

P1154 BRIGHTON PAVILION GARDENS CONSERVATION REPAIRS TO EXTERNAL WALLING,  
RAILINGS, GATES AND LAMP POSTS

**SCHEDULE OF WORKS**

**P1154-RHP-ZZ-ZZ-SC-A-8200-P4 PLANNING & LBC**

**UPDATED AS NOTED IN BOLD AND ITALICS.**

To be read in conjunction with rhp drawings:

- P1154-RHP-ZZ-00-DR-A-1000-P4-Site Key Plan
- P1154-RHP-ZZ-00-DR-A-1010-P4-Site Plan 1
- P1154-RHP-ZZ-00-DR-A-1011-P4-Site Plan 2
- P1154-RHP-ZZ-00-DR-A-1012-P4-Site Plan 3
- P1154-RHP-ZZ-00-DR-A-1013-P5-Site Plan 4
- P1154-RHP-ZZ-00-DR-A-1014-P4-Site Plan 5
- P1154-RHP-ZZ-00-DR-A-1015-P4-Site Plan 6
- P1154-RHP-ZZ-00-DR-A-1016-P4-Site Plan 7
- P1154-RHP-ZZ-00-DR-A-1017-P4-Site Plan 8
- P1154-RHP-ZZ-00-DR-A-1018-P4-Site Plan 9
- P1154-RHP-ZZ-00-DR-A-5000-P3-McLaren Boundary Wall Detail
- P1154-RHP-ZZ-00-DR-A-5010-P2-McLaren Boundary Wall Images
- P1154-RHP-ZZ-00-DR-A-5011-P1-McLaren Boundary Wall Images
- P1154-RHP-ZZ-00-DR-A-5012-P1-McLaren Boundary Wall Images
- P1154-RHP-ZZ-00-DR-A-5013-P1-McLaren Boundary Wall Images
- P1154-RHP-ZZ-00-DR-A-5014-P1-McLaren Boundary Wall Images
- P1154-RHP-ZZ-00-DR-A-5015-P1-McLaren Boundary Wall Images
- P1154-RHP-ZZ-00-DR-A-5016-P1-McLaren Boundary Wall Images
- P1154-RHP-ZZ-00-DR-A-5017-P1-McLaren Boundary Wall Images
- P1154-RHP-ZZ-00-DR-A-5018-P1-McLaren Boundary Wall Images
- P1154-RHP-ZZ-00-DR-A-5019-P1-McLaren Boundary Wall Images
- P1154-RHP-ZZ-00-DR-A-5020-P1-McLaren Boundary Wall Images
- P1154-RHP-ZZ-00-DR-A-5021-P1-McLaren Boundary Wall Images
- P1154-RHP-ZZ-00-DR-A-5022-P1-McLaren Boundary Wall Images
- P1154-RHP-ZZ-00-DR-A-5023-P1-McLaren Boundary Wall Images
- P1154-RHP-ZZ-00-DR-A-5030-P3-South (India) Gate Images
- P1154-RHP-ZZ-00-DR-A-5040-P1-North Gate Images
- P1154-RHP-ZZ-00-DR-A-5050-P1-Palace Place Images
- P1154-RHP-ZZ-00-DR-A-5051-P1-Palace Place Images

General notes:




1. This Schedule of works (SoW) includes works to the existing listed railings and listed and non listed lamp posts within the Brighton Pavilion Gardens. The Garden is a Grade II Listed, Registered Historic Park and Garden, with an area of 3.3ha, surrounding the iconic, Grade I Listed, Royal Pavilion in the historic heart of Brighton and as such, require specialist craftspeople to carry out the works and suitable protection to the adjacent areas. Further details of the historic landscape can be seen in the "A Garden Fit for A King: Reawakening Brighton Royal Estate" RIBA Stage 2 Proposals ref: 725-501 dated September 2022 and Chris Blandford Conservation Management Plan 2018. The park is also in constant use by the public. Refer to Allen Scott Landscape Architecture for details of contractor access.



