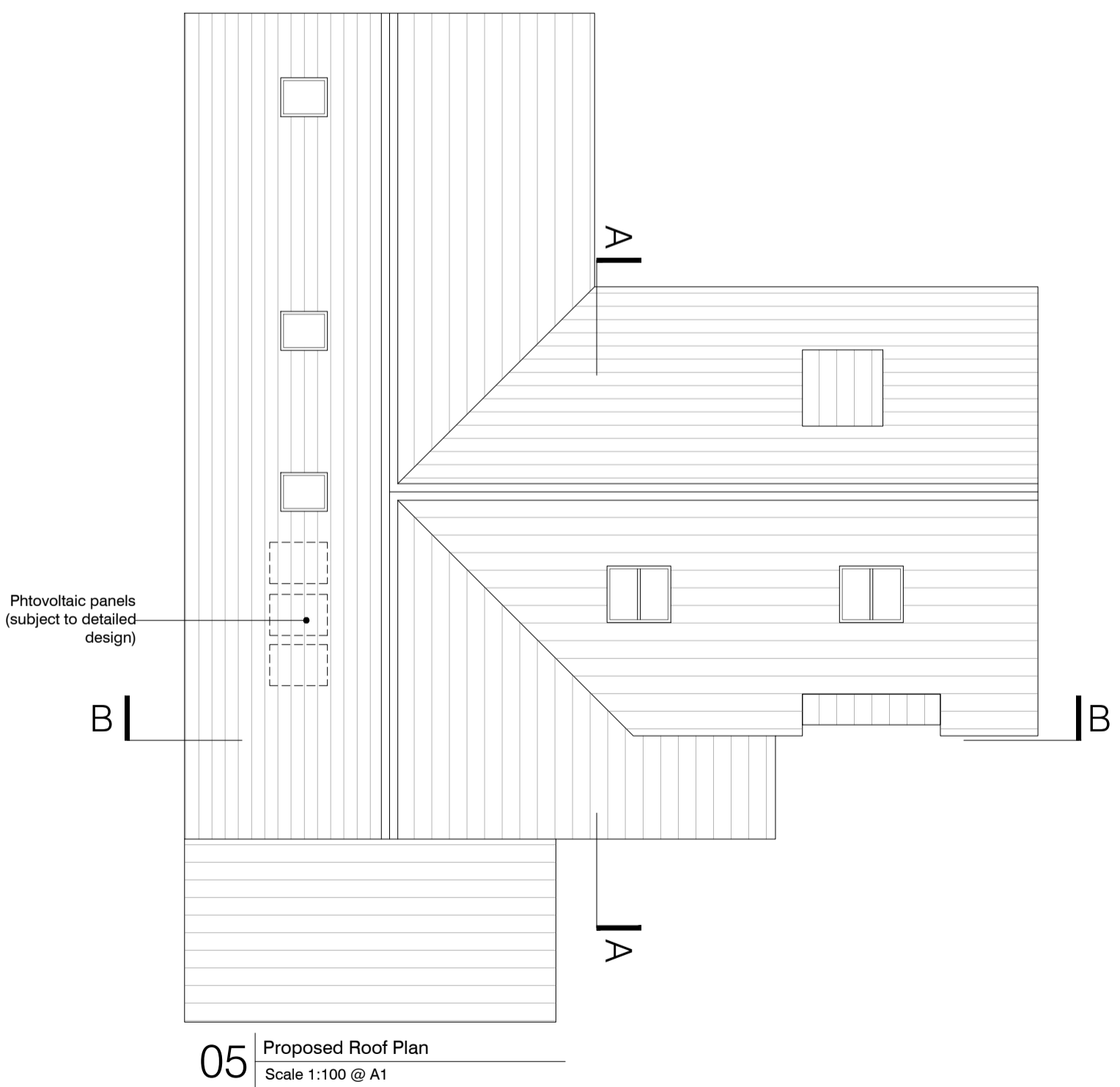
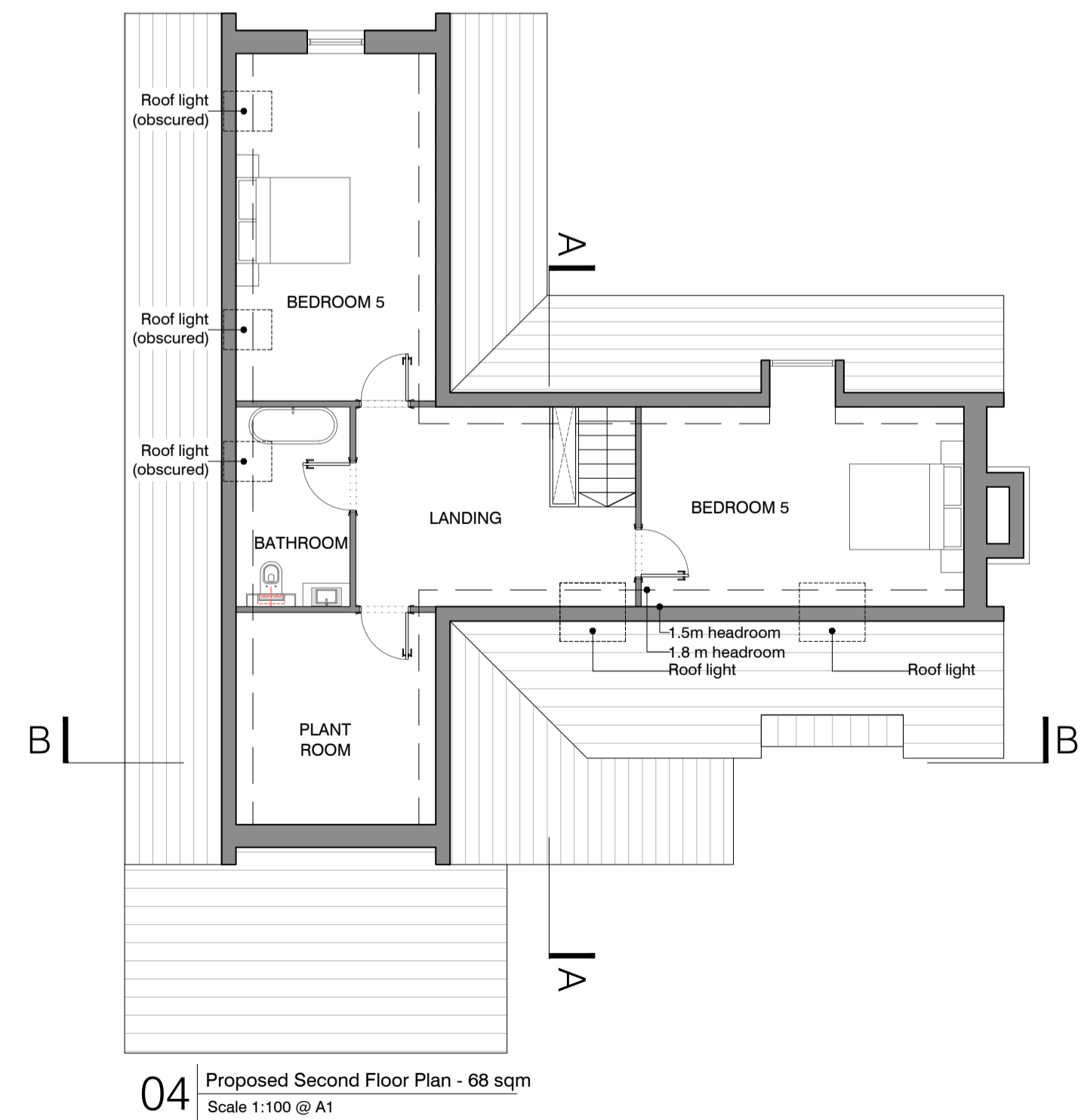
