon neutral by 2030; improving green spaces; reduce, reuse and recycle; support sustainable travel; promote and protect biodiversity, and caring for people's physical and mental health.

### BHCC Joint Health and Wellbeing Strategy, 2019-2030

The contribution that the Garden makes to the health and wellbeing of local people came through the consultation loud and clear.

The strategy supports people walking and cycling; the use of green and open spaces to improve wellbeing; the use of arts and culture to benefit wellbeing and will challenge the normalisation of substance abuse and excessive alcohol consumption by working with partners.

### BHCC Economic Strategy, 2018-2023

The Garden sits in the heart of the business sector of the city and is affected by the economic priorities of the city in terms of sustainability, partnerships and activity planning.

Relevant priorities of the Strategy include building on innovation and creativity, particularly digital; growing skills in the labour market; developing community capacity and citizen leadership and promoting the development of an environmentally sustainable economy.

### BHCC Visitor Economy Strategy, 2018-2023

Day visitors and tourists are a significant part of the Garden's audience, making up 17% of all Garden visitors in the 2022 onsite survey.

The aim is to grow the number of overnight leisure and business trips and extend the length of the stay by identifying visitor markets for growth; developing a place brand; working more closely with regional partners; raise the city's profile with national decision-makers and ultimately to develop a five year Destination Management Plan.

### BHCC Homelessness and Rough Sleep Strategy, 2020-2025

Rough sleeping in the Garden is an area of concern identified through consultation. The emphasis of the Strategy is on prevention, working their Housing Options Survey supporting people into housing or remaining in houses.

For intervention, the Council has a 'no second night' model and will offer alternative accommodation and increase access to mental health support. The Strategy will develop support for people wishing to access training, education and work.

### B&HM Public Engagement Strategy, 2022-2026

The Garden is part of B&HM and works within the same public engagement objectives for the five museums.

The aims of the Strategy include understanding the full potential of the Garden, staff and volunteers to tell stories about Brighton and its communities; opening up access to the collections physically and digitally; creating a brand identity that plays to the Garden's strengths; developing meaningful, relevant and accessible public programmes; develop income generation through engagement and sharing and learning from good practice across the heritage and cultural sectors.

### B&HM Learning Strategy, 2022

B&HM has a successful formal and informal learning programme that will begin to work in partnership with the Garden through the project.

The aims of the Strategy echo those of the Public Engagement Strategy namely to understand the full potential of the Garden staff and volunteers to support the learning offer; open up learning access to the Garden; develop formal and informal learning programmes for all of B&HM's audience; developing income generation from the learning programmes and learning from and sharing good practice.

**BACKGROUND STUDIES / SURVEYS****ARBORICULTURE**

J21177\_Arb\_TCP\_B (Survey)

J21177\_Arb\_TSS\_A (Schedule)

**ECOLOGY**

J21177\_Brighton Pavillion\_PEA\_Issue

**CONSERVATION PLAN**

Royal Pavilion Gardens Conservation Plan Addendum\_2022

Historic map overlays with tree survey 04 Oct 22 SRHEL

**ACCESS**

Brighton Pavilion Gardens Access Review\_2022

**HERITAGE STATEMENT & IMPACT ASSESSMENT**

Royal Pavilion Gardens Heritage Statement SRHEL 08 Aug 23

**DESIGN PROPOSALS****LANDSCAPE**

725-001 Site Location Plan

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**CONSERVATION WORKS**

2023-07-14 Reawakening Brighton Royal Estate Phase 2 rev 3 Report

2023-07-14 Reawakening Brighton Royal Estate Phase 2 rev 3 Appendix

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