2. These works are to be carried out concurrently with other works in the Gardens, details of which can be seen on the Allen Scott Landscape Architects Plans. This includes:
  - New material finishes and re-grading levels to paths
  - New railings
  - New gates
3. NBS clauses will be provided for full details in Stage 4.
4. Refer to QS information for details of defined provisional sums.
5. This SoW includes listed and non-listed lamp posts along with works to existing railings and boundary walls.
6. There are areas of further survey work needed to determine the full extent of works which would of programme benefit to carry out as an enabling package if possible. This includes:
  - Paint analysis of the existing listed Lamp posts – to build on the paint analysis carried out in 1984.
  - Mortar analysis of the 1920s boundary McLaren wall
  - Metallurgy analysis of existing gates/ railings.

RHP can provide names of suitable consultants who are able to carry out this type of analysis.

7. This SoW is based on the RHP *Pavilion Gardens Condition Survey Report for Allen Scott Ltd* dated 09 November 2022 rev 2. The condition of the boundary walls, lampposts, gates and railings are likely to have deteriorated further since this time and in particular it is known that part of the 1920s McLaren boundary wall adjacent North Gate has suffered a collapse which will need to be assessed to agree extent of repairs needed. A further site visit for localised areas was carried out in July 2023 and additional scope of works added.
8. Refer to CTP Consulting Engineers for structural works.

	<b>Access</b>	
	The gardens area accessed via the existing gates on the perimeter of the site. Details can be seen on the Site Key plan drawing 1000.	
	Liaison is needed with the garden management team as needed for access and for any electrical works in conjunction with the M&E Engineers details.	
<b>1.0</b>	<b>Protections</b>	
1.1	Protect adjacent areas/ paths/ plants when removing and re-installing items.	
1.2	It is assumed that the lampposts will be removed off site for repairs works and re-instated. Temporary protections of the below ground electrical connections will be required – refer to the M&E engineers details.	
1.3	It is assumed that the existing gates and railings will be removed off site for repairs works and re-instated. Temporary protections and security measures will be required.	
1.4	Protect work in progress and completed work from rain, frost and adverse weather conditions until works are complete and materials have achieved their full weather resistance.	
<b>3.0</b>	<b>Services</b>	
3.1	The existing lamp posts are to have repair/ replacement works to the existing bulbs/ lighting system – see M&E engineer details for further details.	
<b>4.0</b>	<b>Surveys and Analysis</b>	
4.1	McLaren Boundary wall has failing render from lime leeching due to sections being retaining walls with higher ground levels adjacent. Samples of the render finishes and mortar used in constructing the backing masonry for analysis will be required to determine its composition to inform a suitable repair strategy. A specialist should be approached to carry out this sample analysis and suitable locations agreed on site (allow for 4 no. locations to the northeast and east of the site where existing ground levels vary the most). See drawing P1154-RHP-ZZ-00-DR-A-1000 for details of locations to be agreed on site.	



		
<p>4.2</p>	<p>Example of lime leeching and horizontal cracks to rendered wall.</p> <p>McLaren Boundary wall has failing render. Samples of the render finishes and mortar used in constructing the backing masonry for analysis will be required to determine its composition to inform a suitable repair strategy. A specialist should be approached to carry out this sample analysis and suitable locations agreed on site (allow for 3 no. locations to the east lawn where significant cracks can be observed to the piers by the ornamental ponds). See drawing P1154-RHP-ZZ-00-DR-A-1000 for details of locations to be agreed on site.</p> 	
<p>4.3</p>	<p>Investigation of existing foundations to piers adjacent to heavily planted areas to the Old Stein to the east of the site to investigate cause of large horizontal cracks and damaged finish (allow for 3 no. locations to the northeast of the site where existing ground levels vary the most). See drawing P1154-RHP-ZZ-00-DR-A-1000 for details of locations to be agreed on site.</p> 	
<p>4.4</p>	<p>McLaren Boundary wall cracked balustrade to East Lawn. Samples of the concrete be required to determine its composition to inform a suitable repair strategy. A specialist should be approached to carry out this sample analysis and suitable locations agreed on site (allow for 2 no. locations to the east lawn where significant cracks can be observed to the piers by the ornamental ponds). See drawing P1154-RHP-ZZ-00-DR-A-1000 for details of locations to be agreed on site.</p>	