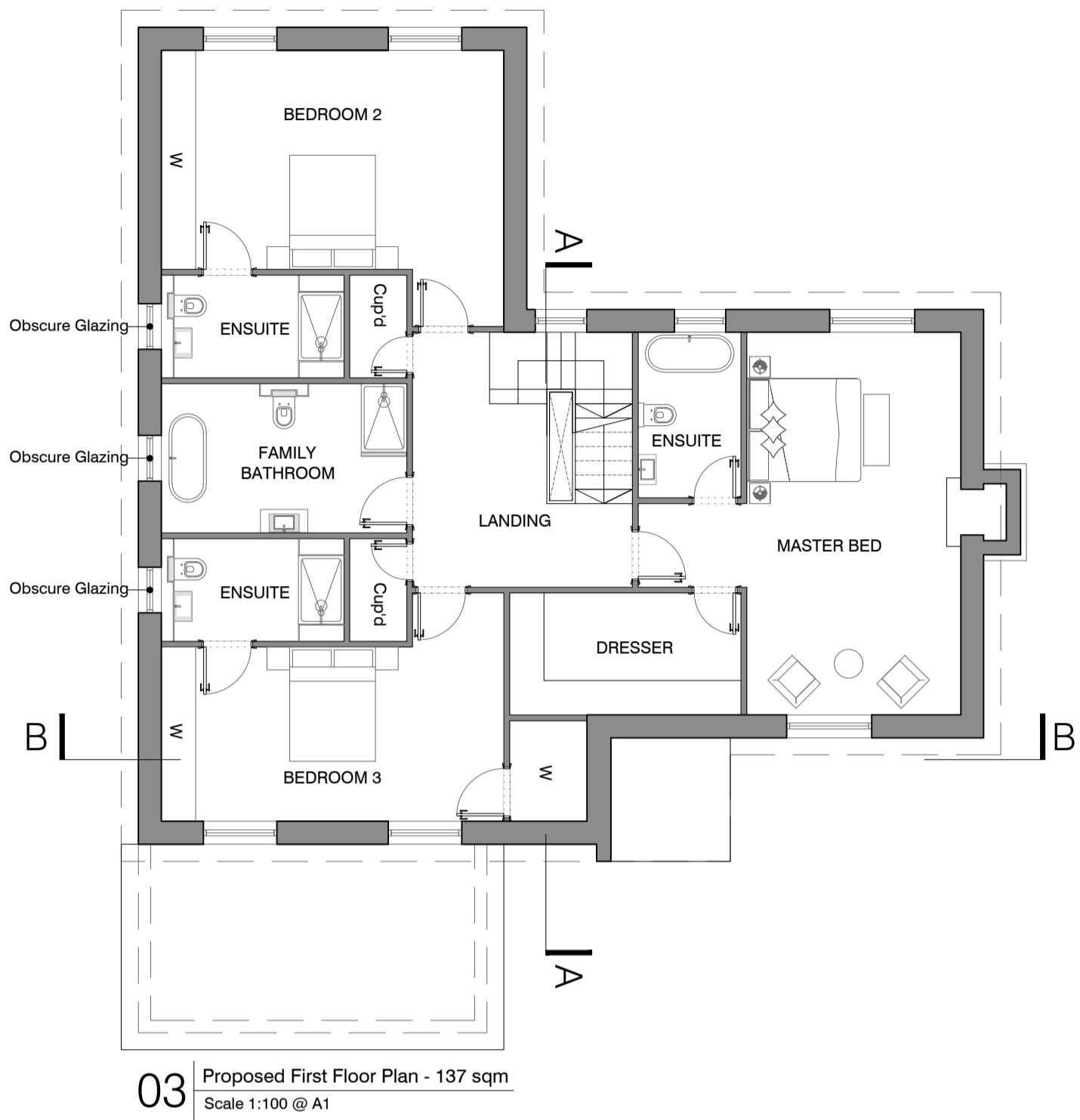
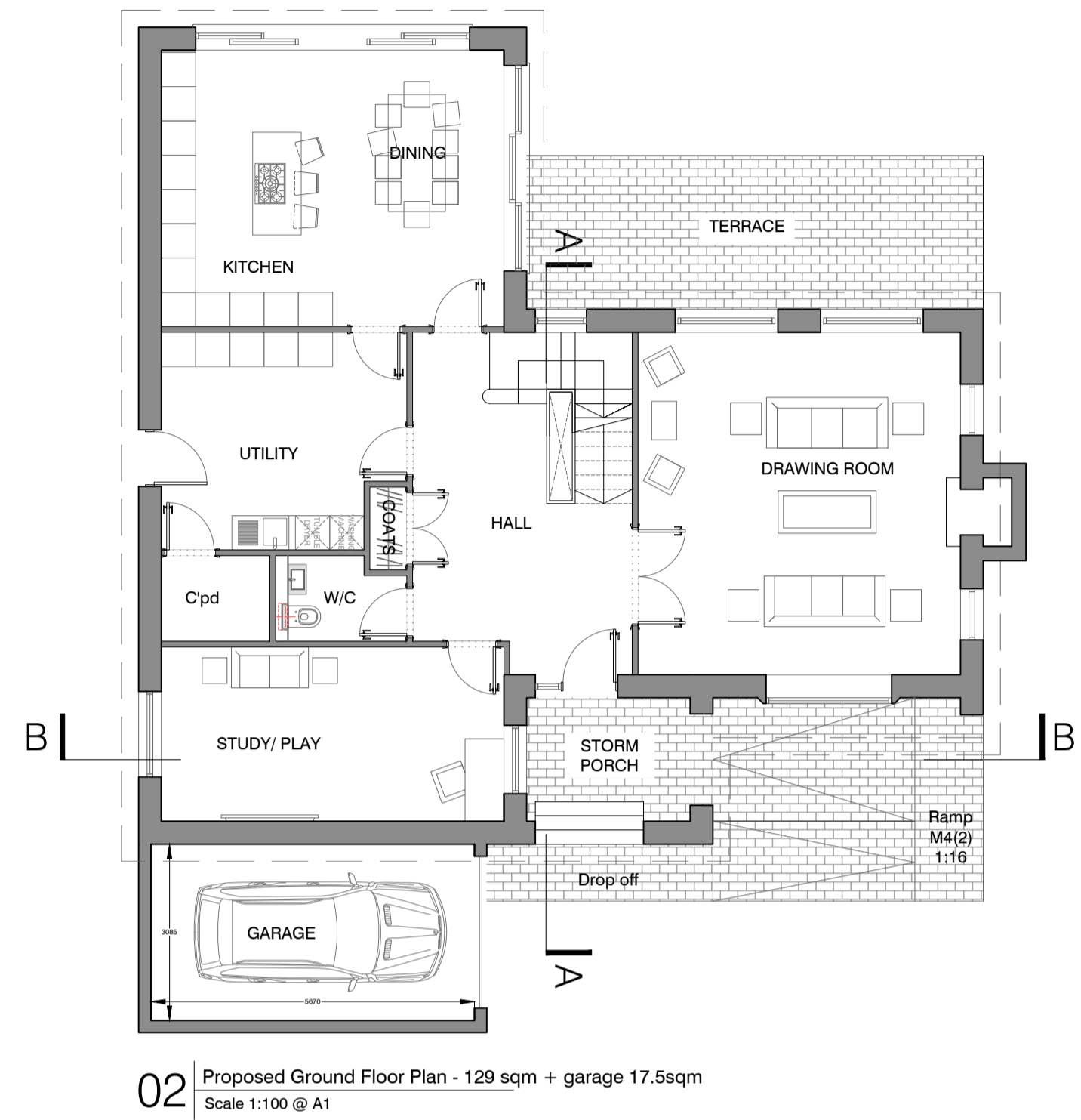