		
4.5	<p>Metallurgy testing of 2 no. existing curved gates (East Lawn North Gate And East Lawn South Gate) to east lawn.</p> 	
4.6	<p>Paint analysis of existing listed lampposts (suggested 15 and 33 to be agreed with historic paint analysis specialist on site for most suitable lamp posts). Note: Previous paint analysis carried out in 1984 suggesting "Paint scrapings showed 26 layers of paint – in dull green, vivid green, dark blue and even black. The original decoration appears to be a sandstone colour". Noted that the existing railings around Royal pavilion are sandstone (not included in the scope of works).</p>	
4.7	<p>Paint analysis of the 2 no. existing curved gates (East Lawn North Gate And East Lawn South Gate) to establish original paint scheme.</p>	
4.8	<p>Paint analysis of the Palace Place Type F1 existing cast iron railings to establish original paint scheme.</p>	
<b>5.0</b>	<b>SAMPLES</b>	
	<p>Subject to the outcome of the investigations in item 4 above, controlled samples are needed to determine the full repair specification to each of the elements.</p>	
5.1	<p>Provide samples of sand for testing and approval as clause Z21 for the following:</p> <ul style="list-style-type: none"> <li>• Sand for Bedding and pointing mortar to McLaren boundary walls</li> <li>• Sand for render to McLaren boundary walls</li> </ul>	
5.2	<p>Prepare reference samples for approval as clause C41and Z21</p> <ul style="list-style-type: none"> <li>• Sample biscuits for each mortar mix using selected sands, as sample above, for selection of mixes to be used in the works.</li> <li>• 0.5m2 area of repointing of masonry <ul style="list-style-type: none"> <li>1st stage – after preparation</li> <li>2nd stage – after repointing using the approved mortar mix.</li> </ul> </li> <li>• Mortar repair and repointing using the mortar mix selected</li> </ul>	
5.3	<p>Prepare reference samples for approval as clause M20</p> <ul style="list-style-type: none"> <li>• Render to McLaren boundary walls</li> <li>• Re-pointing of joints</li> </ul>	
5.4	<p>Provide representative samples of coping to match existing low level walls adjacent ornamental ponds to east lawn.</p>	


5.5	Provide sample of paint finish for refurbished lamp posts. Colour to be informed from paint analysis on listed lamp post. Full extent of lamp post to be fully prepared and finished for approval.	
5.6	Provide sample of paint finish for curved gates to east lawn. Colour to be informed from paint analysis.	
5.7	Provide representative samples of stone plinth to Cast Iron railings Type F1 to match existing in height, width and profile.	
<b>5.5</b>	Provide sample of paint finish for palace pier railings and gate. Colour to be informed from paint analysis on existing railings. Full bay to be provided.	
<b>5.6</b>	Provide sample of paint finish for North gate Vehicular gate.	
<b>5.7</b>	Provide sample of paint finish for North gate pedestrian ornate gate.	
<b>6.0</b>	<b>TRIALS</b>	
6.1	Carry out trial of cutting out cracks, grouting and sacrificial repair coat to section of McLaren Boundary wall.	
6.2	Prepare reference samples for approval: <ul style="list-style-type: none"> <li>• Repair to existing cast iron curved gates</li> </ul>	
6.3	Prepare reference samples for approval: <ul style="list-style-type: none"> <li>• Repair to existing cast iron railings type F1</li> <li>• Lead caulking sample of re-instated type F1 railing</li> <li>• Stone indent repair to stone plinth</li> </ul>	
<b>7.0</b>	<b>McLaren Boundary Walls</b>	
	Render and masonry repairs. Refer to items of render and masonry repair, below, and the drawings referred to for location. All quantities are provisional subject to early inspection and confirmation of the scope of repairs by the Architect and approval of samples as noted above.	
	Drawing 1012 Site Plan 3 North East Lawns and relevant 5000 series drawings.	
7.1	Drawings 5000 and 5010 Existing pier P1 adjacent North Gate: <ol style="list-style-type: none"> <li>Carefully take down, salvage capstone for re-use and re-build in new brickwork in lime mortar.</li> <li>Allow for capping piece to be carefully removed, stored, brick pier rebuilt on suitable foundation and capping re-installed).</li> <li>Render all sides of piers (match thickness of removed render to express capping) as spec M20.</li> <li>Allow for forming new connection to adjacent balustrade section following suitable repairs.</li> <li>Carry out all typical repair items as noted in the general notes on the drawing.</li> </ol>	
7.2	Drawings 5000 and 5010 Damaged balustrade adjacent North gate: <ol style="list-style-type: none"> <li>Carefully assess extent of damage and allow to provide stainless steel reinforcement to re-fix sections at base.</li> <li>Subject to site assessment, re-bed copings to balustrade.</li> <li>Re-point cracks as spec Z21.</li> <li>Carry out all typical repair items as noted in the general notes on the drawing.</li> </ol>	
7.3	Drawing 5011. Existing pier P4: <ol style="list-style-type: none"> <li>Cut out horizontal cracks to existing cracked render below balustrade cap (aligns with top of balustrade adjacent) and cracks at lower level aligning with balustrade base capping, grout and repair and the repair re-integrated with a temporary/sacrificial coating until repair weathers in.</li> <li>Remove graffiti.</li> <li>Carry out all typical repair items as noted in the general notes on the drawing.</li> </ol>	
7.4	Drawings 5011 to 5023. Existing McLaren Boundary Wall to northeast lawns: <ol style="list-style-type: none"> <li>Biocide as spec C41/134 and remove plant growth to balustrade capping and render.</li> </ol>	


	<ul style="list-style-type: none"> <li>b) Carry out new drainage works to retaining wall side to include new drainage below the level of the visible face of the wall taken to an outfall/soakaway if a suitable location can be identified on site from Pier P2 to P5.</li> <li>c) Cut out horizontal cracks to existing cracked render below balustrade cap (height approx. 650 mm TBC on site), grouted and repaired and the repair re-integrated with a temporary/sacrificial coating until repair weathers in.</li> <li>d) Render (match thickness of removed render to express capping) as spec M20.</li> <li>e) Carry out all typical repair items as noted in the general notes on the drawing.</li> </ul>	
7.5	<p>Drawings 5011 to 5023.</p> <p>Existing McLaren Boundary Wall to northeast lawns:</p> <ul style="list-style-type: none"> <li>a) Carefully lift and re-bed coping to balustrade to the east of P4 which have lifted due to retaining wall and plant growth issues. Repair to be completed after works to address movement of wall addressed.</li> <li>b) Cut out horizontal cracks to existing cracked render below lower capping, grout and repair and the repair re-integrated with a temporary/sacrificial coating until repair weathers in.</li> <li>c) Carry out all typical repair items as noted in the general notes on the drawing.</li> </ul>	
	<p>Drawing 1015 Site Plan 6 North East Lawns and relevant 5000 series drawings.</p>	
7.6	<p>Drawings 5011 to 5023.</p> <p>Existing McLaren Boundary Wall to northeast lawns between P6 and P7:</p> <ul style="list-style-type: none"> <li>a) Biocide as spec C41/134 and remove plant growth to balustrade capping and render. Note: significant growth causing damaged to balustrade and capping with extensive ivy growing through open joints.</li> <li>b) Further to investigation of foundations and cracks, carry out repairs to cracks to capping and rendered wall below to P6. The repair re-integrated with a temporary/sacrificial coating until repair weathers in.</li> <li>c) Re-point cracks and open joints to east side of P6 (allow for 3 no. TBC on site)</li> <li>d) Locally repair damaged corner of pier P7 and cracked render ((allow for 5 no. TBC on site). The repair re-integrated with a temporary/sacrificial coating until repair weathers in.</li> <li>e) To areas with extensive ivy growth, assessment of repairs will need to be confirmed on site when wall is exposed. Provisional sum required.</li> <li>f) Cut out horizontal cracks to existing cracked render below lower capping, grout and repair and the repair re-integrated with a temporary/sacrificial coating until repair weathers in.</li> <li>g) Carry out all typical repair items as noted in the general notes on the drawing.</li> </ul>	
	<p>Drawing 1017 Site Plan 8 East Lawn</p>	
7.7	<p>Existing McLaren Boundary Wall to northeast lawns between P7 and P10:</p> <ul style="list-style-type: none"> <li>a) Biocide as spec C41/134 and remove plant growth to balustrade capping and render. Note: significant growth causing damaged to balustrade and capping with extensive ivy growing through open joints.</li> <li>b) Carry out repairs to cracks to capping and rendered wall below to P9. The repair re-integrated with a temporary/sacrificial coating until repair weathers in.</li> <li>c) To areas with extensive ivy growth, assessment of repairs will need to be confirmed on site when wall is exposed. Provisional sum required.</li> <li>d) Carry out render repairs to Pier P14 and P15 in conjunction with repairs to curved gate. The repair re-integrated with a temporary/sacrificial coating until repair weathers in.</li> <li>e) Carry out render repairs to cracked and missing rendered section to Pier P17. The repair re-integrated with a temporary/sacrificial coating until repair weathers in.</li> <li>f) Carry out all typical repair items as noted in the general notes on the drawing.</li> </ul>	
	<p>Drawing 1018 Site Plan 9 East Lawn and relevant 5000 series drawings.</p>	
7.8	<p>Drawings 5011 to 5023.</p>	