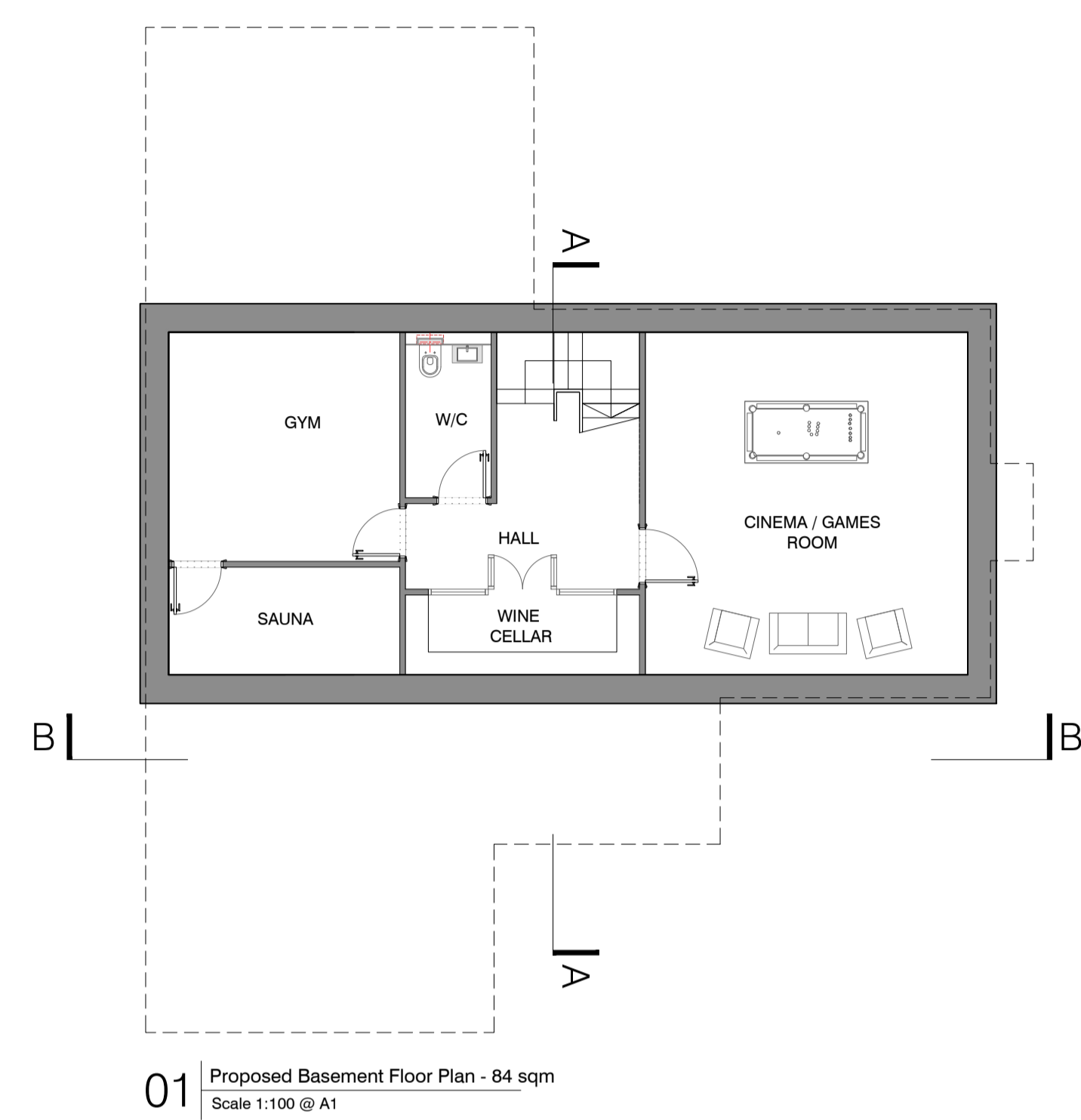
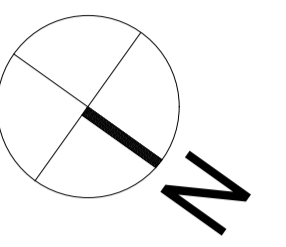
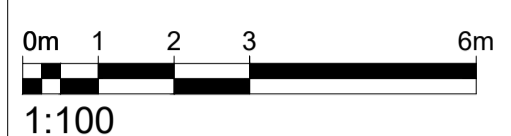


THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE MAKING SHOP DRAWINGS OR COMMENCING WORK OF ANY KIND. NO DIMENSIONS TO BE SCALED FROM THIS DRAWING.

1. THE BOUNDARIES SHOWN ARE BASED ON INFORMATION BY OTHERS. ALL BOUNDARIES TO BE VERIFIED ON SITE PRIOR TO COMMENCING CONSTRUCTION.
2. TOPOGRAPHICAL LEVELS TO BE CONFIRMED.
3. DESIGN & QUOTED AREAS ARE SUBJECT TO DESIGN DEVELOPMENT & REGULATORY CONSENTS.
4. ALL SURVEY INFORMATION SHOWN IS SUBJECT TO FURTHER SITE INVESTIGATION DURING DEMOLITION.



HOUSE THREE - Areas:

BF:	84m ²	(904sq.ft)
GF:	129m ²	(1388sq.ft)
FF:	137m ²	(1474sq.ft)
SF:	68m ²	(731sq.ft)
GARAGE:	17.5m ²	(188sq.ft)
TOTAL:	418m ² *	(4499sq.ft)
Footprint:	181m ²	

*excluding Garage

REV	DATE	REVISIONS	CHK
A	09.11.23	Plan 04 label correction	MC

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PROJECT:
Proposed Dwellinghouses at 4, The Avenue, Radlett

CLIENT:
Mr Michael Mitzman

DRAWING TITLE:
Proposed House Type 3
Plans

SCALE: 1:100@A1
DRAWN: MC
CHECKED: MC
DATE: OCT 2023

NUMBER: 0520-PL-302
REVISION: A

STATUS: S2
PLANNING APPLICATION