	<p>Existing McLaren Boundary Wall to northeast lawns between P11 (location TBC on site – overgrown by bushes and plant growth) and P12:</p> <ul style="list-style-type: none"> <li>a) Biocide as spec C41/134 and remove plant growth to balustrade capping and render.</li> <li>b) To areas with extensive ivy growth, assessment of repairs will need to be confirmed on site when wall is exposed. Provisional sum required.</li> <li>c) Carry out all typical repair items as noted in the general notes on the drawing.</li> </ul>	
7.9	<p>Drawings 5011 to 5023.</p> <p>Existing McLaren Boundary Wall to northeast lawns between P18 and P27:</p> <ul style="list-style-type: none"> <li>a) Biocide as spec C41/134 and remove plant growth to balustrade capping and render.</li> <li>b) Cut out horizontal cracks to existing cracked render below balustrade cap (aligns with top of balustrade adjacent) and cracks at lower level aligning with balustrade base capping, grout and repair and the repair re-integrated with a temporary/sacrificial coating until repair weathers in.</li> <li>c) Investigate open joint to balustrade between pier P16 and P17.</li> <li>d) Re-point open joints as spec Z21.</li> <li>e) Carry out render repairs to Pier P22 and P23 in conjunction with repairs to curved gate.</li> <li>f) Biocide and remove moss and lichen to boundary walls between piers P27 to P29.</li> <li>g) Carry out render repair to base of P18. The repair re-integrated with a temporary/sacrificial coating until repair weathers in.</li> <li>h) Carry out render repair to cracked render to P25. The repair re-integrated with a temporary/sacrificial coating until repair weathers in.</li> <li>i) Cut out redundant fixings to render adjacent to P24 and repair render. The repair re-integrated with a temporary/sacrificial coating until repair weathers in.</li> <li>j) Carry out all typical repair items as noted in the general notes on the drawing.</li> </ul>	
8.0	<p>Stone Plinth – to existing cast iron railings Type F1 by Palace Pier with stone plinth. See RHP drawings 5050 and 5051.</p>	
	<p>Stone plinth repairs.</p> <p>Refer to items of stone repair, below, and the drawings referred to for location. All quantities are provisional subject to early inspection and confirmation of the scope of repairs by the Architect and approval of samples as noted above.</p>	
	<p>Stone plinth in varying condition with previous repairs evident. Original fencing has uprights at tight centres set within the stone plinth.</p>	
	<p>Option A</p>	
8.1	<p>Biocide full extent of existing stone plinth (including plinth that extends within the gardens to suit the buttressed section of railings).</p>	
8.2	<p>Replace with stone to match profile and type section of stone adjacent Pier P29.</p>	
8.3	<p>Carry out stone indent repair to plinth to south side Gate G11.</p>	
8.4	<p>Carry out full stone plinth replacement for approx. 1500 mm long adjacent paving slabs. Stone to match following agreement of sample as item 5.7.</p>	
8.5	<p>Carry out full stone plinth replacement for full extent of curved section adjacent block paving. Stone to match following agreement of sample as item 5.7.</p>	
8.6	<p>When railings repaired and re-installed, lead caulk all penetrations to stone plinth.</p>	
	<p>Option B omitted</p>	
<b>9.0</b>	<p><b>Steps below Curved Gates to East Lawn and boundary walls to ornamental ponds</b></p>	
	<p>Render and masonry repairs.</p> <p>Refer to items of render and masonry repair, below, and the drawings referred to for location. All quantities are provisional subject to early inspection and confirmation of the scope of repairs by the Architect and approval of samples as noted above.</p>	
	<p>Drawing 1017 Site Plan 8 North East Lawns and RHP drawing 5016.</p>	
	<p>Existing rendered low level brickwork with missing copings. Lime leeching evident.</p>	


		
9.1	Cut out horizontal cracks to existing cracked render below lower capping, grout and repair and the repair re-integrated with a temporary/sacrificial coating until repair weathers in to full extent of wall (both sides).	
9.2	Provide new replacement copings to missing sections to match.	
	Drawing 1018 Site Plan 9 North East Lawns and RHP drawing 5016.	
	<p>Existing rendered low level brickwork with missing copings. Lime leeching evident.</p> 	
9.3	Carefully lift and salvage for reuse horizontal copings (to carry out repairs to brickwork below).	
9.4	Cut out and remove poor previous brickwork repairs.	
9.5	Cut out horizontal cracks to existing cracked render below lower capping, grout and repair and the repair re-integrated with a temporary/sacrificial coating until repair weathers in to dull extent of wall (both sides).	
<b>10.0</b>	<b>Gates</b>	
	<p>Metal Gate repairs. Refer to items of repair, below, and the drawings referred to for location. All quantities are provisional subject to early inspection and confirmation of the scope of repairs by the Architect and approval of samples as noted above.</p>	
	Drawing 1017 Site Plan 9 East Lawn East Lawn North Gate and RHP drawing 5014.	
	<b>Existing curved cast iron gates</b> with wrought iron elements (assumed subject to confirmation from testing as noted in item 4.7 above) which are rusting and dropped. Paint analysis to be carried out prior to existing paint removal.	
10.1	Carefully remove off site to a workshop including removing corroded section of hinge embedded to stone step to base.	
10.2	Prepare existing surfaces to carry out repairs.	
10.3	Provide new 2 no. cast iron section to base of bottom rail hinges using suitable repair technique (specialised welding techniques, cold metal stitching, and various types of reinforcement to suit).	
10.4	Repair top horizontal rails of both gates which have significant areas of corrosion. Exact repair TBC when surfaces fully repaired, and depth of corrosion known.	
10.5	Piece in new section where missing to trefoil element to top of northern leaf of gate.	
10.6	Allow to carry out repairs to located areas of significant corrosion to decorative elements, repair extent TBC when corrosion removed.	





10.7	Allow for repair nominally. 400 mm long to vertical upright to meeting stile of north gate.	
10.8	Carefully prepare surfaces for new paint finish.	
10.9	Provide new paint system in full accordance with manufacturers recommendation (subject to successful trials – see item 5.6 above)	
10.10	Install new bespoke lock box to provide new secure access.	
10.11	Carry out repairs as needed to existing stone piers and steps whilst gates are off site. See section 9.0.	
10.12	Carefully protect for transport and re-install to existing stone piers and make fully operational. Drawing 1018 Site Plan 9 East Lawn East Lawn South Gate <b>and RHP drawing 5014.</b>	
	<b>Existing curved cast iron gates</b> with wrought iron elements (assumed subject to confirmation from testing as noted in item 5.6 above) which are rusting and dropped. Paint analysis to be carried out prior to existing paint removal.	
10.13	Carefully remove off site to a workshop including removing corroded section of hinge embedded to stone step to base.	
10.14	Prepare existing surfaces to carry out repairs.	
10.15	Provide new 2 no. cast iron section to base of bottom rail hinges using suitable repair technique (specialised welding techniques, cold metal stitching, and various types of reinforcement to suit).	
10.16	Repair top horizontal rails of both gates which have significant areas of corrosion. Exact repair TBC when surfaces fully repaired, and depth of corrosion known.	
10.17	Allow to carry out repairs to located areas of significant corrosion to decorative elements, repair extent TBC when corrosion removed.	
10.18	Carefully prepare surfaces for new paint finish.	
10.19	Provide new paint system in full accordance with manufacturers recommendation (subject to successful trials – see item ?? above)	
10.20	Install new bespoke lock box to provide new secure access.	
10.21	Carry out repairs as needed to existing stone piers and steps whilst gates are off site. See section 8.0.	
10.22	Carefully protect for transport and re-install to existing stone piers and make fully operational. <b>Gate to Palace Pier Railings</b> (G11 on Allen Scott Landscape Architects drawings). See RHP drawing 1018 for location and detail drawing 5051.	
	Existing cast iron gates with spiked detail to top rail and quatrefoil details to uprights. Supported on pintol hinges with uprights set into stone plinth. Currently in poor condition. 	
10.23	To be repaired in situ	
10.24	Prepare existing surfaces to carry out repairs.	
10.25	Repair 2 no. bottom horizontal rails which have significant areas of corrosion. Exact repair TBC when surfaces fully repaired and depth of corrosion known.	
10.26	Carefully prepare surfaces for new paint finish.	
10.27	Provide new paint system in full accordance with manufacturers recommendation (subject to successful trials – see item 5.8 above)	
10.28	Install new bespoke lock box to provide new secure access.	
10.29	Carry out repairs as needed to existing stone plinth whilst gates are off site. See section 8.0.	
10.30	Carefully protect for transport and re-install and make fully operational.	

<b>11.0</b>	<b>Green Cast Iron Railings adjacent Palace Pier</b>	
	Drawing 1018 Site Plan 9 and drawings 5050 and 5051	
	Existing cast iron railings with spiked tops and infill uprights. Serpentine braced supports fixed to railings and into stone plinth. 	
11.1	To be repaired in situ	
11.2	Prepare existing surfaces to carry out repairs. Allow for all suitable protection measures as noted on drawings.	
11.3	Allow to carry out repairs to located areas of significant corrosion to decorative elements, repair extent TBC when corrosion removed. <ul style="list-style-type: none"> <li>• Horizontal top rail in poor condition with previous 1 no. stitch repairs evident.</li> <li>• 7 no. uprights in significant poor condition and may require wholesale replacement including section supporting hinge to Gate G11.</li> <li>• Curved section in poor condition including corner upright.</li> <li>• 12 no. uprights in poor condition around services boxing (limited access). Allow for wholesale replacement to match.</li> <li>• 10 no. lower uprights with quatre foil design in poor condition. Allow for replacement to match.</li> </ul> <p>Note: corrosion likely to be significant where uprights are below the stone plinth line. Some railings not visible due to plant growth. Allow for provisional sum for further repairs/ replacement.</p>	
11.4	Carefully prepare surfaces for new paint finish.	
11.5	Provide new paint system in full accordance with manufacturers recommendation (subject to successful trials – see item 5.8 above)	
11.6	Carry out repairs as needed to existing stone plinth whilst gates are off site. See section 8.0.	
11.7	Clear away protections.	
<b>12.0</b>	<b>Lamp posts</b> Note: Only 19 no. lamp posts are listed (16, 17, 18, 20, 23, 24, 25, 26, 28, 29, 30, 31, 32, 38, 40, 41, 42, 43 and 44). Lamp posts 11, 12, 13, 14 and 15 are not listed but are within the parkland boundary and are of a similar insignia design to the listed lamp posts. See the GA site plans for details and locations. The condition varies to each lamp post, however, the principle for repair will be the same to all the lamp posts. A trial repair should be carried out to one existing listed lamppost (TBC on site) and reviewed prior to carrying out works to all the lamp posts. The colour scheme of the paint finish should be informed by the historic paint analysis and trials carried out for agreement. Non listed Lamp posts 1 to 10 added. Recent refurbishment of lanterns noted.	
	Refer to items of repair, below, and the drawings referred to for location. All quantities are provisional subject to early inspection and confirmation of the scope of repairs by the Architect and approval of samples as noted above.	
12.1	Carefully remove off site to a workshop. Refer to M&E details for isolation works needed for electrical connection to lantern and allow liaison with on site ground team as needed.	
12.2	Prepare existing surfaces to carry out repairs. Shot blasting may not be suitable for the lantern.	
12.3	Allow for site inspection at workshop to assess extent of repairs needed, in particular to the lantern section (no high level access for inspection has been available).	

12.4	Allow to carry out repairs to located areas of significant corrosion to decorative elements, repair extent TBC when corrosion removed.	
12.5	Carry out repairs to Lantern to suit new lamping strategy – refer to M&E engineers details. Note: Lamp posts 13 no. lamp posts (26-39) have had lanterns refurbished and re-installed. Lanterns to these lamp posts to be carefully protected during all works. Allow for re-painting if paint analysis suggests alternative paint colour is more appropriate.	
12.6	Carefully prepare surfaces for new paint finish.	
12.7	Provide new paint system in full accordance with manufacturers recommendation (subject to successful trials – see item 5.5 above)	
12.8	Carry out repairs as needed to existing foundation. Refer to structural engineers details.	
12.9	Carefully protect for transport and re-install. Refer to M&E engineers details for re-connection of electrical power supply.	
12.10	Refer to Allen Scott Landscape Architects details for works to existing adjacent paths/ external works.	
<b>13.0</b>	North Gate Vehicular Gates Drawing 1012 Site Plan 3 and RHP detail drawing 5040.	
	Automatic Vehicle Gate to North Gate. Existing modern painted galvanised steel automatic vehicle gates and 2 no. piers. 	
13.1	Suitably prepare to remove all corrosion prime and redecorate with suitable paint finish to provide weather protection. Colour subject to paint sample as item 5.6 above.	
13.2	Retain and suitably protect gate automation gear.	
13.3	Gate is listed, ensure all paving and stonework is suitably protected during Gate repair and re-decoration works.	
<b>14.0</b>	South (India) Gates and RHP detail drawing 5030. Drawing 1012 Site Plan 3	
	Existing timber gates set within India gate and adjacent 2 no. pedestrian gates. <b>All to be retained and repaired.</b> 	

14.1	<b>Carry out timber repair to Gates SG1 and SG2 in matching timber with profiles and sizes to suit.</b>	
14.2	<b>Provide replacement cast copper "bosses" to match existing precedent on site. Refer to drawing 5030 for details to Gate SG2.</b>	
14.3	<b>Existing strap hinge corroded. Allow for specialist to repair or replacement to match. Refer to drawing 5030 for details to Gate SG2.</b>	
15.0	Ornate Gate to North Gate	
	Drawing 1012 Site Plan 3 and RHP detail drawing 5040.	
	Cast iron ornate Gate on the boundary of the garden. 	
15.1	Suitable preparation to remove all corrosion, prime and redecorate with suitable paint finish to provide weather protection. Colour subject to paint sample as item 5.7 above.	
15.2	Repair corroded lock – allow for matching replacement box. Overhaul, ease and adjust lock to make operational. Retain and repair knobs.	
15.3	Upper railings to be suitably preparation to remove all corrosion, prime and redecorate with suitable paint finish to provide weather protection. Provide high level access to assess stone coping. Allow for new leak caulking to all uprights.	
16.0	Modern Gate to North Gate	
	Drawing 1012 Site Plan 3 and RHP detail drawing 5040.	
	Modern galvanized steel gate	

		
16.1	Suitably prepare to remove all corrosion, prime and redecorate with suitable paint finish to provide weather protection.	
16.2	Repair corroded lock – allow for matching replacement box. Overhaul, ease and adjust lock to make operational.	
17.0	South Gate Boundary Wall	
	<p>Drawing 1016 Site Plan 7 and RHP detail drawing 5030.</p> 	
17.1	Carry out stone indent repair to removed pintol hinges (8 no.) in matching stonework. Allow for sample of stone for agreement.	
17.2	Remove redundant pintol hinges (2 no.) to existing stone clad brickwork pier adjacent bow	

	top railings.	
17.3	Remove cracked and damaged stonework. Carry out repairs to brickwork – allow for cutting out and replacing 4 no. bricks and re-bedding on lime mortar. All subject to confirmation on site when full access provided.	
17.4	Carry out stone indent repair to 3 sides in matching stonework. Sizes to be confirmed on site, nominally 470 mm wide by 1100 mm high x 40 mm thick. Provide sample of stone for review.	
17.5	Carry out stone consolidation repairs to cap stone and mortar repair.	
18.0	<b>Completion</b>	
18.1	Clear away all temporary works as the scheduled works are completed. Clear debris from the base of all walls, gutters and elsewhere and leave the works and site in a clean, neat and orderly condition on completion.	
18.2	Clear away hoardings and site enclosure as above.	